

## **PLANNING AND DEVELOPMENT SERVICES**

---

**TO:** Municipal Planning Commission  
**DATE:** January 13, 2021 **DIVISION:** 2  
**FILE:** 04734116 **APPLICATION:** PRDP20204013  
**SUBJECT:** Agricultural (Processing) / Discretionary use, with no Variances

---

**APPLICATION:** Application is for Agricultural (Processing), within an existing building, tenancy for a food processing company.

**GENERAL LOCATION:** Located approximately 0.81 km (1/2 mile) east of Rge. Rd. 33 and 0.20 km (1/8 mile) north of Twp. Rd. 245.

**LAND USE DESIGNATION:** Business, Regional Campus District (B-REG) under Land Use Bylaw C-8000-2020.

**ADMINISTRATION RECOMMENDATION:** Administration recommends Approval in accordance with Option #1.

**EXECUTIVE SUMMARY:** The name of the company is The Scottish Mill. The Applicant has proposed to utilise Unit 3-135 Commercial Drive to establish a business for agricultural processing. The application proposes to establish a food processing company that will bring in raw grains that will be milled and sold to wholesale clients, as well as on-line retail. The business will occupy a space of approximately 267.10 sq. m (2,875.00 sq. ft.) of the existing building and there are no interior or exterior modifications proposed. The hours of operation are Monday to Friday, 8:00 am to 6:00 pm. There are two employees, one (1) full-time and one (1) part-time. There are no daily customer visits as this is a wholesale business with on-line retail sales. There is no additional parking required. There is no outside storage or signage requested.

### **OPTIONS:**

- Option #1: THAT Development Permit Application PRDP 20204013 be approved with the conditions noted in Attachment 'A'.
- Option #2: THAT Development Permit Application PRDP20204013 be refused for the following reasons:
1. That in the opinion of the Municipal Planning Commission, the development unduly interferes with the amenities of the neighbourhood and materially interferes with and affects the use, enjoyment, and value of neighbouring parcels of land.

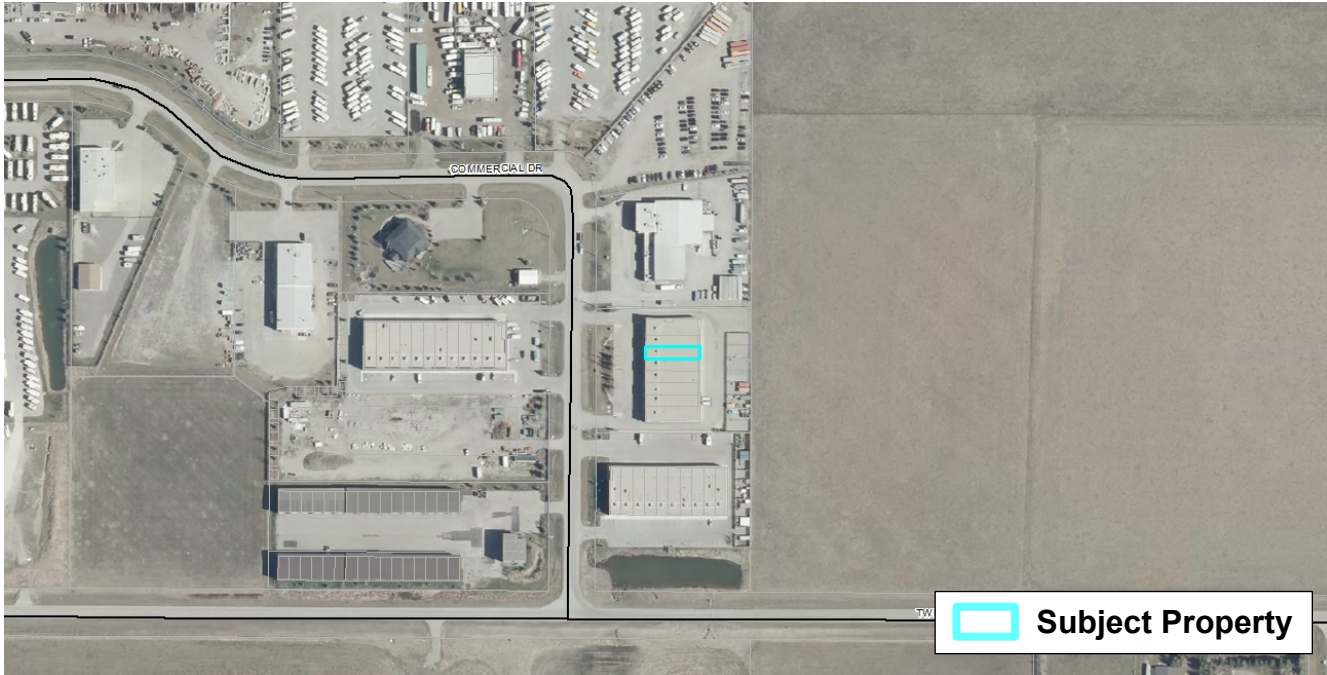
---

### **Administration Resources**

Wayne Van Dijk, Planning and Development



ROCKY VIEW COUNTY

**AIR PHOTO & DEVELOPMENT CONTEXT:****APPLICATION EVALUATION:**

The application was evaluated based on the information submitted with the application and the applicable policies and regulations.

<b>APPLICABLE POLICY AND REGULATIONS:</b> <ul style="list-style-type: none"> <li>• Land Use Bylaw C-8000-2020</li> <li>• North Springbank Area Structure Plan</li> </ul>	<b>TECHNICAL REPORTS SUBMITTED:</b> <ul style="list-style-type: none"> <li>• None</li> </ul>
<b>DISCRETIONARY USE:</b> <ul style="list-style-type: none"> <li>• Agricultural (Processing)</li> </ul>	<b>DEVELOPMENT VARIANCE AUTHORITY:</b> <ul style="list-style-type: none"> <li>• Municipal Planning Commission</li> </ul>

Additional Review Considerations

Proposal shows no changes to the building or exterior of the building and there appears to be a minimal increase in local traffic due to no customer visits.



ROCKY VIEW COUNTY

**CONCLUSION:**

Subject to the proposed conditions of approval, the application is recommended for approval.

Respectfully submitted,

Concurrence,

“Theresa Cochran”

“Al Hoggan”

---

Executive Director  
Community Development Services

---

Chief Administrative Officer

WV/lt

**ATTACHMENTS**

ATTACHMENT ‘A’: Development Permit Conditions

ATTACHMENT ‘B’: Maps and Other Information

**ATTACHMENT 'A': DEVELOPMENT PERMIT CONDITIONS**Option #1:

Approval, subject to the following conditions:

**Description:**

That Agricultural (processing), within an existing building, tenancy for a food processing company may take place at 3 - 135 COMMERCIAL DRIVE (Unit 3 Plan: 1812070; SW-34-24-03-W05M) in general accordance with the submitted plans and conditions of this permit.

**Permanent:**

1. That all conditions of Development Permit (2006-DP-12213) shall remain in effect.
2. That no outside storage shall be allowed in the front of the property at any time.
3. That no off-site advertisement signage associated with the business shall be permitted.
4. That there shall be at least four (4) parking stalls, maintained onsite at all times, for business and customer use.
5. That no off-site parking is permitted on the adjacent County road system at any time.
6. That the display or placement of signage for the business shall be in accordance with the Land Use Bylaw C-8000-2020. The signage shall be kept in a safe, clean and tidy condition at all times.
7. That all business parking shall be limited to the assigned unit's parking stalls or communal site stalls.
8. That the entire site shall be maintained in a neat and orderly manner at all times, to the satisfaction of the Development Officer.

**Advisory:**

9. That any future change in use of the building (or tenants) may require a Development Permit for use and signage.
10. That a Building Permit and applicable sub-trade permits shall be obtained through Building Services, for the tenancy change of use, prior to tenant occupancy and/or building renovations.
11. That the Applicant/Owner must complete a fire analysis, performed and stamped by a professional engineer confirming that the combustible content is not more than 50 kg/m<sup>2</sup> or 1 200 MJ/m<sup>2</sup> of floor area.
12. That the Applicant/Owner shall provide Building Services with mechanical plans that must be designed and stamped by an engineer and conform to Part 6 of the National Building Code 2019 AE and National Fire Code 2019 AE.
13. That any other government permits, approvals, or compliances are the sole responsibility of the Applicant/Owner.



ROCKY VIEW COUNTY

## ATTACHMENT 'B': MAPS AND OTHER INFORMATION

<b>APPLICANT:</b> Randy Aspinall (The Scottish Mill)	<b>OWNER:</b> CU Real Property Limited Partnership
<b>DATE APPLICATION RECEIVED:</b> December 8, 2020	<b>DATE DEEMED COMPLETE:</b> December 9, 2020
<b>GROSS AREA:</b> ± 0.026 hectares (± 0.065 acres)	<b>LEGAL DESCRIPTION:</b> Unit 3, Plan 1812070; SW-34-24-03-W05M
<b>APPEAL BOARD:</b> Subdivision, Development Appeal Board	
<b>HISTORY:</b> <b>PRDP20202100:</b> Application for a liquor outlet. Permit issued but could not meet Building Code requirements.	
<b>PUBLIC &amp; AGENCY SUBMISSIONS:</b> The application was circulated to a number of internal and external agencies and, where appropriate, conditions of approval have been proposed based on these comments.	



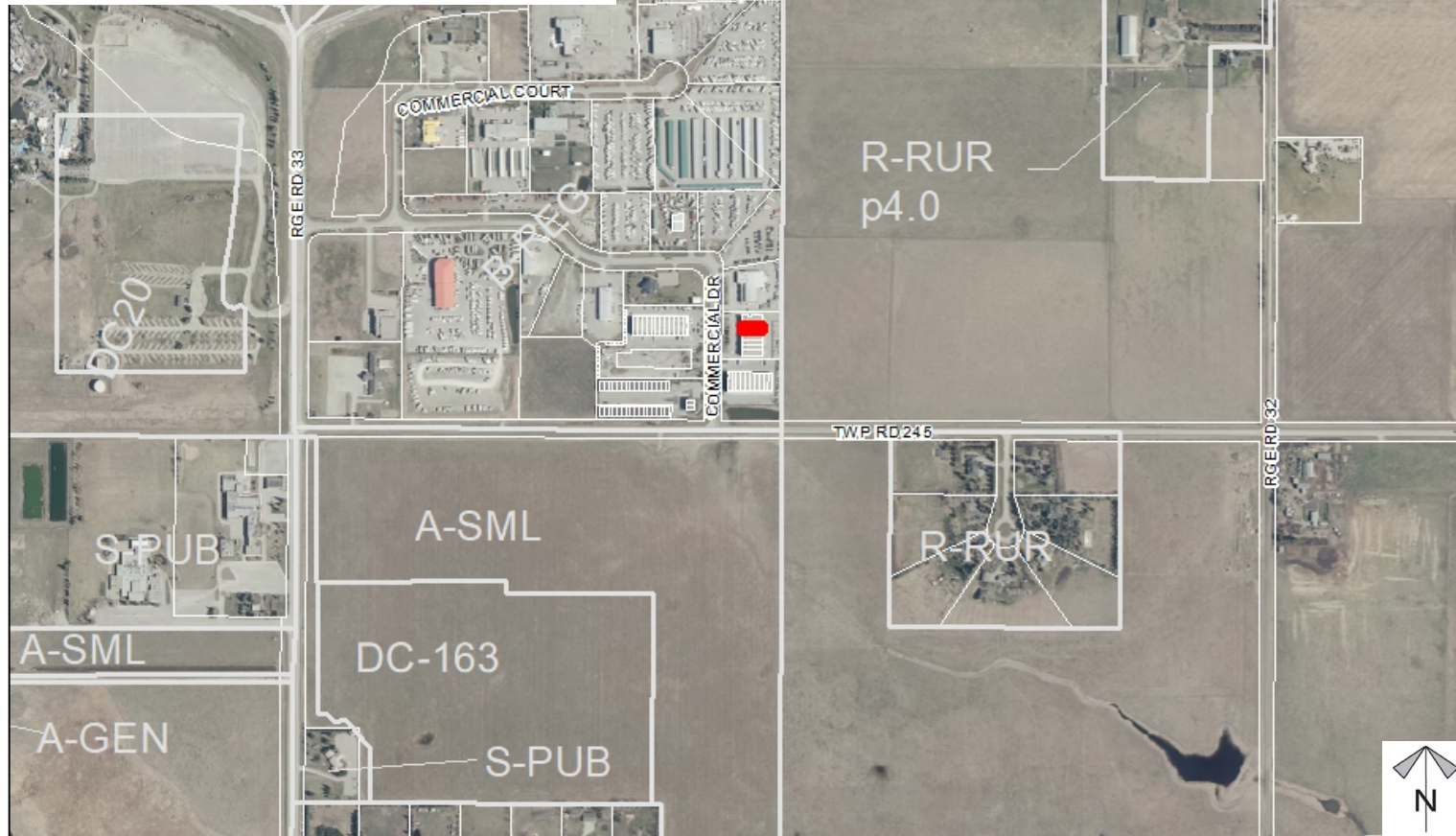
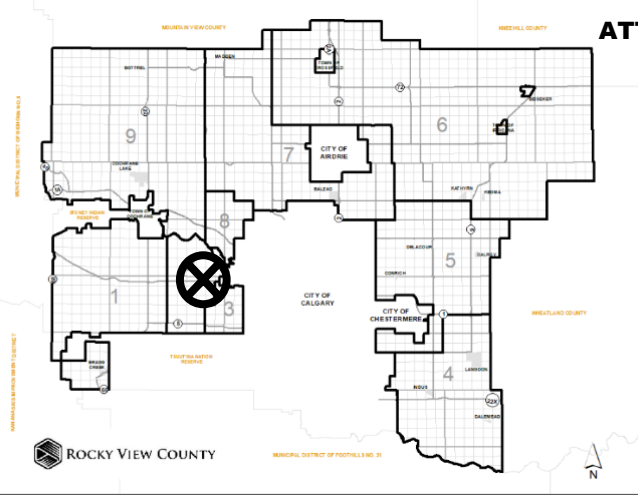


## Location & Context

### Development Proposal

Agricultural (Processing),  
within an existing building,  
tenancy for a food  
processing company

## ATTACHMENT 'B': MAPS AND OTHER INFORMATION



Division: 2  
 Roll: 04734116  
 File: PRDP20204013  
 Printed: December 9, 2020  
 Legal: Lot: UNIT 3  
 Plan: 1812070; within SW-34-  
 24-03-W05M



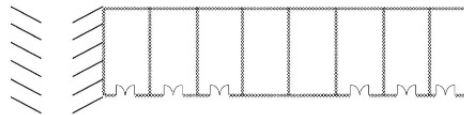
## Site Plan

Development Proposal

Agricultural (Processing),  
within an existing building,  
tenancy for a food  
processing company



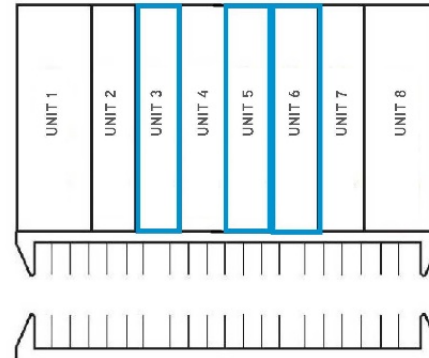
<b>DISTRICT</b>	Springbank, Rocky View County	<b>CEILING HEIGHT</b>	18' clear
<b>ZONING</b>	C-SC (Commercial-Springbank Court)	<b>POWER</b>	200 Amps per Bay
<b>SIZE</b>	±2,875 to 5,750 SF	<b>LOADING</b>	1 - 12' x 14' Drive-in Door per Bay
<b>AVAILABLE</b>	Immediately	<b>OFFICE BUILD OUT</b>	±25%
<b>LEASE RATE</b>	\$14.50 PSF	<b>OP COSTS</b>	\$4.81 (2019)



## LEGEND

AVAILABLE FOR LEASE

UNIT	3	5	6
<b>OFFICE</b>	750 SF	750 SF	750 SF
<b>WAREHOUSE</b>	2,125 SF	2,125 SF	2,125 SF
<b>TOTAL</b>	2,875 SF	2,875 SF	2,875 SF
<b>YARD (SF)</b>	1,250 SF	1,250 SF	1,250 SF



## EVAN TRUMAN

Vice President | Partner  
+1 403 215 7252  
evan.truman@colliers.com

Accelerating success.

## MICHAEL MASSING

Vice President | SIOR  
+1 403 298 0404  
michael.massing@colliers.com

## PATRICK SAILER

Associate Vice President  
+1 403 538 2525  
patrick.sailer@colliers.com

## BRENDAN DAVIES

Senior Associate  
+1 403 298 0445  
brendan.davies@colliers.com

This document/email has been prepared by Colliers International for advertising and general information only. Colliers International makes no guarantees, representations or warranties of any kind, expressed or implied, regarding the information including, but not limited to, warranties of context, accuracy and reliability. Any interested party should undertake their own inquiries as to the accuracy of the information. Colliers International excludes, unconditionally all implied or implied terms, conditions and warranties arising out of this document and excludes all liability for loss and damages arising there from. This publication is the copyrighted property of Colliers International and its licensee(s). © 2020. All rights reserved. This communication is not intended to cause or induce breach of an existing listing agreement. Cdn Calgary Inc.

*Note: First two digits of the Plan Number indicate the year of subdivision registration.*

*Plan numbers that include letters were registered before 1973 and do not reference a year.*

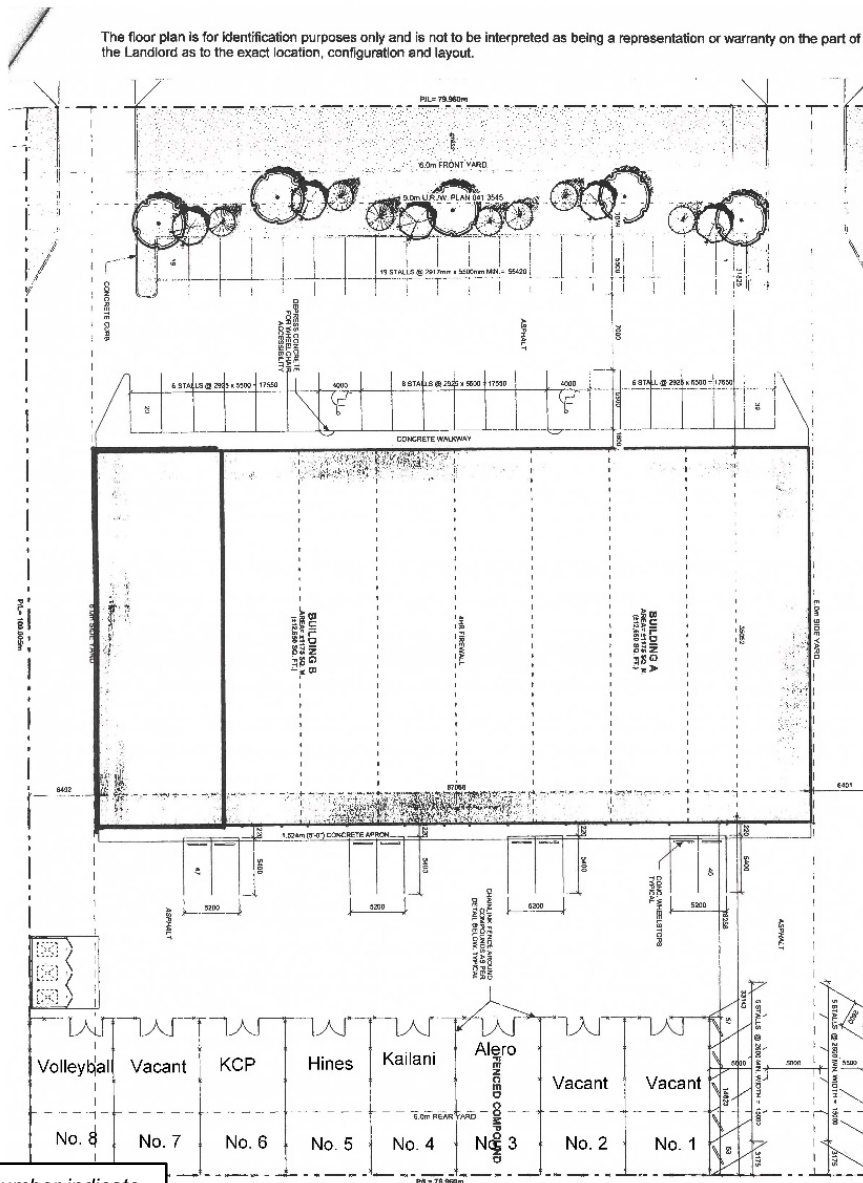


Division: 2  
Roll: 04734116  
File: PRDP20204013  
Printed: December 9, 2020  
Legal: Lot: UNIT 3  
Plan: 1812070; within SW-34-24-03-W05M

## Site Plan

## Development Proposal

Agricultural (Processing),  
within an existing building,  
tenancy for a food  
processing company



*Note: First two digits of the Plan Number indicate the year of subdivision registration.*

*Plan numbers that include letters were registered before 1973 and do not reference a year.*

Division: 2  
Roll: 04734116  
File: PRDP20204013  
Printed: December 9, 2020  
Legal: Lot:UNIT 3  
Plan:1812070; within SW-34-  
24-03-W05M



## Cover Letter

### Development Proposal

Agricultural (Processing),  
 within an existing building,  
 tenancy for a food  
 processing company

### The Scottish Mill Overview

The Scottish Mill will be a small distinctive milling operation where organic raw grains are received by transport once every month or two in 42" cube tote bags, dehulled when necessary and cleaned to 99.9%.

90% or more of our product is processed through a Meadowsmill Stone ground mill.

From the mill it is conveyed through an air conveyor, either directly to bags sized from 2kg – 20kg as a whole grain flour or is directed to a sifter where the flour is sifted to a specific flour specification.

After sifting, the product will be augured directly to a bagging system as flour only, or is directed via auger to a mixer where it is mixed with other products as a cereal mix, pancake mix, etc.

From there it is directed by auger to a bagger and pushed into labelled bags of different sizes.

The other 10% of the processing is that of creating Rolled oats from whole oat kernels. That process involves whole oats being run through a roller mill, then directed by auger to a sifter where the size of the finished rolled oat product is established and then either directed by auger to a mixer for further mixing of products or directly augured to a bagger and pushed into labelled bags of different sizes.

The finished bagged product is picked up approximately once a week by courier or in some situations by our salesman and delivered to its source.

The complete operation has a dust control system in place, with a direct extraction duct to each piece of equipment. The collected dust is put through a filtration system and the clean air discharged back into the space.

The complete operation is inspected by the Organic authorities when initially set up and continues to receive random inspections as long as the business is in operation.

*Note: First two digits of the Plan Number indicate the year of subdivision registration.*

*Plan numbers that include letters were registered before 1973 and do not reference a year.*



*Division: 2  
 Roll: 04734116  
 File: PRDP20204013  
 Printed: December 9, 2020  
 Legal: Lot: UNIT 3  
 Plan: 1812070; within SW-34-  
 24-03-W05M*