

PLANNING AND DEVELOPMENT SERVICES

TO: Municipal Planning Commission
DIVISION: 1
SUBJECT: Development Item: *Dwelling, single detached*
USE: Discretionary use, with no Variances

DATE: December 10, 2020
APPLICATION: PRDP20203557

APPLICATION: construction of an addition to an existing dwelling, single detached

GENERAL LOCATION: Located in the hamlet of Bragg Creek

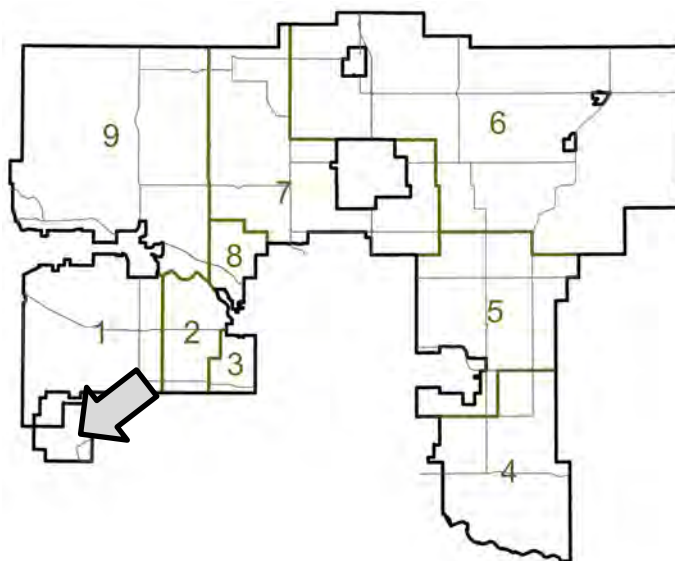
LAND USE DESIGNATION: Residential, Urban District (R-URB) under Land Use Bylaw C-8000-2020.

ADMINISTRATION RECOMMENDATION: Administration recommends Approval in accordance with Option #1.

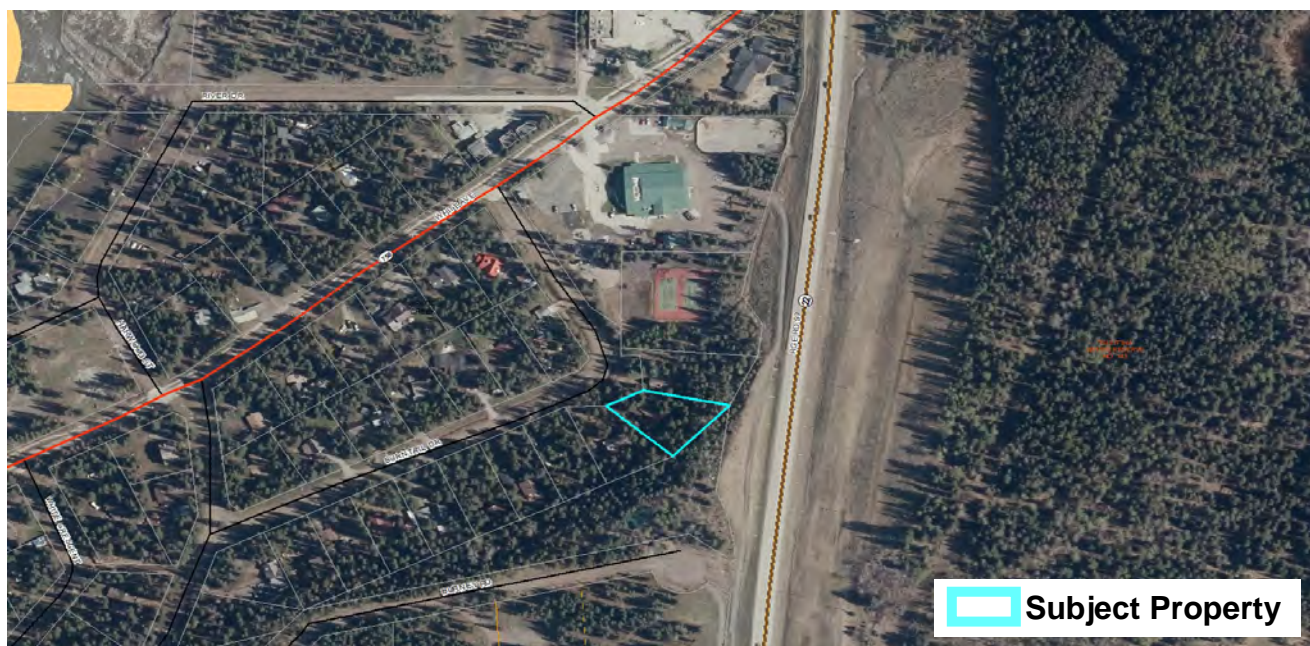
OPTIONS:

Option #1: THAT Development Permit Application PRDP20203557 be approved with the conditions noted in the Development Permit Report, attached.

Option #2: THAT Development Permit Application PRDP20203557 be refused as per the reasons noted.



AIR PHOTO & DEVELOPMENT CONTEXT:



Administration Resources

Wayne Van Dijk, Planning and Development Services

DEVELOPMENT PERMIT REPORT

Application Date: November 5, 2020	File: 03912147
Application: PRDP20203557	Applicant: Greg Kennedy Owner: Ken & Francis Krawiec
Legal Description: Lot 19, Block 2, Plan 820 LK, NE-12-23-05 W5M Municipal Address: 39 Burntall Drive	General Location: located in the hamlet of Bragg Creek
Land Use Designation: Residential, Urban District (R-URB) under Land Use Bylaw C-8000-2020.	Gross Area: ± 0.18 hectares (± 0.44 acres)
File Manager: Wayne Van Dijk	Division: 1

PROPOSAL:

The application is for the addition to an existing dwelling, single detached.

The application is for construction of an addition, approximately 139.35 sq. m (1,500.00 sq. ft.) in size to an existing, dwelling, single detached. The parcel is zoned Residential, Urban District (R-URB) and is located within the hamlet of Bragg Creek.

The addition meets all setback requirements and no variances are required. The required 1-100 flood elevation level currently in place by the province. Is 1,299.26 m above sea level.

Land Use Bylaw C-8000-2020

- 201 *In a flood fringe area, mechanical and electrical equipment within a building shall be located at or above the designated flood level. The minimum ground floor elevation should be above the designated flood level when possible.*
- Applicant has confirmed all electrical components are located above the designated flood level.
- 202 *If development is approved within the flood fringe area, the first floor of all buildings shall be located at or above the 1:100 year flood level plus 0.5 m (1.64 ft.) freeboard. The Development Authority may allow for variances on the freeboard requirement depending on the site specific conditions.*
- Drawings submitted with application show that the first floor is approximately 0.63 m (2.08 ft.) above the ground level.
- 203 *When a Development Permit is made for any building on an existing lot which is or may be affected by a Floodway or Flood Fringe area, the Development Authority shall require the applicant to submit a geotechnical report or a flood plain/flood hazard mapping study or both, prepared by a qualified professional in accordance with County requirements. These studies shall confirm that there is minimum contiguous developable area suitable for the building and related land on the subject lot and specify any flood mitigation measures to reduce potential damage from a flood event.*



- Parcel is just within the Flood Fringe Area and therefore a geotechnical report will be a Prior to Issuance condition.

330 *Minimum setbacks:*

<i>Setback</i>	Permitted	Proposed	Variance
Front yard	6.00 m (49.21 ft.)	6.00 m (19.69 ft.)	0
Side yard 1	3.00 m (9.84 ft.)	3.00 m (9.84 ft.)	0
Side yard 2	3.00 m (9.84 ft.)	5.20 m (17.06 ft.)	0
Rear yard	8.00 m (26.25 ft.)	28.84 m (94.62 ft.)	0

STATUTORY PLANS:

The subject parcel falls within the Greater Bragg Creek Area Structure Plan. That plan does not provide guidance for this type of application but supports residential living within the hamlet, therefore this application was assessed under the Land Use Bylaw C-8000-2020.

INSPECTOR'S COMMENTS:

- No inspection completed at time of report writing

CIRCULATIONS:

Development Compliance

- No comments or concerns with the attached application.

Planning and Development Services - Engineering Review (November 30, 2020)

General

- The review of this file is based upon the application submitted. Should the submission material be altered or revised at subsequent development stages these conditions/recommendations may be subject to change to ensure best practices and procedure.

Geotechnical:

- Engineering has no requirements at this time.

Transportation:

- Engineering has no requirements at this time.
- There is an existing road approach off of Burntall Drive providing access to the subject land.
- The subject land is located adjacent to Highway 22. The applicant/owner obtained a roadside development permit from Alberta Transportation for the proposed development.
- The applicant/owner will not be required to pay the transportation offsite levy, as per the applicable TOL bylaw at time of DP issuance, as the development is directly related with the construction of a dwelling.

Sanitary/Waste Water: Engineering has no requirements at this time.

**Water Supply And Waterworks:**

- Engineering has no requirements at this time.

Storm Water Management:

- Prior to issuance, the applicant/owner will be required to submit a Storm Water Memo conducted and stamped by a professional engineer that demonstrates that the proposed development will not have any negative impacts to drainage conditions and is in accordance with the Bragg Creek Master Drainage Plan and the County Servicing Standards.

Environmental:

- Prior to issuance, the applicant/owner will be required to provide a geotechnical report prepared and stamped by a qualified professional in accordance with the County Servicing Standards that shall specify any flood mitigation measures to reduce potential damage from a flood event, as per section 203 of the Land Use Bylaw.
- No other comments received at time of report writing

OPTIONS:

Option #1: (this would allow the development to proceed)

APPROVAL subject to the following conditions:

Description:

1. That construction of an addition to an existing dwelling, single detached may commence in accordance with the approved Site Plan and Building Drawings submitted with the application.

Prior to Issuance:

2. That prior to issuance of this permit, the Applicant/Owner shall submit a Storm Water Memo, prepared by a qualified professional and shall demonstrate that the proposed development will not have any negative impacts to drainage and is in accordance with the Bragg Creek Master Drainage Plan and the County Servicing Standards.
3. That prior to issuance of this permit, the Applicant/Owner shall submit a Geotechnical Report, prepared by a qualified professional, and shall confirm that there is a minimum contiguous developable area suitable for the building, on the subject parcel, and specify any flood mitigation measures, in accordance with County Servicing Standards.

Permanent:

4. That any plan, technical submission, agreement, matter, or understanding submitted and approved as part of the application or in response to a Prior to Issuance condition shall be implemented and adhered to in perpetuity.
5. That any flood proofing measures shall be followed in accordance with the Alberta Building Code, good engineering practice and recommendations stated in the Greater Bragg Creek Area Structure Plan.
6. That the Applicant/Owner shall ensure that all habitable floor levels are flood-proofed at or above the 1 in 100 flood elevation level. Any construction below this flood level will require engineered flood proofing measures before acceptance by the County.

Note: The required flood elevation level is 1,299.26 m (as per Alberta Environment & Parks).



7. That there shall be no more than 1.00 m (3.28 ft.) of fill/topsoil placed adjacent to or within 15.00 m (49.21 ft.) of the proposed dwelling unit under construction that is used to establish approved final grades unless a Development Permit has been issued for additional fill and topsoil.
8. That it is the Applicant/Owner's responsibility to obtain and display a distinct municipal address, in accordance with the County Municipal Addressing Bylaw (Bylaw C-7562-2016), for the dwelling unit located on the subject site to facilitate accurate emergency response.
9. That Applicant/Owner shall connect the proposed development to the Bragg Creek water distribution and sewer system, if not connected and required.
 - i. That water and wastewater volumes used by the development shall be within the amounts allocated to the subject lands, and all overages shall be billed in accordance with the Master Rates Bylaw and the Water & Wastewater Utilities Bylaw (C-7662-2017).
 - ii. That the Applicant/Owner shall contact County Utility Operations for the installation or relocation of any required water meter. The installation or relocation of the water meter by County Utility Operations shall be at the Applicant/Owner's expense.

Advisory:

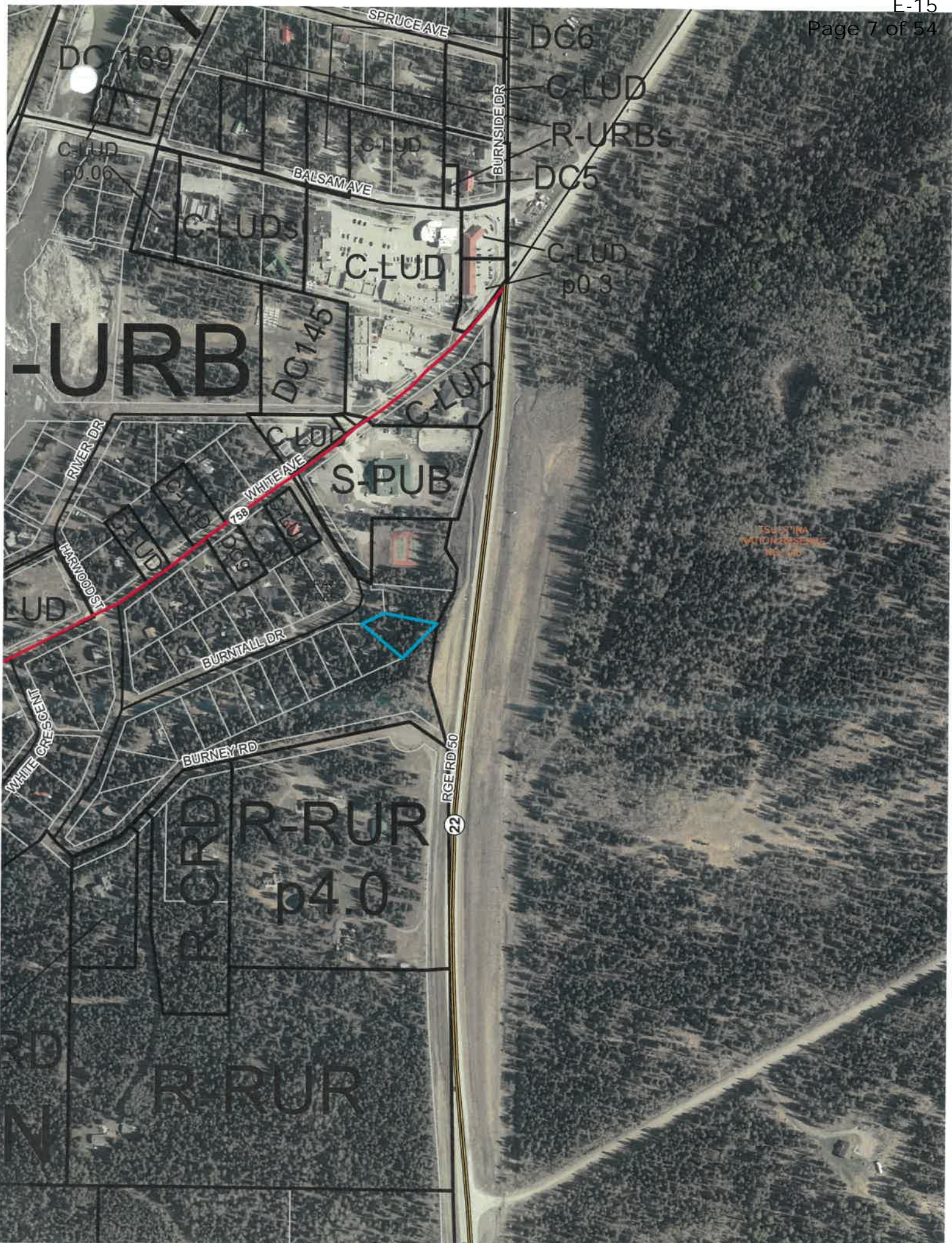
10. That during construction, the County's Noise Bylaw, C-5772-2003, shall be adhered to at all times.
11. That during construction, all construction and building materials shall be maintained onsite in a neat and orderly manner. Any debris or garbage shall be stored/placed in garbage bins and disposed of at an approved disposal facility.
12. That a Building Permit shall be obtained, through Building Services prior to any construction taking place, using the Addition checklist.
13. That if the development authorized by the Development Permit is not commenced, with reasonable diligence, within twelve (12) months from the date of the date of issue and completed within twenty-four (24) months of the date of issue, the Development Permit shall be deemed null and void.
14. That if this Development Permit is not issued by **JUNE 30, 2021** or the approved extension date, then this approval is null and void and the Development Permit shall not be issued.

Option #2: (this would not allow the development to proceed)

REFUSAL as per the following reasons:

1. That in the opinion of the Development Authority, the development unduly interferes with the amenities of the neighbourhood and materially interferes with and affects the use, enjoyment, and value of neighbouring parcels of land.







ROCKY VIEW COUNTY

DEVELOPMENT PERMIT APPLICATION

FOR OFFICE USE ONLY	
APPLICATION NO.	20203557
ROLL NO.	03912147
RENEWAL OF	-
FEES PAID	\$315.00
DATE OF RECEIPT	NOV 5/2020

APPLICANT/OWNER

Applicant Name: GREG KENNEDY

Business/Organization Name (if applicable): Mountain's Edge Renovations Inc

Landowner Name(s) per title (if not the Applicant): Ken and Frances Krawiec

Business/Organization Name (if applicable):

LEGAL LAND DESCRIPTION - Subject site

All/part of: NE 1/4 Section: 12 Township: 23 Range: 5 West of: 5 Meridian Division: 01
 All parts of Lot(s)/Unit(s): 19 Block: 02 Plan: 820 LK Parcel Size (ac/ha): .44 acres
 Municipal Address: 39 Burntall Drive, Bragg Creek Land Use District: R-URB

APPLICATION FOR - List use and scope of work

Residential dwelling - addition to existing footprint

Variance Rationale included: ☐ YES ☐ NO ☒ N/A

DP Checklist Included: ☒ YES ☐ NO

SITE INFORMATION

- a. Oil or gas wells present on or within 100 metres of the subject property(s) ☐ YES ☒ NO
- b. Parcel within 1.5 kilometres of a sour gas facility (well, pipeline or plant) ☐ YES ☒ NO
- c. Abandoned oil or gas well or pipeline present on the property ☐ YES ☒ NO
 (Well Map Viewer: <https://extmapviewer.aer.ca/AERAbandonedWells/index.html>)
- d. Subject site has direct access to a developed Municipal Road (accessible public roadway) ☒ YES ☐ NO

AUTHORIZATION

I, Greg Kennedy (Full name in Block Capitals), hereby certify (initial below):

gk That I am the registered owner OR ☒ That I am authorized to act on the owner's behalf.

gk That the information given on this form and related documents, is full and complete and is, to the best of my knowledge, a true statement of the facts relating to this application.

gk That I provide consent to the public release and disclosure of all information, including supporting documentation, submitted/contained within this application as part of the review process. I acknowledge that the information is collected in accordance with s.33(c) of the Freedom of Information and Protection of Privacy Act.

gk **Right of Entry:** I authorize/acknowledge that Rocky View County may enter the above parcel(s) of land for purposes of investigation and enforcement related to this application in accordance with Section 542 of the Municipal Government Act.

Applicant Signature

Date

Landowner Signature

Date



ROCKY VIEW COUNTY

clarify if
hard copy
required

DEVELOPMENT PERMIT APPLICATION CHECKLIST - GENERAL

All plans shall be submitted as one (1) legible hard copy and in DIGITAL form (pdfs)

Select [✓] all that are included within application package. Incomplete applications may not be accepted for processing

- ☒ **APPLICATION FORM(S) AND CHECKLIST:** All parts completed and signed.
- ☐ **APPLICATION FEE:** Refer to Planning and Development Fee Schedule within the [Master Rates Bylaw](#).
- ☒ **CURRENT LAND TITLES CERTIFICATE COPY - dated within 30 days of application, and:**
- ☐ Digital copy of non-financial instruments/caveats registered on title
- ☒ **LETTER OF AUTHORIZATION:** Signed by the registered landowner(s) authorizing person acting on behalf (if not the Applicant). If registered owner on title is a company, authorization to be provided on a company letterhead or as an affidavit (signed by a Commissioner of Oaths).
- ☐ **COVER LETTER, shall include:**
- ☐ Proposed land use(s) and scope of work on the subject property
 - ☒ Detailed rationale for any variances requested *N/A*
 - ☒ For businesses - Complete operational details including days/hours of work, number of employees, parking provisions, types of vehicles, outdoor storage areas, site access/approach, traffic management, etc. *N/A*
 - ☒ Reference to any *Supporting Documents*, images, studies, plans etc. provided within application package
- ☐ **SITE PLAN, shall include:** *Drawings Package*
- ☒ Legal description and municipal address
 - ☒ North arrow
 - ☒ Property dimensions (all sides)
 - ☒ Setbacks/dimensions from all sides of the property line(s) to existing/proposed buildings, structures (cantilevers, decks, and porches), outdoor storage areas etc.
 - ☒ Dimensions of all buildings/structures
 - ☒ Location and labels for existing/proposed approach(s)/access to property *Driveway stays same*
 - ☒ Identify names of adjacent internal/municipal roads and highways
 - ☒ Identify any existing/abandoned/proposed oil wells, septic fields/tanks, or water wells on site, including their distances to existing/proposed buildings *Septic will be removed; connecting to sewer*
 - ☒ Identify any existing/proposed site features such as trees, shelterbelts, canals, waterbodies, etc. *see photos*
 - ☒ Identify site slopes greater than 15% and distances from structures *see elevations*
 - ☒ Location and labels for easements and/or rights-of-way on title
- ☒ **FLOOR PLANS/ELEVATIONS, shall include:** *Pkg Drawings*
- ☐ Overall dimensions on floor plans for all buildings/structures (for new construction, additions, renovations etc.)
 - ☐ Indicate floor area and existing/proposed uses on floor plans and height(s) on elevations
 - ☐ Indicate type of building/structure on floor plans and elevations
- ☒ **COLOUR PHOTOGRAPHS (Min. 3) - one hard and digital copy:** Of existing site, building(s), structure(s), signage, site features, taken from all sides including surrounding context, and when existing floor plans/elevations are not available
- ☒ **SUPPORTING DOCUMENTS (as applicable):** Include technical studies/reports and any additional plans relating to the proposed development (lot grading, site lighting, storm water management plans etc.). Refer to the Land Use Bylaw for use or district specific requirements. *Ministry of Transport Approval*

FOR OFFICE USE ONLY

Proposed Use(s): *DISCRETIONARY* Land Use District: *R-URB*

Applicable ASP/CS/IDP/MSDP: *Bragg Creek*

Included within file: ☒ Information Sheet ☒ Parcel Summary ☒ Site Aerial ☒ Land Use Map Aerial ☒ Site Plan

NOTES:

Staff Signature: *Z. mercur*

October 22, 2020

Rockyview County

262075 Rocky View Point

Rocky View County, AB

T4A 0X2

To whom it may concern:

RE: Development Permit Application Cover Letter

This letter is to address the 5th item on the Development Permit Application Checklist.

- There is no proposed land use change. It will continue to be for a single residence with an attached garage. The existing home will have an addition built onto it, and a garage built that is connected to the newer, larger house structure.
- We do not believe any variances are required or requested. This application is to conform with the new Bragg Creek guidelines for additions to existing homes.
- Construction work is expected to begin no earlier than 8 am, and to complete by 6 pm most evenings. Most work will be done on weekdays, with occasional carryover to a Saturday morning if a key component needs to be finished by a deadline. At this time, there is no benefit or foreseen reason to extend any working hours. There are 2 employees, and a number of subcontractors/tradespeople involved in the project.
- The jobsite is entirely on private residential land. It is expected that vehicles will be parking on the property, rather than the road. This home will be tying into the new Bragg Creek community sewer system—the only construction expected to impact the roadway is during this transition. One storage trailer will remain on site, parked off the road on the private property.
- This application will all be uploaded as one file. The Architect drawings will be a separate file, for easier sharing. And the photos will be attached in a separate email or 2, due to the size of the photo files.

The application form clearly states that you require both hard and digital files. Please advise if you need us to drop off hard copies, and any COVID safety requirements you may have.

Please advise regarding the application fee, and preferred method of payment.

Sincerely,

Greg & Debbie Kennedy

Mountain's Edge Renovations Inc.

403-461-2710 OR 403-949-7727

September 20, 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Attention: Planning and Development Department

Subject: Letter of Authorization, 39 Burntall Drive, Bragg Creek, AB
TOL OK0

To whom it may concern:

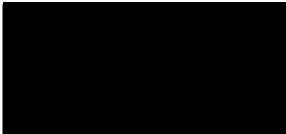
This letter authorizes Greg and Debbie Kennedy (or their agents) of Mountain's Edge Renovations Inc. of Redwood Meadows, AB to discuss our property with Rockyview County.

Please contact us if you have any questions or concerns,

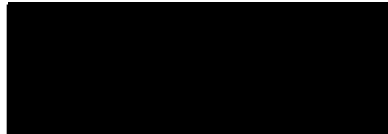
Frances and Ken Krawiec



Frances Krawiec



Ken Krawiec





LAND TITLE CERTIFICATE

S
LINC SHORT LEGAL TITLE NUMBER
0020 684 156 820LK;2;19 191 204 803

LEGAL DESCRIPTION
PLAN 820LK
BLOCK 2
LOT 19
EXCEPTING THEREOUT ALL MINES AND MINERALS

ESTATE: FEE SIMPLE
ATS REFERENCE: 5;5;23;12;NE

MUNICIPALITY: ROCKY VIEW COUNTY

REFERENCE NUMBER: 171 043 533

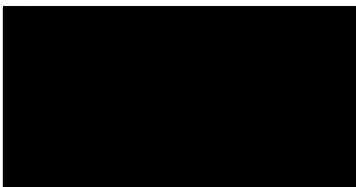
REGISTRATION	DATE (DMY)	REGISTERED OWNER(S) DOCUMENT TYPE	VALUE	CONSIDERATION
191 204 803	07/10/2019	TRANSFER OF LAND	\$300,000	\$300,000

OWNERS

KEN KRAWIEC

AND

FRANCES KRAWIEC



ENCUMBRANCES, LIENS & INTERESTS

REGISTRATION NUMBER	DATE (D/M/Y)	PARTICULARS
1025LL	21/04/1972	CAVEAT CAVEATOR - TERRENCE ROBERT MCCLOY

TOTAL INSTRUMENTS: 001

(CONTINUED)

PAGE 2
191 204 803

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN
ACCURATE REPRODUCTION OF THE CERTIFICATE OF
TITLE REPRESENTED HEREIN THIS 21 DAY OF
OCTOBER, 2020 AT 04:21 P.M.

ORDER NUMBER: 40362396

CUSTOMER FILE NUMBER:



END OF CERTIFICATE

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED
FOR THE SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER,
SUBJECT TO WHAT IS SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM
INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION,
APPRAISAL OR OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS
PART OF THE ORIGINAL PURCHASER APPLYING PROFESSIONAL, CONSULTING
OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT(S).





















Delivery Services, Transportation
Southern Region, Calgary District
803 Manning Road Ne
Calgary, Alberta T2E 7M8

August 21, 2020

Permit No.: RSDP031884
File Number: NE-12-23-5-W5M(16)

Greg Kennedy



Attention Greg Kennedy

Subject: Approval for the Items identified below within Rocky View County ("Municipality")

Regarding application for the following:

1500 square foot addition to existing structure.

Permit / File Number	Description	Location
RSDP031884-1 Development	1500 square foot addition to existing structure.	Highway 22 NE-12-23-5-5 Lot 19 Block 2 Plan 820LK

Alberta Transportation Permit No. **RSDP031884** is issued to Greg Kennedy (Permittee) under the Highways Development and Protection Regulation authorizing the above noted development(s). Issuance of this permit does not excuse violation of any regulation, bylaw or act which may affect the proposed project. This permit is subject to the conditions shown and should be carefully reviewed.

1. This permit is subject to the provisions of Section 11-19 inclusive of the Highways Development and Protection Act (Chapter H-8.5 2004), amendments thereto, and Highways Development and Protection Regulation (Alberta Regulation 326/2009) and amendments thereto,
2. The Department accepts no responsibility for the noise impact of highway traffic upon any development or occupants thereof,
3. This permit is issued subject to the approval of the Municipality,

Permission is hereby granted to Greg Kennedy to carry out the development in accordance with the plan(s) and specifications attached hereto and subject to the conditions shown above.

If the development has not been carried out by **August 21, 2022** this permit expires and the Permittee must reapply for a new permit if they wish to proceed.

If you have any questions about the permit or any of the conditions, please contact the undersigned Development and Planning Technologist.

Signed:



Digitally signed by
Trevor.Richelhof
Date: 2020.08.21 12:11:19
-06'00'

Trevor Richelhof
Dev and Planning Technologist
Trevor.Richelhof@gov.ab.ca

cc:

Ken and Frances Krawiec


Government
of Alberta
Transportation

ROADSIDE DEVELOPMENT APPLICATION FOR DEVELOPMENT NEAR A PROVINCIAL HIGHWAY

(print please)

Applicant's Name Greg Kennedy

Alberta Transportation Permit # _____

Landowner's Name Ken and Frances Krawiec
(if different from above)

APPLICATION IS HEREBY MADE TO: (Please provide a description of the proposed development including all proposed above and below ground installations. Attach a detailed report if necessary.)
1500 sf addition to existing structure. Property although adjacent to Highway 22- is on a downslope of approx 60-80 feet

Also attach a plan showing in detail the location of all existing and proposed development and access.

Property Information

(NE, NW, SE, SW)	¼ Section	Township	Range	West of Meridian
19 2		820LK	.44 acres	
Lot	Block	Plan Number	Parcel size (acres or hectares)	
Highway No. <u>22</u>		<u> </u> kilometres	of <u>Bragg Creek</u>	
		(north, south, etc.)	(City, Town or Village)	

Distance of the proposed development to the highway right-of-way boundary metres

Rockyview County	residential	350,000
Name of Municipality	Existing / Proposed Land Use	Estimated cost of proposed development

It is understood that all works will be constructed, altered, maintained or operated at the sole expense of the undersigned, and that any work must not begin before a permit has been issued by Alberta Transportation.

In consideration of any permit issued in respect to this application, the Applicant shall indemnify and hold harmless Alberta Transportation, its employees and agents from any and all claims, demands, actions and costs whatsoever that may arise, directly or indirectly from anything done or omitted to be done in the construction, maintenance, alteration or operation of the works authorized. The Applicant also consents to a person designated by Alberta Transportation to enter upon land for the purpose of inspection during the processing of this application.

The issuance of a permit by Alberta Transportation does not relieve the holder of the responsibility of complying with relevant municipal bylaws and this permit once issued does not excuse violation of any regulation, bylaw or act which may affect this project.

I hereby certify that ☐ I am the registered owner
(print full name)

I Greg Kennedy hereby certify that ☒ I am authorized to act on
(print full name) the owner's behalf

Signature

Signature

and that the information given on this form is full and complete and is, to the best of my knowledge, a true statement of facts relating to this application for roadside development.

(Date) 2020 08 11

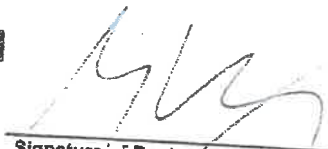
Government
of Alberta 
Transportation

ROADSIDE DEVELOPMENT APPLICATION FOR DEVELOPMENT NEAR A PROVINCIAL HIGHWAY

Alberta Transportation Permit # _____

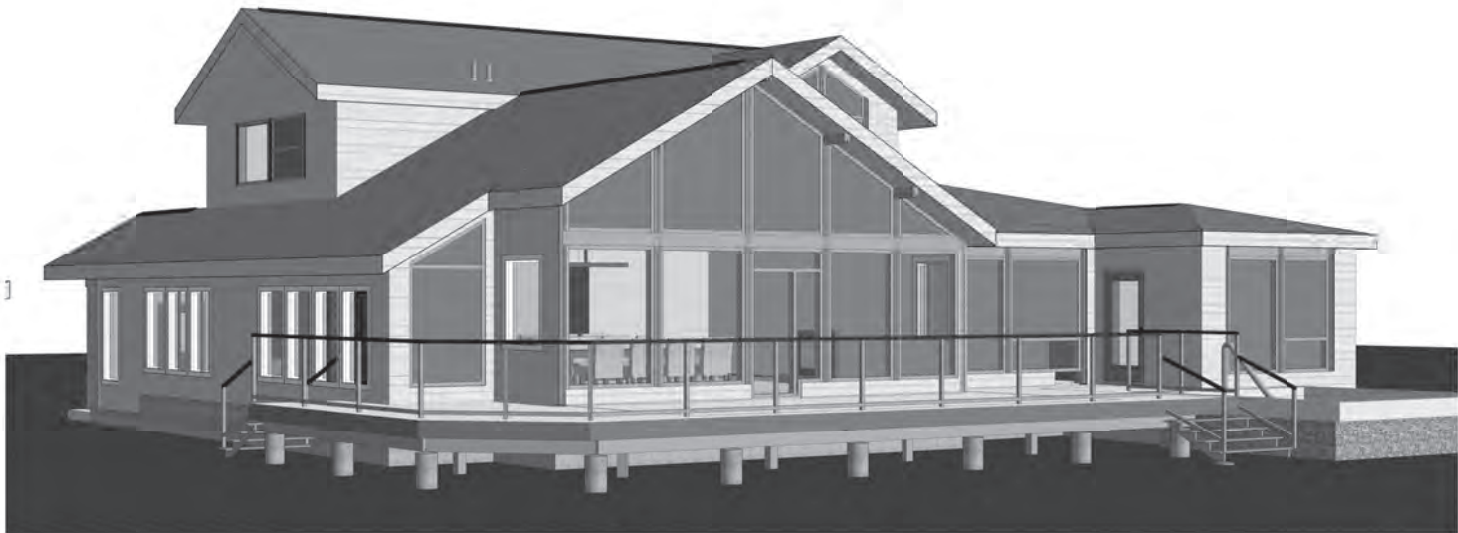
Note: distances may be shown in metres or feet

SITE PLAN



Signature of Registered Owner or Authorized Agent

39 BURNTALL DRIVE ADDITION / RENOVATION



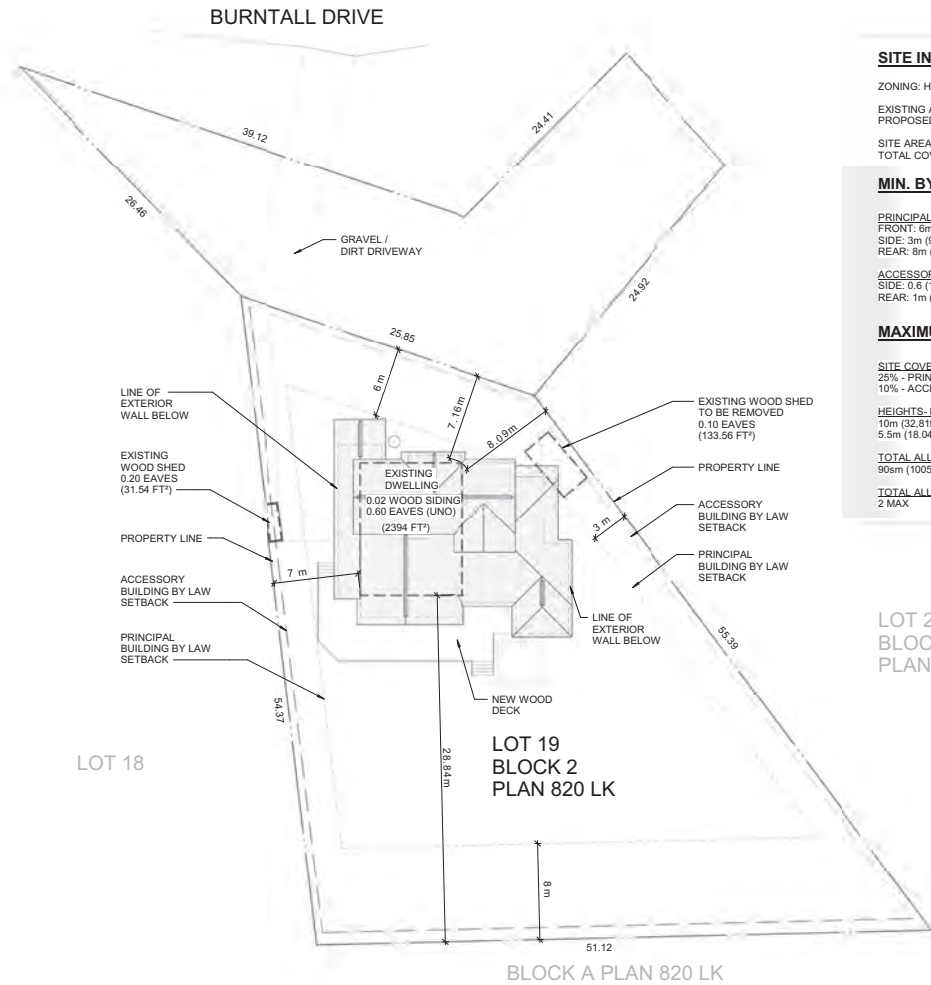
DRAWING LIST	
Sheet Number	Sheet Name
A0.00	COVER
A1.01	SITE PLAN AND GENERAL NOTES
A2.01	WALL, FLOOR AND ROOF ASSEMBLIES, RSI CALCULATIONS
A2.02	EXISTING / DEMO MAIN FLOOR & UPPER LOFT PLANS
A2.03	EXISTING / NEW FOUNDATION PLAN
A2.04	NEW PROPOSED FLOOR PLAN
A2.05	NEW PROPOSED LOFT
A2.06	ROOF PLAN
A3.01	EXTERIOR ELEVATIONS
A3.02	EXTERIOR ELEVATIONS
A3.03	WINDOW SCHEDULE
A3.04	WINDOW SCHEDULE
A3.05	3D VIEWS
A4.01	BUILDING SECTIONS
A4.02	BUILDING SECTIONS
A4.03	BUILDING SECTIONS
A5.01	ENLARGED SECTION DETAILS
A5.02	ENLARGED SECTION DETAILS
A5.03	ENLARGED SECTION DETAILS
A5.04	ENLARGED SECTION DETAILS
A5.05	ENLARGED SECTION DETAILS
A5.06	ENLARGED SECTION DETAILS
A5.07	ENLARGED PLAN DETAILS
A5.10	TYPICAL INSULATION & VAPOUR BARRIER DETAILS
A5.11	WINDOW INSTALLATION DETAILS
E2.01	NEW MAIN FLOOR ELECTRICAL PLANS
E2.02	NEW LOFT FLOOR ELECTRICAL PLANS
S1.0	SCHEDULES
S2.0	SCHEDULES
S2.1	FOUNDATION PLAN
S2.2	MAIN FLOOR FRAMING PLAN
S2.3	SECOND FLOOR FRAMING PLAN
S2.4	ROOF FRAMING PLAN
S3.1	DETAILS

ISSUED FOR: ISSUED FOR CONSTRUCTION

20-10-09

PROJECT NAME:
39 BURNTALL DRIVE ADDITION /
RENOVATION
PROJECT OWNER:
BRAGG CREEK
ROCKY VIEW COUNTY
ALBERTA, T0L 0K0

DEVELOPMENT PERMIT:
BUILDING PERMIT:
PROJECT NUMBER:



SITE INFO:

ZONING: HR-1 (HAMLET OF BRAGGS CREEK)
EXISTING AREA=1018 FT²
PROPOSED NEW ADDITION=1376 FT²
SITE AREA= 19275 FT² (0.44 ACRES)
TOTAL COVERED= 2394 FT² (12.5%)

MIN. BY LAW SETBACKS

PRINCIPAL BUILDING
FRONT: 6m (198ft)
SIDE: 3m (9.84ft)
REAR: 8m (26.25ft)

ACCESSORY BUILDING
SIDE: 0.6 (1.97ft)
REAR: 1m (3.28ft)

MAXIMUM BY LAW ALLOWED

SITE COVERAGE - MAX ALLOWED
25% - PRINCIPAL
10% - ACCESSORY BUILDING

HEIGHTS - MAX ALLOWED
10m (32.81ft) - PRINCIPAL
5.5m (18.04ft) - ACCESSORY

TOTAL ALLOWED ACCESSORY BUILDING AREA
90sm (1005.00 ft²)

TOTAL ALLOWED ACCESSORY BUILDINGS
2 MAX

LOT 21
BLOCK 2
PLAN 941 1799

1	ISSUED FOR CONSTRUCTION	20-10-09
C	BUILDING PERMIT	19-08-12
B	REVIEW	19-07-02
A	REVIEW	19-07-16
No Description		19-07-16
		19-07-16
Issued For / Revisions		
Project		
39 BURNTALL DRIVE ADDITION / RENOVATION		
BRAGG CREEK ROCKY VIEW COUNTY ALBERTA, T0L 0K0		
Legal Description	PLAN	Building Permit No.
LOT 19, BLOCK 2		
Development Permit No.	DSSP No.	
Drawing Title		
SITE PLAN AND GENERAL NOTES		
Drawn by: NAT	Scale: 1/16" = 1'-0"	
Reviewed by: SRB	Date (YY-MM-DD): 20-10-09	
Drawing Number		Revision Number
A1.01		1

EXISTING ASSEMBLIES
REFERENCED IN PROJECT

EW1	EXISTING 8" CMU FOUNDATION WALL
EW2	EXISTING MODIFIED EXTERIOR WALL Remove Existing Wood Siding Install 1 layer of 1/2" Drywall Sheathing
EW3	EXISTING MODIFIED EXTERIOR WALL Remove Existing Wood Siding Install Garage Seal Air Barrier Install 1 layer of 1/2" Drywall Sheathing
EF1	EXISTING MAIN FLOOR ASSEMBLY
EF2	EXISTING LOFT FLOOR ASSEMBLY
ER1	EXISTING ROOF ASSEMBLY

NEW INTERIOR PARTITIONS
REFERENCED IN PROJECT

P1	P1 - WALL ASSEMBLY 1/2" Gypsum Board Sheathing 2"x4" Wood Studs @ 16" O.C. 1/2" Gypsum Board Sheathing
P2	P2 - WALL ASSEMBLY 1/2" Gypsum Board Sheathing 2"x6" Wood Studs @ 16" O.C. 1/2" Gypsum Board Sheathing

NEW ASSEMBLIES
REFERENCED IN PROJECT

W1	NEW BELOW GRADE FOUNDATION WALLS (WITH HRV)	EFFECTIVE RSI	(R-VALUE)
		W1 - WALL ASSEMBLY	
W2	NEW WALLS ABOVE GRADE & EXTERIOR WALLS OF ATTACHED GARAGE (WITH HRV)	EFFECTIVE RSI	(R-VALUE)
		W2 - WALL ASSEMBLY	
W3	WALLS ADJACENT TO UNCONDITIONED GARAGE (WITH HRV)	EFFECTIVE RSI	(R-VALUE)
		W3 - WALL ASSEMBLY	
W4	W4 Wall Assembly the Same as W2 Above But With Stone Veneer Cladding	EFFECTIVE RSI	(R-VALUE)
		W4 - WALL ASSEMBLY	
F1	NEW MAIN WOOD FLOOR	EFFECTIVE RSI	(R-VALUE)
		F1 - FLOOR ASSEMBLY	
F2	NEW UNHEATED CONCRETE FLOOR ABOVE FROST LINE (WITH HRV)	EFFECTIVE RSI	(R-VALUE)
		F2 - FLOOR ASSEMBLY	
F3	LOFT FLOOR OVER GARAGE (WITH HRV)	EFFECTIVE RSI	(R-VALUE)
		F3 - FLOOR ASSEMBLY	
F4	NEW LOFT WOOD FLOOR	EFFECTIVE RSI	(R-VALUE)
		F4 - FLOOR ASSEMBLY	
F5	NEW WOOD DECK	EFFECTIVE RSI	(R-VALUE)
		F5 - FLOOR ASSEMBLY	
R1	NEW CATHEDRAL CEILINGS WITH SLOPED OR FLAT ROOF (WITH HRV)	EFFECTIVE RSI	(R-VALUE)
		R1 - ROOF ASSEMBLY	

MIN. RSI & R-VALUES - CALGARY ALBERTA

CLIMATE ZONE ZONE 7A
ALBERTA BUILDING CODE SECTION 9.36
PRESCRIPTIVE ENERGY EFFICIENCY REQUIREMENTS

BELOW GRADE FOUNDATION WALLS (WITH HRV)		
DETAILS	RSI	(R-VALUE)
MIN EFFECTIVE (ASSEMBLY)	2.98	(16.2)

WALLS ABOVE GRADE & EXTERIOR WALLS OF AN ATTACHED GARAGE (W/ HRV)		
DETAILS	RSI	(R-VALUE)
MIN EFFECTIVE (ASSEMBLY)	2.97	(16.9)

RSI for 2x6 (38x140mm) wood framing at 16" (400mm) on centre filled with R24 mineral fibre batt insulation					
Thickness (mm)	RSI/mm	RSI-value (R-value)	Effective RSI-value calculation	RSI-value Effective	
38x140 wood studs at 16" o.c.	140	0.0085	1.19	100	2.68
R24 Batt Insul.	140	-	4.23	23 + 77	(R=15.1)

WALLS ADJACENT TO UNCONDITIONED GARAGE (WITH HRV)		
DETAILS	RSI	(R-VALUE)
MIN EFFECTIVE (ASSEMBLY)	2.81	(16.0)

UNHEATED FLOORS ABOVE FROST LINE (WITH HRV)		
DETAILS	RSI	(R-VALUE)
MIN EFFECTIVE (ASSEMBLY)	1.96	(11.1)

FLOOR OVER UNCONDITIONED ENCLOSED SPACE (WITH HRV)		
DETAILS	RSI	(R-VALUE)
MIN EFFECTIVE (ASSEMBLY)	5.02	(28.5)

CATHEDRAL CEILINGS AND FLAT ROOFS (WITH HRV)					
DETAILS	RSI		(R-VALUE)		
MIN EFFECTIVE (ASSEMBLY)	5.02		(28.5)		
RSI for 10" Deep Wood Joists @ 16" O.C. with R32 mineral fibre batt insulation				RSI-value Effective	
	Thickness mm	RSI/ mm	RSI-value (R-value)	Effective RSI-value calculation	
10" Deep Wood Joists @ 16" O.C.	235	0.0085	2.0	100 13 + 87 2.0 + 5.64	4.56 (R=25.89)
R32 Batt Insul.	200	-	5.64		

RIM JOIST (WITH HRV)		
MIN EFFECTIVE (ASSEMBLY)	RSI: 2.97	(R-VALUE): (16.9)

ATTIC ACCESS HATCH (WITH HRV)		
MIN EFFECTIVE (ASSEMBLY)	RSI: 2.60	(R-VALUE): (14.8)

FENESTRATION & DOORS		
MIN EFFECTIVE (ASSEMBLY)	MAX 'U': 1.6	ER RATING 25

SKYLIGHTS		
MIN EFFECTIVE (ASSEMBLY)	MAX 'U': 2.7	

SKYLIGHTS SHAFT		
MIN EFFECTIVE (ASSEMBLY)	RSI: 2.70	(R-VALUE): (16.9)

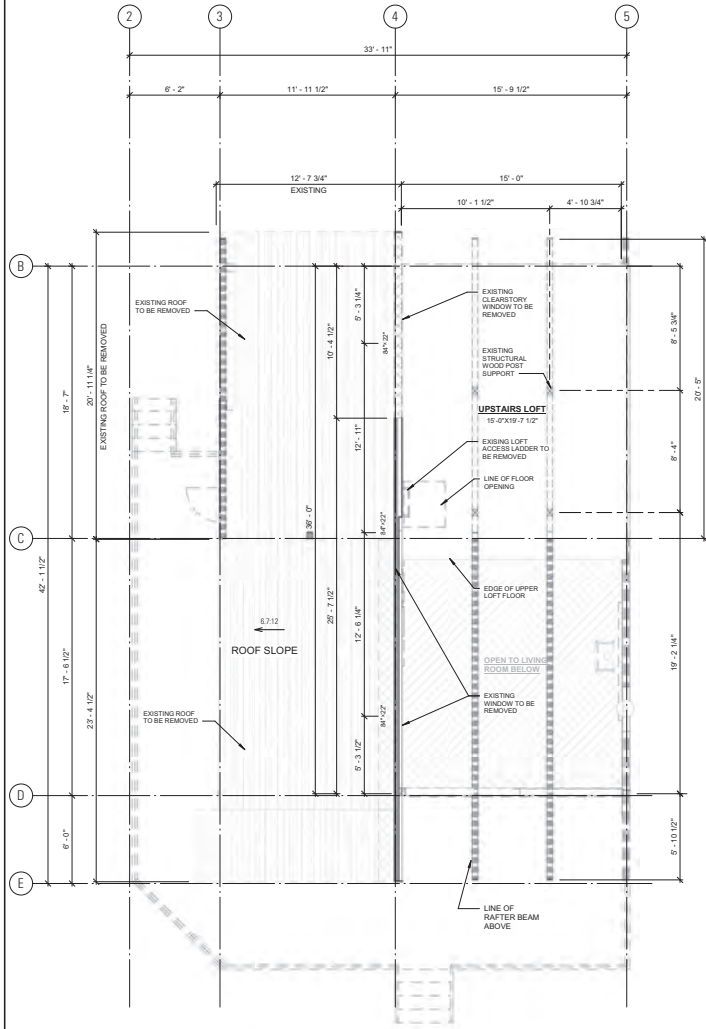
VEHICLE ACCESS DOORS		
MIN EFFECTIVE (ASSEMBLY)	RSI: 1.10	(R-VALUE): (6.25)

RELATED BUILDING CODE SECTIONS

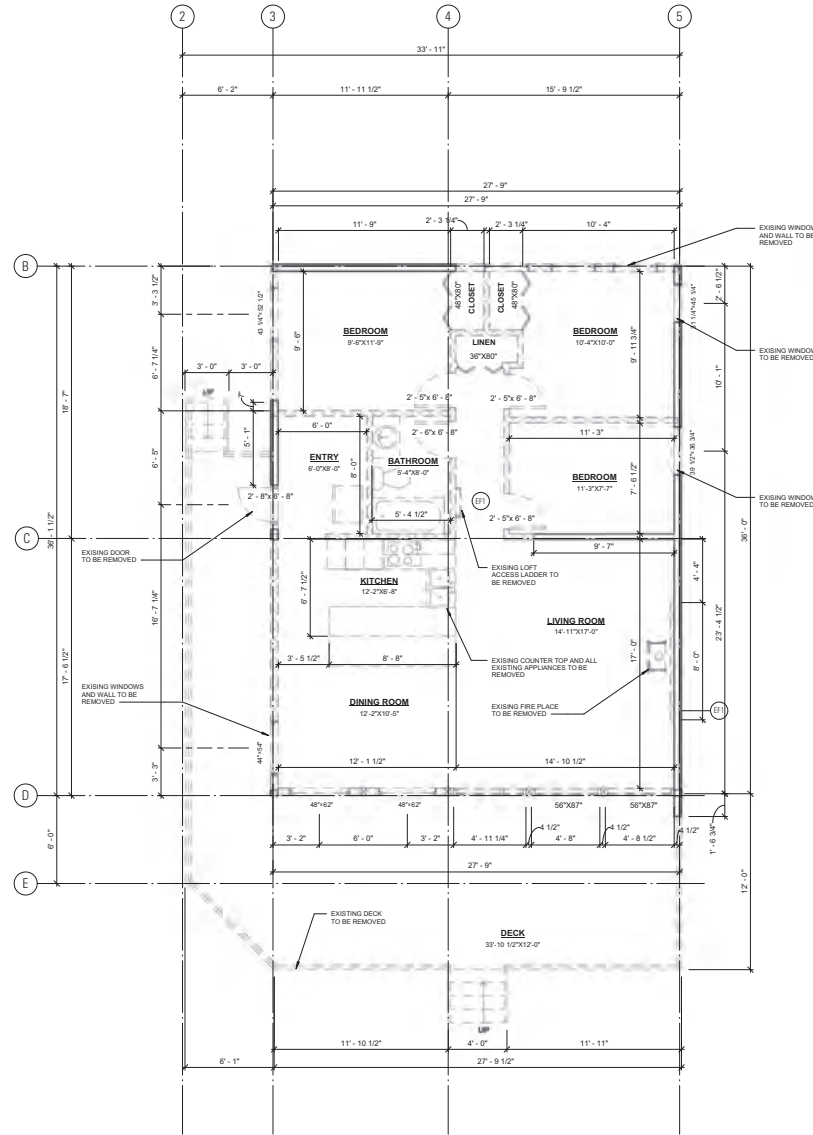
ALL WORK SHALL COMPLY WITH THE NATIONAL BUILDING CODE OF CANADA 2015
(1) BCC 2015, ALBERTA EDITION, EXCEPT 2015 ALBERTA EDITION, 2015 ALBERTA EDITION
PART 9 - RELATED SECTIONS BELOW, NOT ALL RELATED SECTIONS LISTED

9.2.2. Lumber Grades
9.2.3. Nails & Screws
9.2.4. Metal Spacing
9.2.5. Steel Decking
9.2.6. Steel Joists
9.2.7. Steel Joist
9.2.8. Steel Joist
9.2.9. Steel Joist
9.2.10. Steel Joist
9.2.11. Steel Joist
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9.2.97. Steel Joist
9.2.98. Steel Joist
9.2.99. Steel Joist
9.3.00. Steel Joist

1	ISSUED FOR CONSTRUCTION	20-10-09
C	BUILDING PERMIT	19-08-12
B	REVIEW	19-07-02
A	REVIEW	19-01-16
No Description		19-01-16
Issued For / Revisions		19-01-16
Project		
39 BURNTALL DRIVE ADDITION / RENOVATION		
BRIDGE CREEK ROCKY VIEW COUNTY ALBERTA, T1A 0K0		
Legal Description	PLAN	Building Permit No.
LOT 16, BLOCK 2		RSI/UC
Development Permit No.		DSSP No.
Drawing Title		
WALL, FLOOR AND ROOF ASSEMBLIES, RSI CALCULATIONS		
Drawn by:	Author	Scale
Reviewed by:	SRB	As indicated
Date (YY-MM-DD)		20-10-09
Drawing Number		
A2.01		Revision Number
		1



2
A2.02
EXISTING UPPER LOFT FLOOR PLAN
1/4\" = 1'-0"



1
A2.02
EXISTING/ DEMO MAIN FLOOR PLAN
1/4\" = 1'-0"

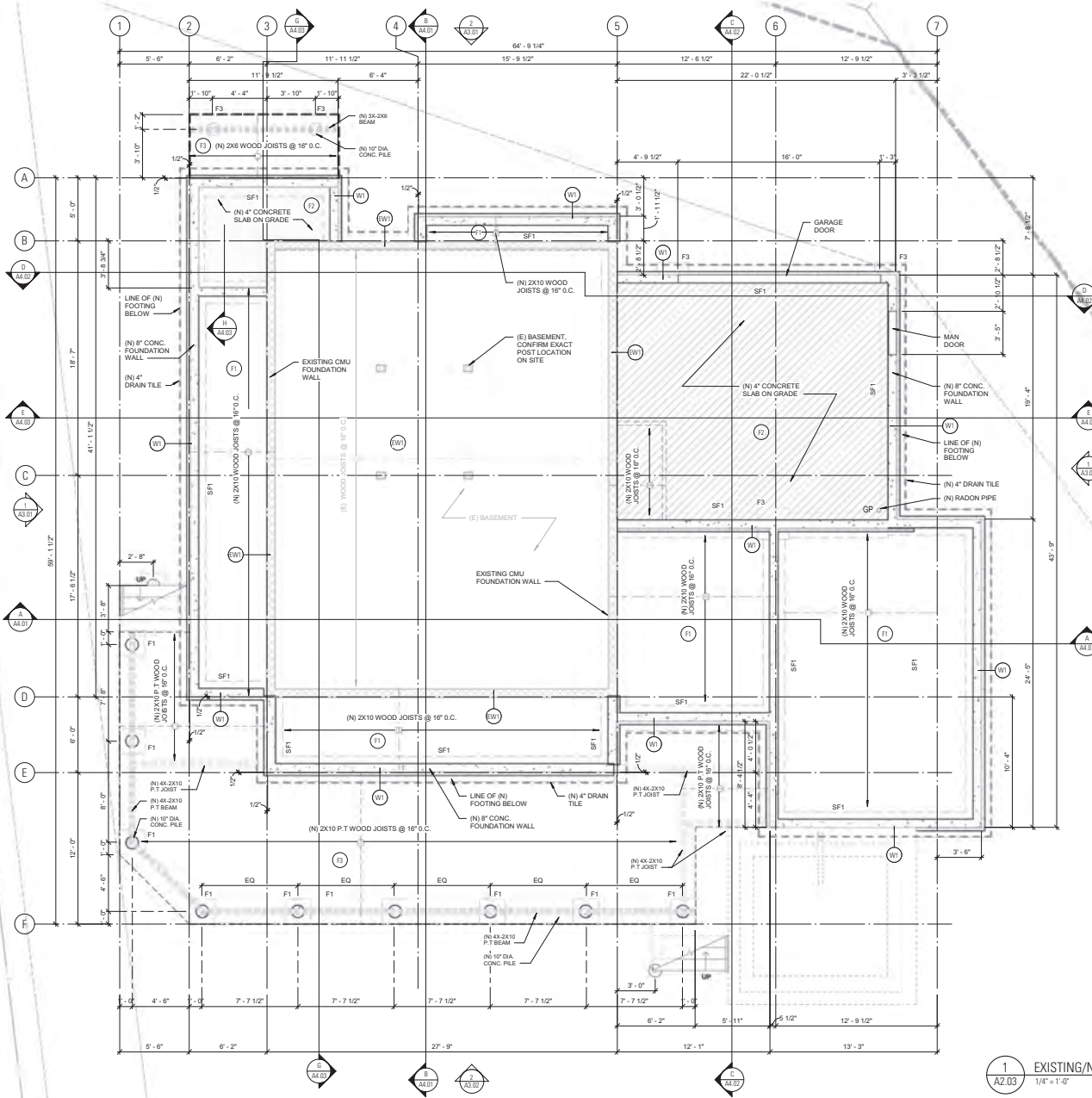
GENERAL NOTES:

1. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
2. DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS.
3. USE ONLY LATEST REVISED DRAWINGS.
4. REPORT ANY ERROR OR OMISSIONS TO THE DESIGNER OR ENGINEER AS APPLICABLE.
5. THE DRAWINGS ARE THE PROPERTY OF THE DESIGNER. ANY UNAUTHORIZED USE IS PROHIBITED.

LEGEND:

- EXISTING TO BE REMOVED
- EXISTING TO REMAIN
- NEW
- ELEVATION MARKER
- SECTION MARKER

1	ISSUED FOR CONSTRUCTION	20-10-09
2	BUILDING PERMIT	19-08-12
3	REVIEW	19-07-02
4	REVIEW	19-07-16
5	REVIEW	19-07-16
No Description		
Issued For / Revisions		
Project		
39 BURNSTALL DRIVE ADDITION / RENOVATION		
BRIDGE CREEK		
ROCKY VIEW COUNTY		
ALBERTA, T1A 0K0		
Legal Description		Building Permit No.
LOT 19, BLOCK 2, PLAN		
Development Permit No.		DSSP No.
Drawing Title		
EXISTING / DEMO MAIN FLOOR & UPPER LOFT PLANS		
Drawn by: NAT		Scale: 1/4\" = 1'-0"
Reviewed by: SRB		Date (YY-MM-DD): 20-10-09
Drawing Number		
A2.02		Revision Number 1



**STRIP FOOTING
SCHEDULE:**

SF1 : 2'-0" X 10" DP R/W 2-15M CONT. BOT.

**PAD FOOTING
SCHEDULE:**

F1 : 2'-0" X 2'-0" X 8" 3-15M EACH WAY BOT.
F3 : 3'-0" X 3'-0" X 10" 4-15M EACH WAY BOT.

GENERAL NOTES:

1. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION
2. DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS.
3. USE ONLY LATEST REVISED DRAWINGS.
4. REPORT ANY ERROR OR OMISSIONS TO THE DESIGNER OR ENGINEER AS APPLICABLE
5. THE DRAWINGS ARE THE PROPERTY OF THE DESIGNER. ANY UNAUTHORIZED USE IS PROHIBITED.

LEGEND:

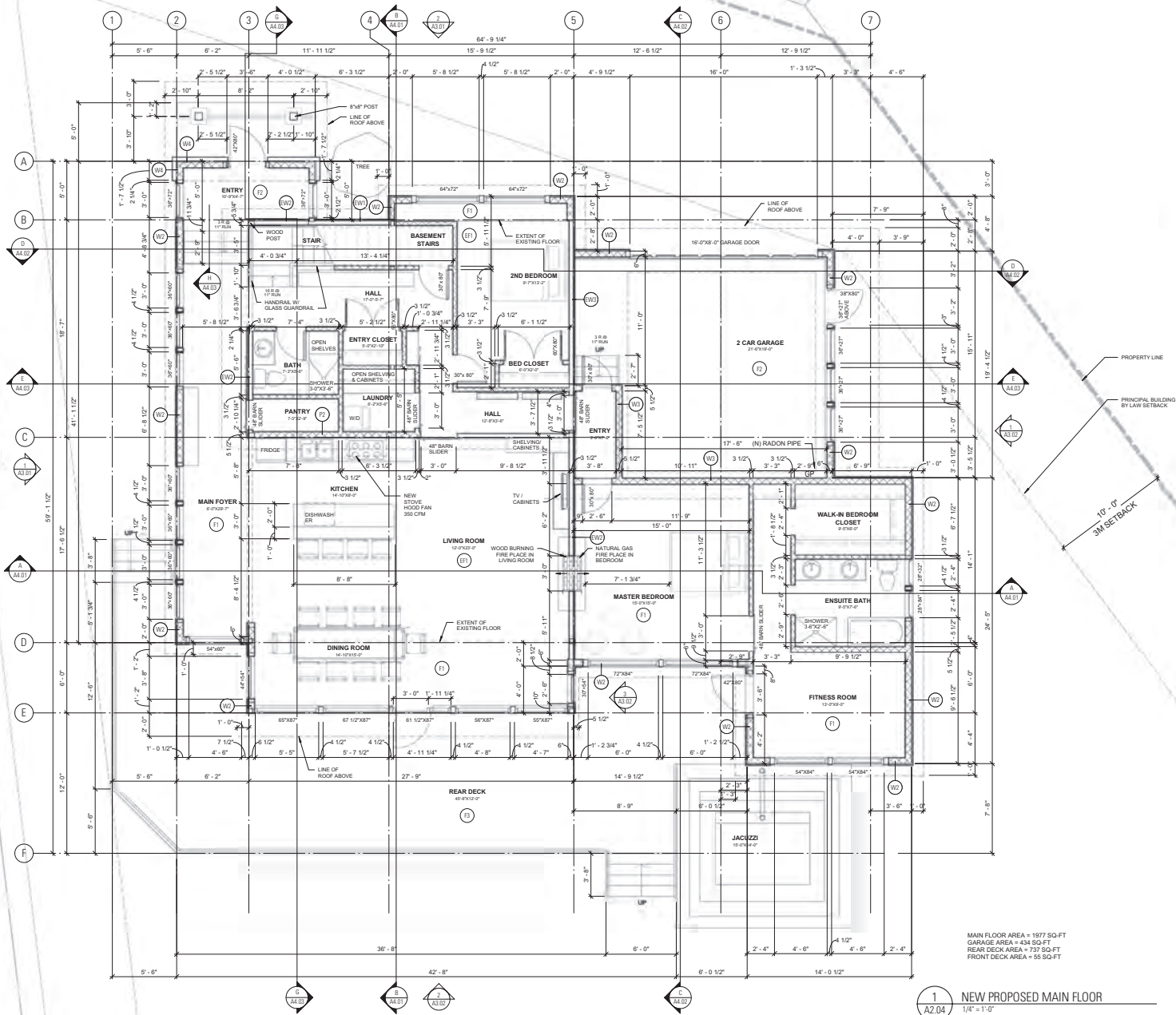
- EXISTING TO BE REMOVED
- EXISTING CMU FOUNDATION WALL TO REMAIN
-
- ELEVATION MARKER
- SECTION MARKER

- (E) EXISTING
- (N) NEW
- (W) NEW WALL TYPE
- (EW) EXISTING WALL
- (F) NEW FLOOR TYPE
- (EF) EXISTING FLOOR TYPE

FOR ASSEMBLY TYPE DESCRIPTIONS REFER TO SHEET A5.01

1	ISSUED FOR CONSTRUCTION	20-10-08
C	BUILDING PERMIT	19-08-12
B	REVIEW	19-07-02
A	REVIEW	19-07-16
No Description		1908 (TY-MM-DD)
Issued For / Revisions		
Project		
39 BURNTALL DRIVE ADDITION / RENOVATION		
BRIDGE CREEK ROCKY VIEW COUNTY ALBERTA, T1L 0K0		
Legal Description	PLAN	Building Permit No.
Development Permit No.	DSSP No.	
Drawing Title		
EXISTING / NEW FOUNDATION PLAN		
Drawn by: Author	Scale	
Reviewed by:SRB	Date (YY-MM-DD)	
Drawing Number		Revision Number
A2.03		1

1
A2.03 EXISTING/NEW FOUNDATION PLAN
1/4" = 1'-0"



GENERAL NOTES:

1. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
2. DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS.
3. USE ONLY LATEST REVISED DRAWINGS.
4. REPORT ANY ERROR OR OMISSIONS TO THE DESIGNER OR ENGINEER AS APPLICABLE.
5. THE DRAWINGS ARE THE PROPERTY OF THE DESIGNER. ANY UNAUTHORIZED USE IS PROHIBITED.

LEGEND:

- EXISTING TO BE REMOVED
EXISTING TO REMAIN
NEW
ELEVATION MARKER
SECTION MARKER
- NEW WALL TYPE
EXISTING WALL
NEW FLOOR TYPE
EXISTING FLOOR TYPE

FOR ASSEMBLY TYPE DESCRIPTIONS REFER TO SHEET A5.01

ALL INTERIOR PARTITIONS ARE TYPE P1 UNLESS NOTED OTHERWISE

1	ISSUED FOR CONSTRUCTION	20-10-08
C	BUILDING PERMIT	19-08-12
B	REVIEW	19-07-02
A	REVIEW	19-07-16
Rev	Description	DATE
1	ISSUED FOR CONSTRUCTION	20-10-08

Issued For / Revisions

Project:
39 BURNTALL DRIVE ADDITION / RENOVATION

BRADY CREEK
ROCKY VIEW COUNTY
ALBERTA, T1A 0K0

Legal Description
LOT 19, BLOCK 2, PLAN
80014 Development Permit No. DSSP No.

Drawing Title
NEW PROPOSED FLOOR PLAN

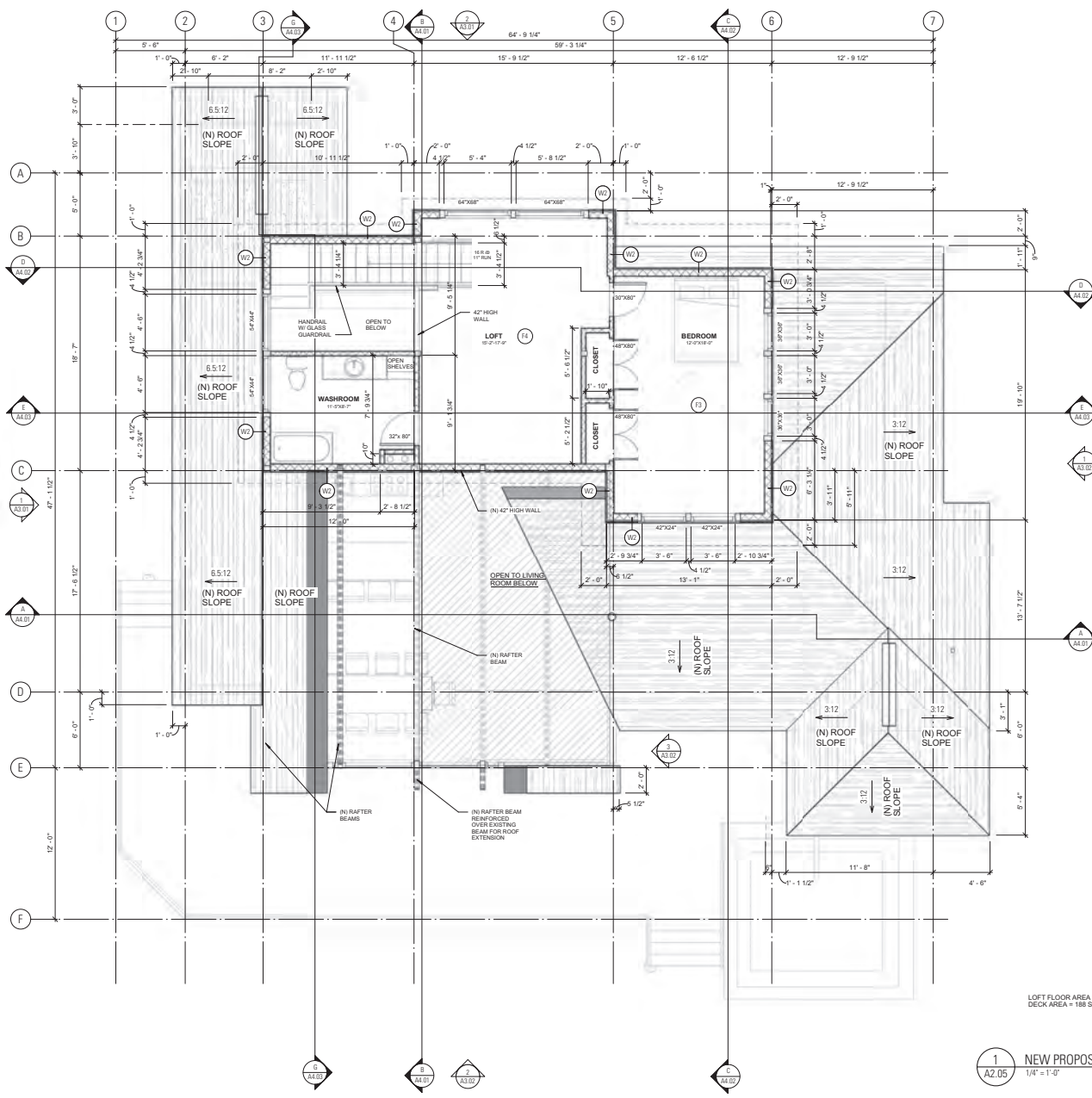
Drawn by: NAT
Reviewed by: SBR
Scale: 1/4" = 1'-0"
Date (YY-MM-DD): 20-10-08

Drawing Number

A2.04
Revision Number 1

MAIN FLOOR AREA = 1977 SQ-FT
GARAGE AREA = 434 SQ-FT
REAR DECK AREA = 737 SQ-FT
FRONT DECK AREA = 55 SQ-FT

1
A2.04
NEW PROPOSED MAIN FLOOR
1/4" = 1'-0"



GENERAL NOTES:

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LEGEND:

- EXISTING TO BE REMOVED
- EXISTING TO REMAIN
- NEW

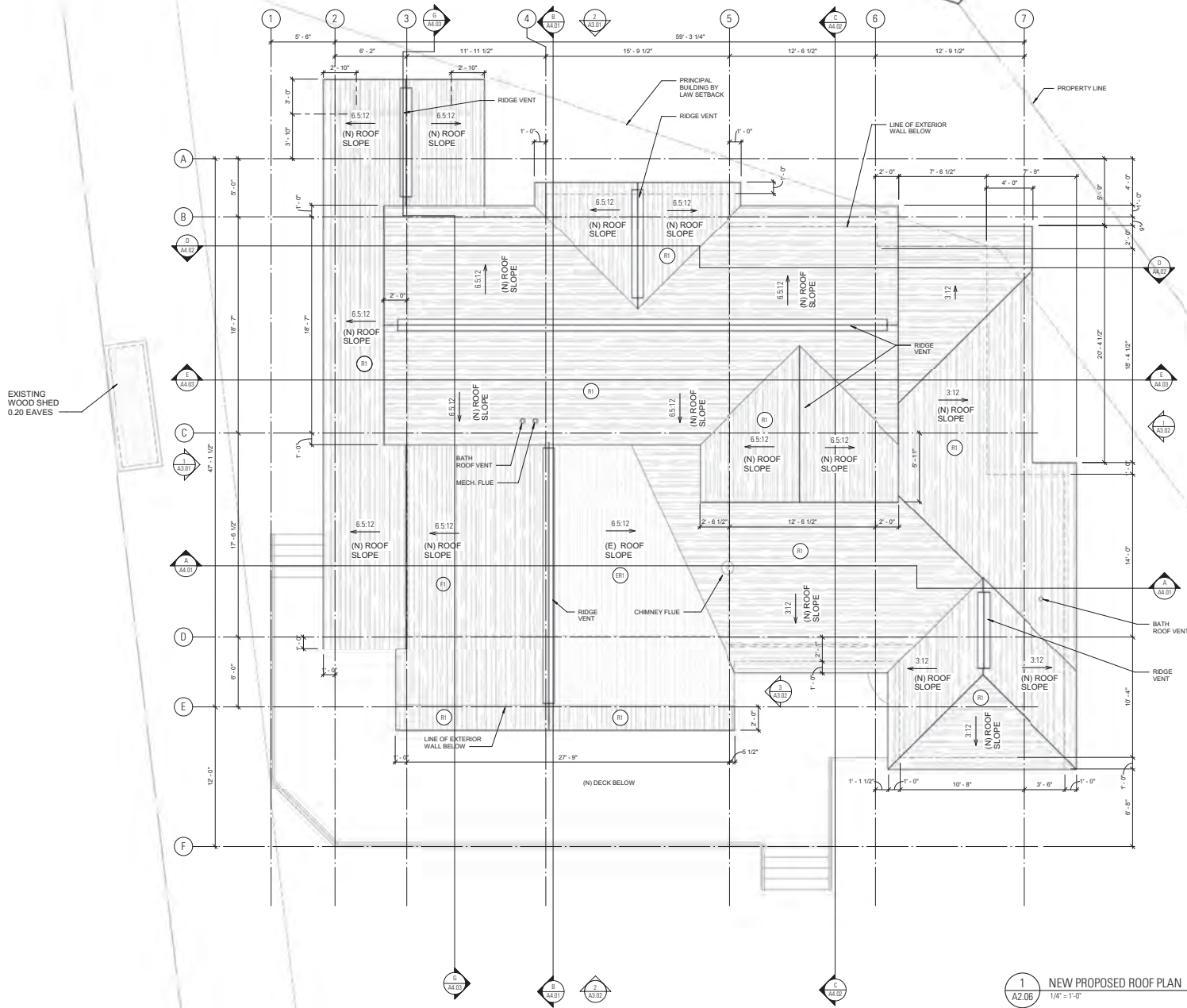
ELEVATION MARKER
SECTION MARKER

- NEW WALL TYPE
- EXISTING WALL
- NEW FLOOR TYPE
- EXISTING FLOOR TYPE
- NEW ROOF TYPE

FOR ASSEMBLY TYPE DESCRIPTIONS REFER TO SHEET A5.01
ALL INTERIOR PARTITIONS ARE TYPE P1 UNLESS NOTED OTHERWISE.

1	ISSUED FOR CONSTRUCTION	20-10-09
C	BUILDING PERMIT	19-08-12
B	REVIEW	19-07-02
A	REVIEW	19-02-16
No. Description		10000 (YY-MM-DD)
Issued For / Revisions		
Project		
39 BURNTALL DRIVE ADDITION / RENOVATION		
BRIDGE CREEK ROCKY VIEW COUNTY ALBERTA, T1A 0K0		
Legal Description	PLAN	Building Permit No.
LOT 19, BLOCK 2		
Development Permit No.	DSSP No.	
Drawing Title		
NEW PROPOSED LOFT		
Drawn by: NAT	Scale: 1/4" = 1'-0"	
Reviewed by: SRB	Date (YY-MM-DD): 20-10-09	
Drawing Number		Revision Number
A2.05		1

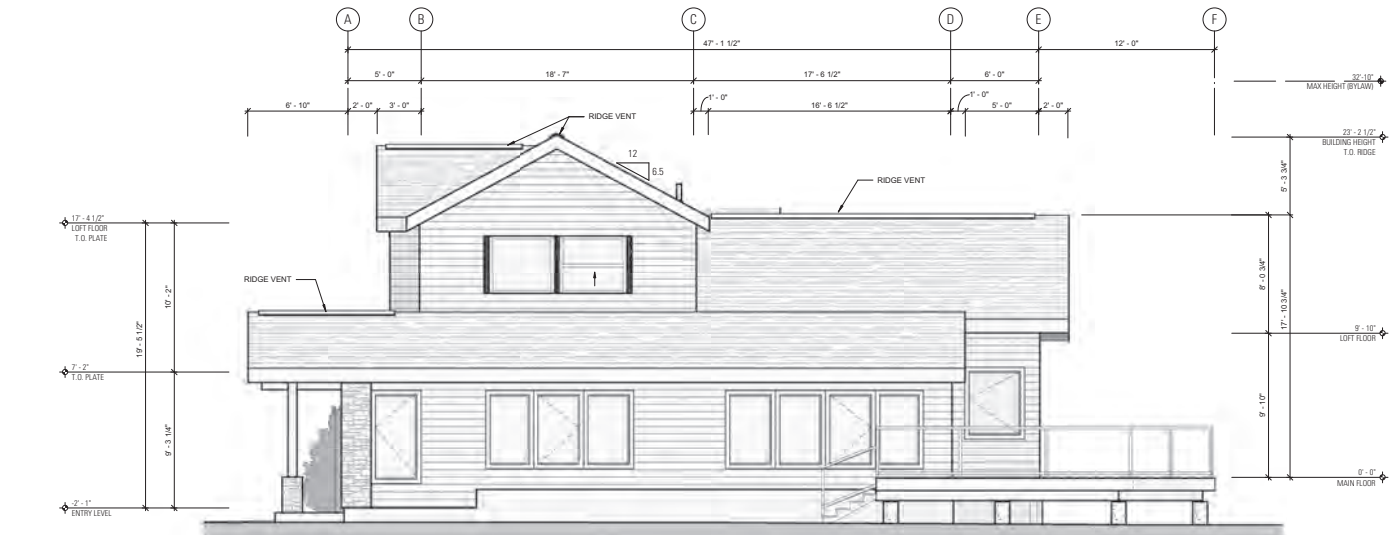
1 NEW PROPOSED LOFT
A2.05 1/4" = 1'-0"



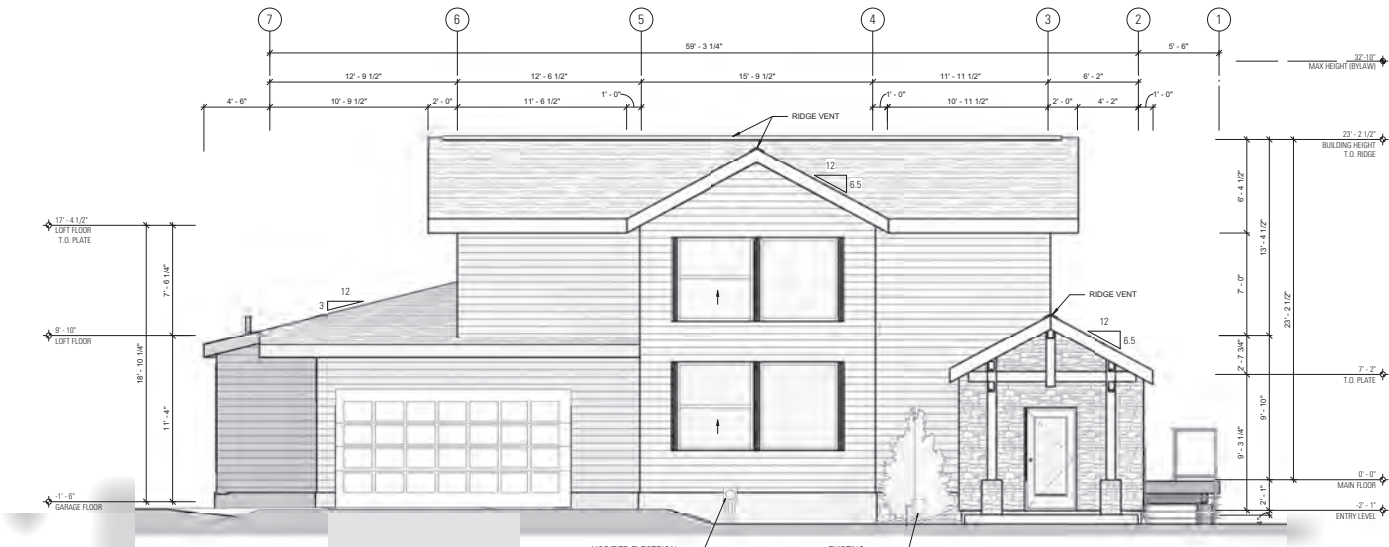
- GENERAL NOTES:**
1. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
 2. DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS.
 3. USE ONLY LATEST REVISED DRAWINGS.
 4. REPORT ANY ERROR OR OMISSIONS TO THE DESIGNER OR ENGINEER AS APPLICABLE.
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- LEGEND:**
- ELEVATION MARKER
- SECTION MARKER
- EXISTING ROOF TYPE
- NEW ROOF TYPE
- FOR ASSEMBLY TYPE DESCRIPTIONS REFER TO SHEET A5.01
- ALL INTERIOR PARTITIONS ARE TYPE P1 UNLESS NOTED OTHERWISE

1	ISSUED FOR CONSTRUCTION	20-10-09
C	BUILDING PERMIT	19-08-12
B	REVIEW	19-07-02
A	REVIEW	19-07-16
No. Description		1909 TTY-MM-DD
Issued For / Revisions		
Project		
39 BURNTALL DRIVE ADDITION / RENOVATION		
BRIDGE CREEK ROCKY VIEW COUNTY ALBERTA, T1A 0K0		
Legal Description LOT 19, BLOCK 2, PLAN		Building Permit No.
Development Permit No.		DSSP No.
Drawing Title		
ROOF PLAN		
Drawn by: Author		Scale 1/4" = 1'-0"
Reviewed by: SRB		Date (YY-MM-DD) 20-10-09
Drawing Number		Revision Number
A2.06		1



1 NORTH ELEVATION
A3.01 1/4" = 1'-0"

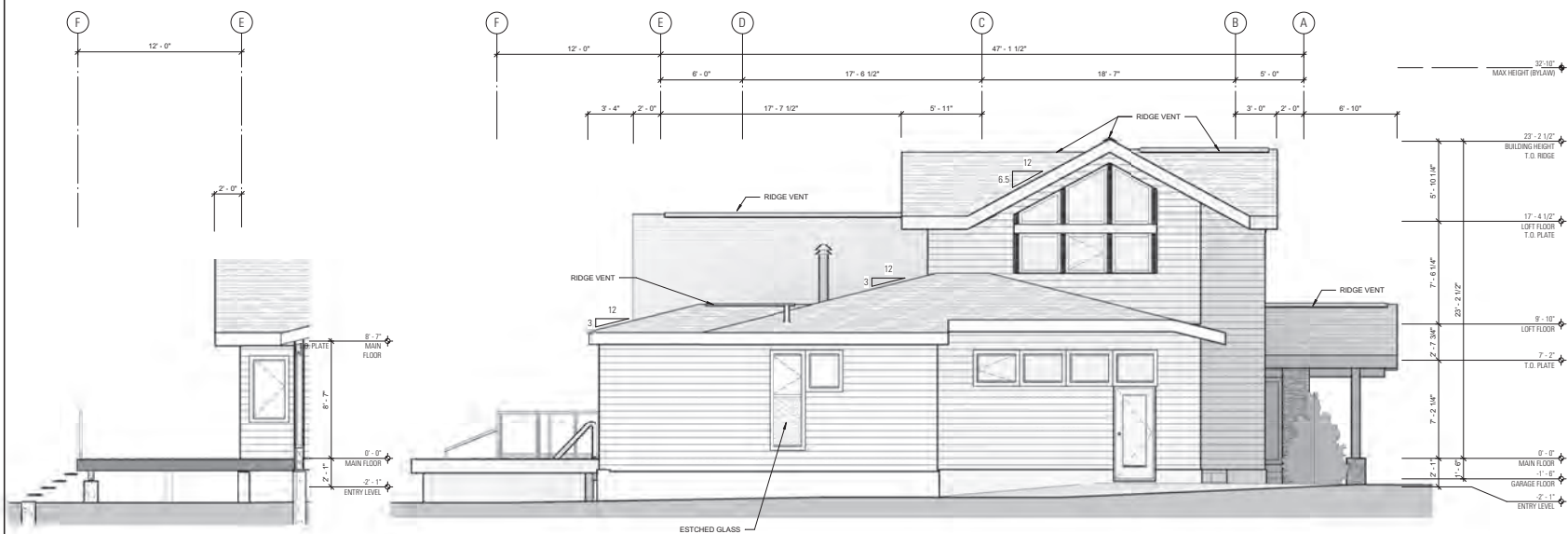


2 WEST ELEVATION
A3.01 1/4" = 1'-0"

GENERAL NOTES:

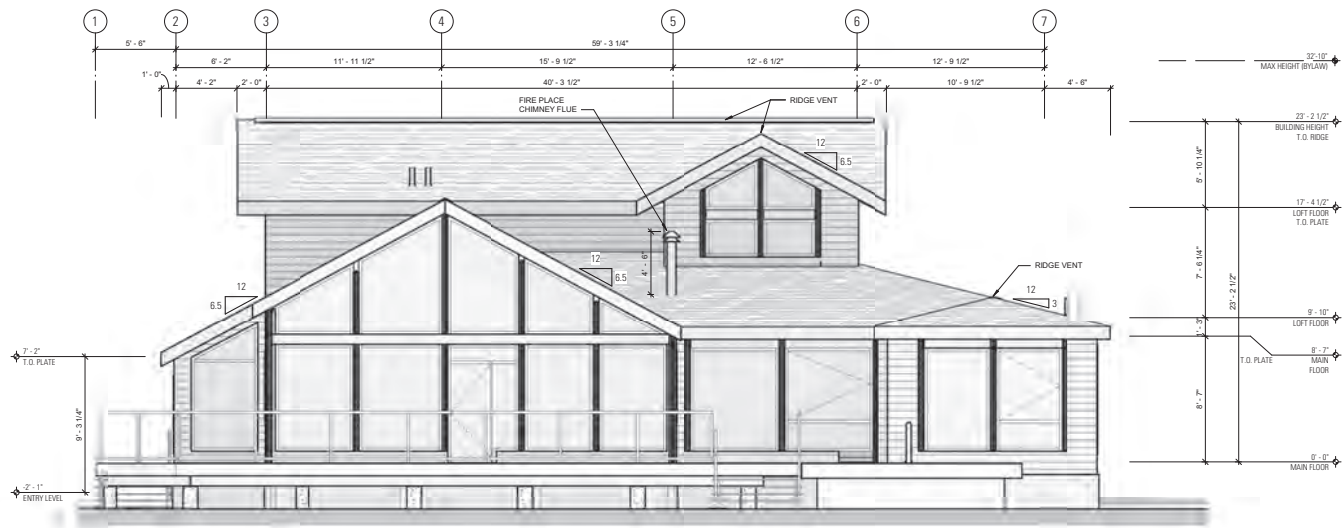
1. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
2. DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS.
3. USE ONLY LATEST REVISED DRAWINGS.
4. REPORT ANY ERROR OR OMISSIONS TO THE DESIGNER OR ENGINEER AS APPLICABLE.
5. THE DRAWINGS ARE THE PROPERTY OF THE DESIGNER. ANY UNAUTHORIZED USE IS PROHIBITED.

1	ISSUED FOR CONSTRUCTION	20-10-09
C	BUILDING PERMIT	19-08-12
B	REVIEW	19-07-02
A	REVIEW	19-07-16
Rev	Description	19-08-16 TYPICAL DD
Issued For / Revisions		
Project		
39 BURNTALL DRIVE ADDITION / RENOVATION		
BRIDGE CREEK ROCKY VIEW COUNTY ALBERTA, T0L 0K0		
Legal Description	PLAN	Building Permit No.
LOT 19, BLOCK 2		
Development Permit No.	DSSP No.	
Drawing Title		
EXTERIOR ELEVATIONS		
Drawn by:	NAT	Scale 1/4" = 1'-0"
Reviewed by:	SRB	Date (YY-MM-DD) 20-10-09
Drawing Number		Revision Number
A3.01		1



3 INSIDE EXTERIOR VIEW
A3.02 1/4" = 1'-0"

1 SOUTH ELEVATION
A3.02 1/4" = 1'-0"



2 EAST ELEVATION
A3.02 1/4" = 1'-0"

GENERAL NOTES:

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1	ISSUED FOR CONSTRUCTION	20-10-08
C	BUILDING PERMIT	19-08-12
B	REVIEW	19-07-02
A	REVIEW	19-07-16
Rev	Description	DATE (YY-MM-DD)

Issued For / Revisions

Project:
39 BURNTALL DRIVE ADDITION /
RENOVATION

BRIDGE CREEK
ROCKY VIEW COUNTY
ALBERTA, T0L 0K0

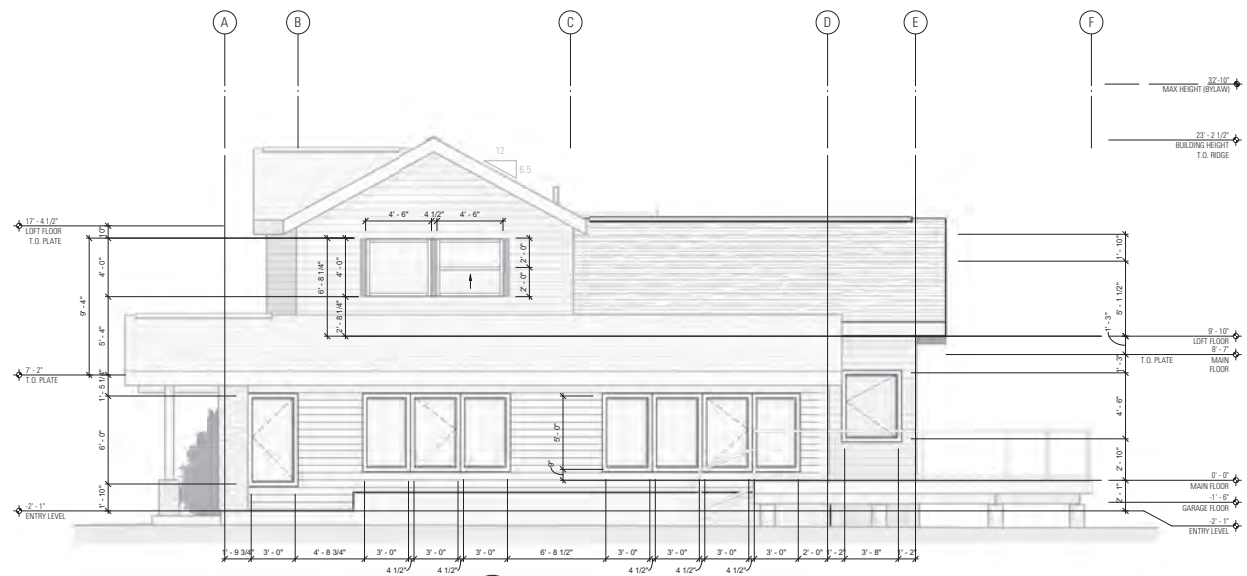
Legal Description
LOT 19, BLOCK 2, PLAN
R0014
Development Permit No. DSSP No.

Drawing Title
EXTERIOR ELEVATIONS

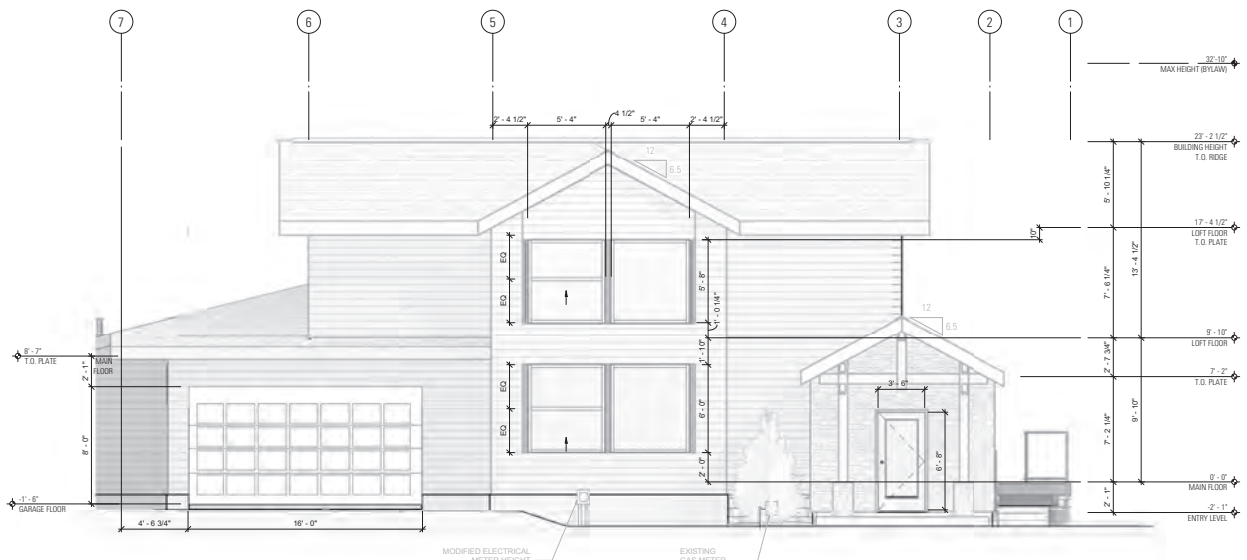
Drawn by: NAT
Reviewed by: SRB
Scale:
1/4" = 1'-0"
Date (YY-MM-DD):
20-10-09

Drawing Number

A3.02
Revision
Number
1



1 NORTH ELEVATION - WINDOW SCHEDULE
1/4" = 1'-0"

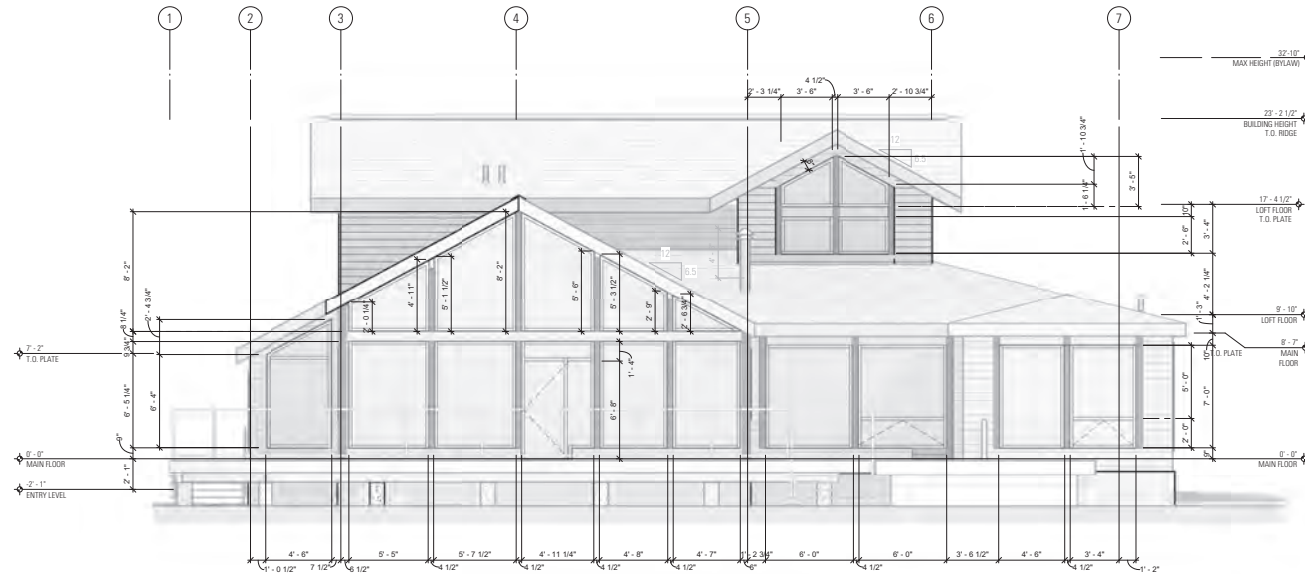


2 WEST ELEVATION - WINDOW SCHEDULE
1/4" = 1'-0"

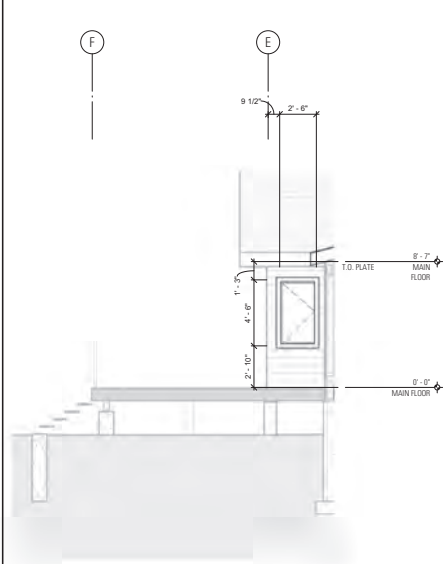
GENERAL NOTES:

1. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
2. DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS.
3. USE ONLY LATEST REVISED DRAWINGS.
4. REPORT ANY ERROR OR OMISSIONS TO THE DESIGNER OR ENGINEER AS APPLICABLE.
5. THE DRAWINGS ARE THE PROPERTY OF THE DESIGNER. ANY UNAUTHORIZED USE IS PROHIBITED.

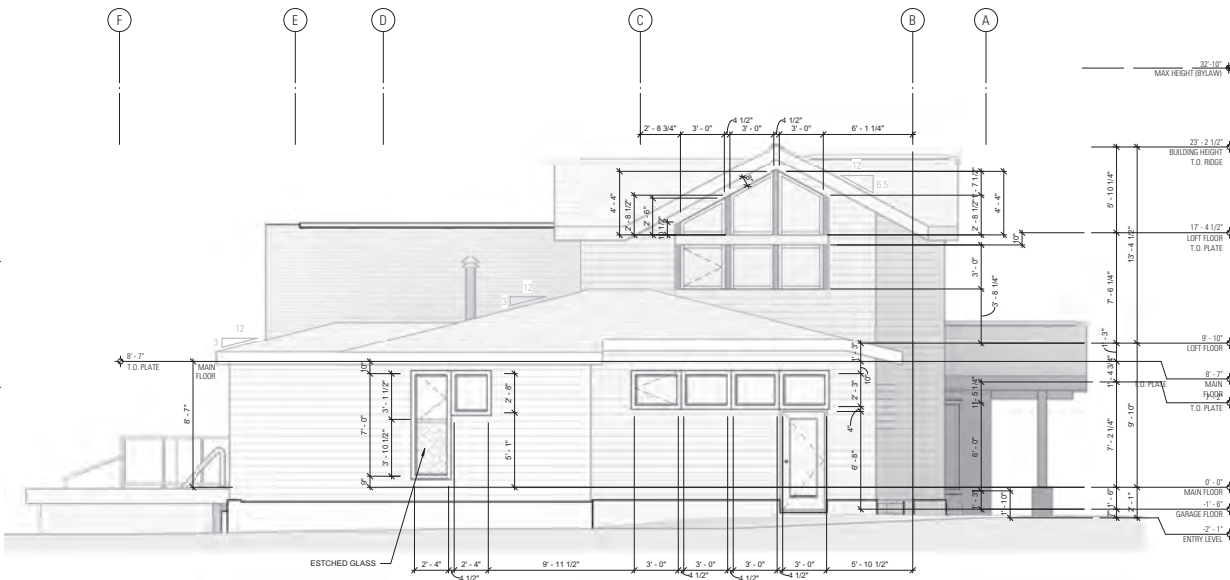
1	ISSUED FOR CONSTRUCTION	25-10-09
2	BUILDING PERMIT	19-08-17
No	Description	19-08-17
Issued For / Revisions		
Project		
39 BURNTALL DRIVE ADDITION / RENOVATION		
BRIDGE CREEK		
ROCKY VIEW COUNTY		
ALBERTA, T1A 0K0		
Legal Description		Building Permit No.
LOT 19, BLOCK 2, PLAN		
80014		DSSP No.
Development Permit No.		
Drawing Title		
WINDOW SCHEDULE		
Drawn by:	Author	Scale
Reviewed by:	SRB	Date (YY-MM-DD)
20-10-09		
Revision Number		
A3.03		1



1 EAST ELEVATION - WINDOW SCHEDULE
A3.04 1/4" = 1'-0"



3 INSIDE EXTERIOR VIEW - WINDOW SCHEDULE
A3.04 1/4" = 1'-0"

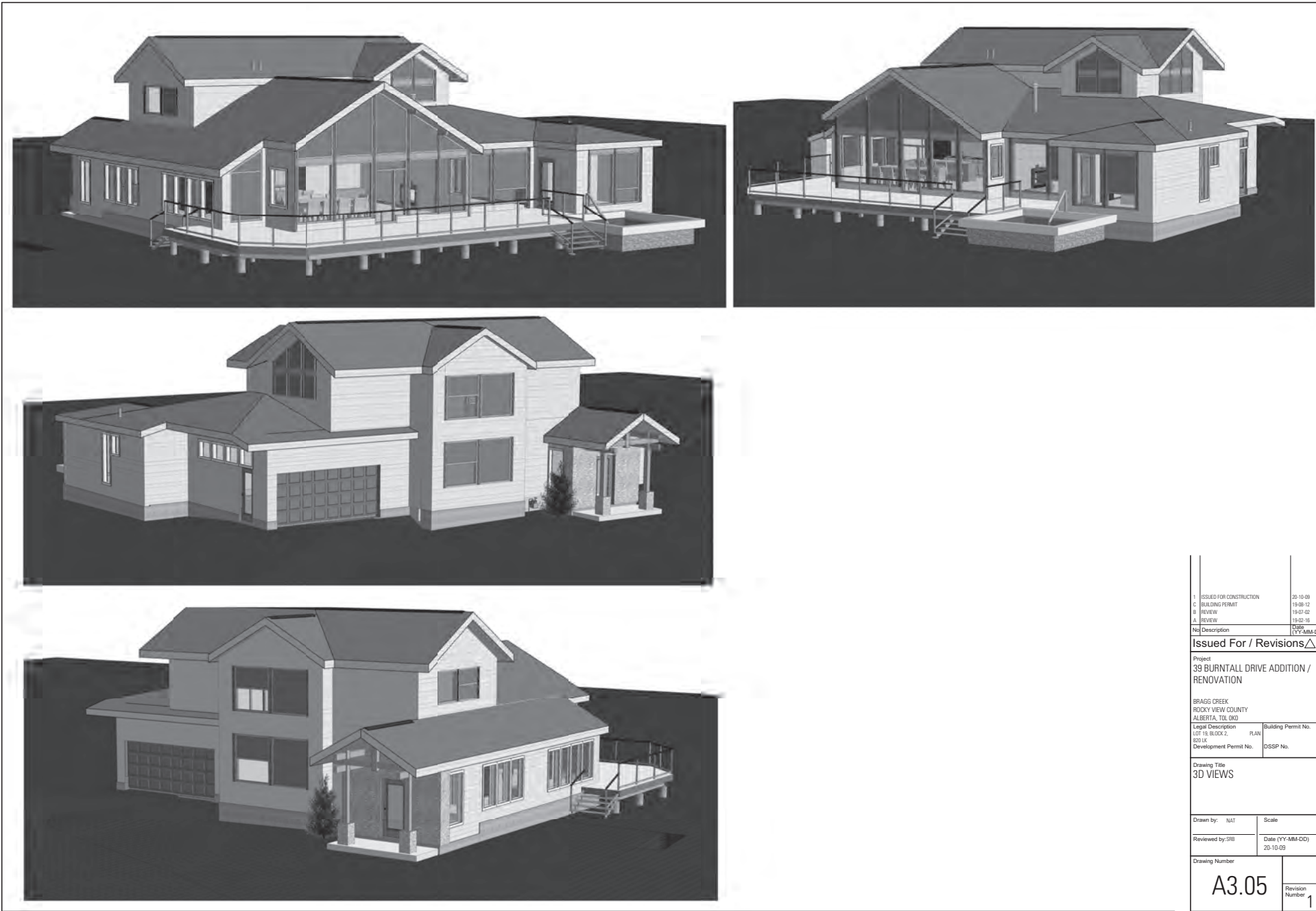


2 SOUTH ELEVATION - WINDOW SCHEDULE
A3.04 1/4" = 1'-0"

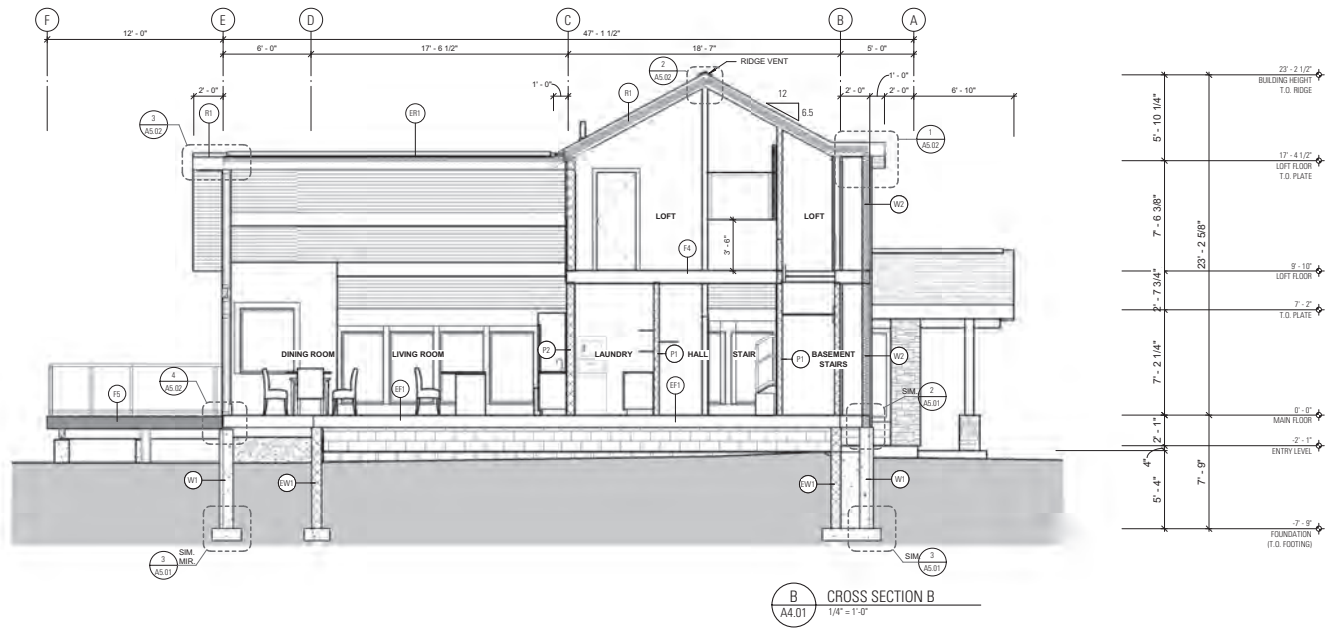
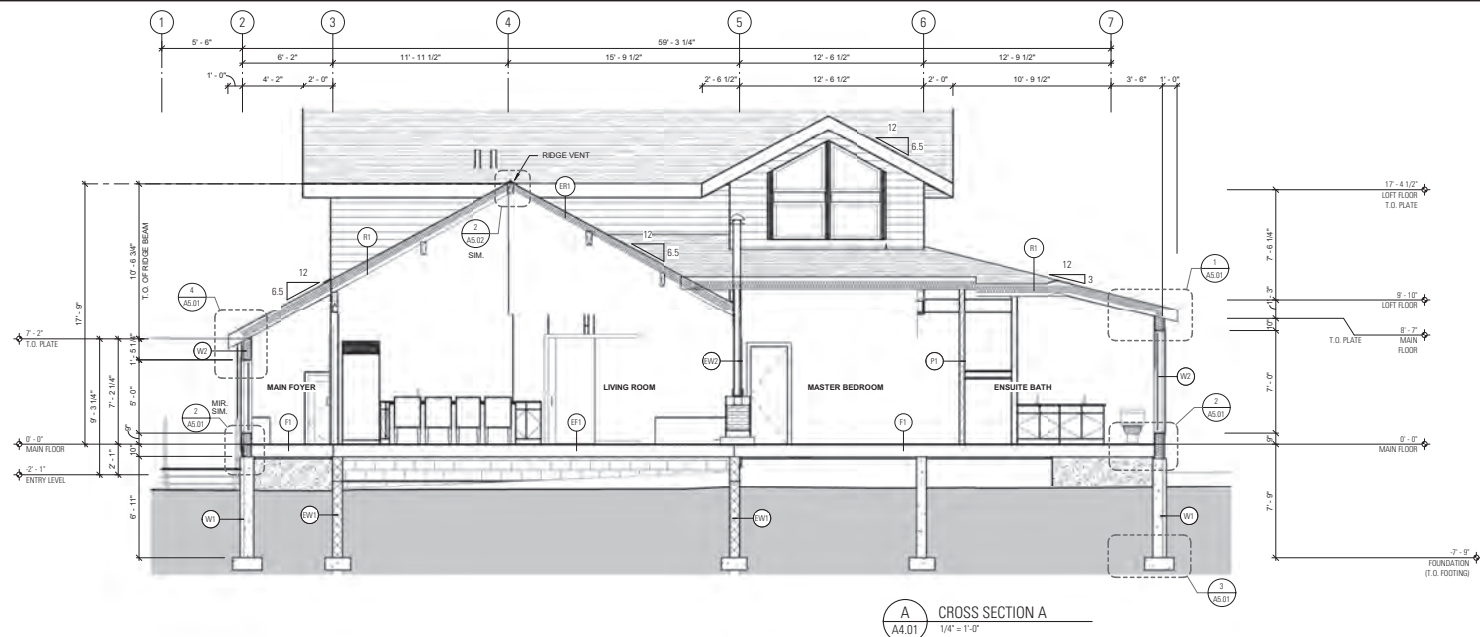
GENERAL NOTES:

1. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
2. DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS.
3. USE ONLY LATEST REVISED DRAWINGS.
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5. THE DRAWINGS ARE THE PROPERTY OF THE DESIGNER. ANY UNAUTHORIZED USE IS PROHIBITED.

1	ISSUED FOR CONSTRUCTION	20-10-09
2	BUILDING PERMIT	10-08-17
3	PLAN	17-11-00
Issued For / Revisions		
Project		
39 BURNSTALL DRIVE ADDITION / RENOVATION		
BRIDGE CREEK ROCKY VIEW COUNTY ALBERTA, T1A 0K0		
Legal Description LOT 19, BLOCK 2, R2014	Building Permit No. PLAN	DSSP No.
Drawing Title		
WINDOW SCHEDULE		
Drawn by: Author	Scale 1/4" = 1'-0"	Date (YY-MM-DD) 20-10-09
Reviewed by:SRB		
Drawing Number		Revision Number
A3.04		1

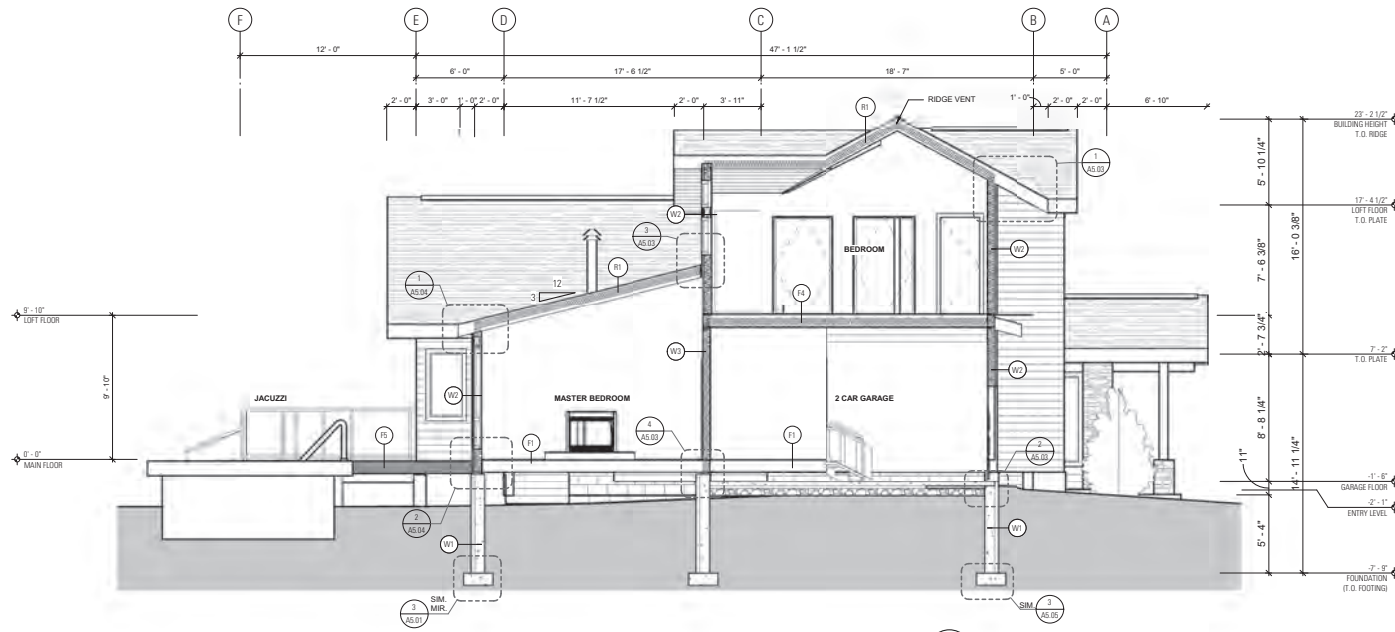


1	ISSUED FOR CONSTRUCTION	20-10-09
C	BUILDING PERMIT	19-08-12
B	REVIEW	19-07-02
A	REVIEW	19-07-15
No Description		19-07-15
		YY-MM-DD
Issued For / Revisions△		
Project		
39 BURNTALL DRIVE ADDITION / RENOVATION		
BRIDGE CREEK ROCKY VIEW COUNTY ALBERTA, T0L 0K0		
Legal Description LOT 19, BLOCK 2, PLAN 85014	Building Permit No.	
Development Permit No.	DSSP No.	
Drawing Title		
3D VIEWS		
Drawn by: NAT	Scale	
Reviewed by:SRB	Date (YY-MM-DD) 20-10-09	
Drawing Number		Revision Number
A3.05		1

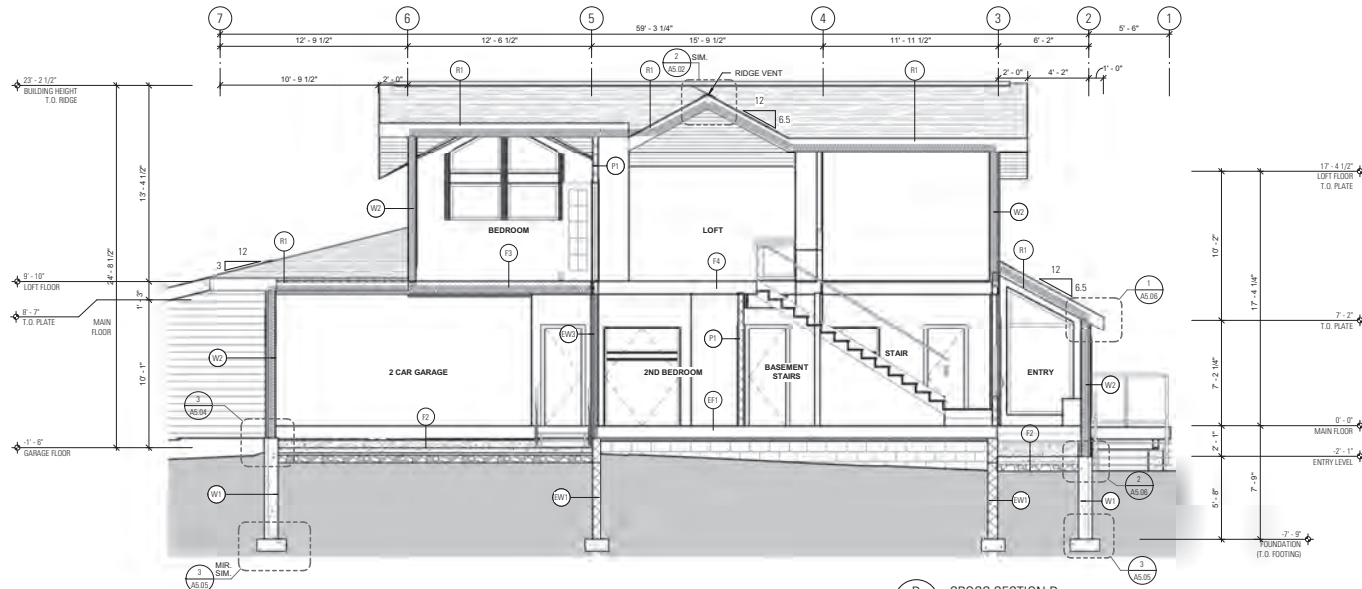


- GENERAL NOTES:**
1. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
 2. DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS.
 3. USE ONLY LATEST REVISED DRAWINGS.
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1	ISSUED FOR CONSTRUCTION	20-10-09
C	BUILDING PERMIT	19-08-12
B	REVIEW	19-07-02
A	REVIEW	19-03-16
No Description		19-03-16
Issued For / Revisions		19-03-16
Project		
39 BURNTALL DRIVE ADDITION / RENOVATION		
BRIDGE CREEK ROCKY VIEW COUNTY ALBERTA, T1L 0K0		
Legal Description LOT 19, BLOCK 2, PLAN R2014		Building Permit No.
Development Permit No.		DSSP No.
Drawing Title		
BUILDING SECTIONS		
Drawn by: NAT		Scale 1/4" = 1'-0"
Reviewed by: SRB		Date (YY-MM-DD) 20-10-09
Drawing Number		Revision Number
A4.01		1



C CROSS SECTION C
A4.02
1/4" = 1'-0"

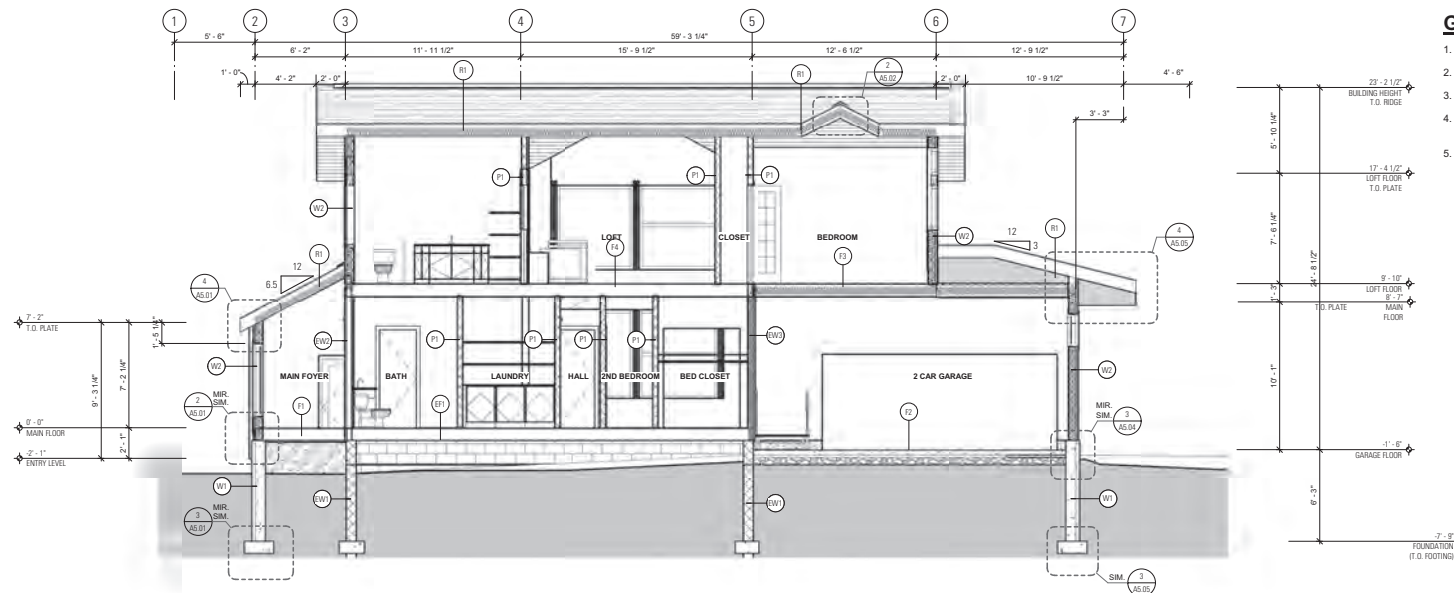


D CROSS SECTION D
A4.02
1/4" = 1'-0"

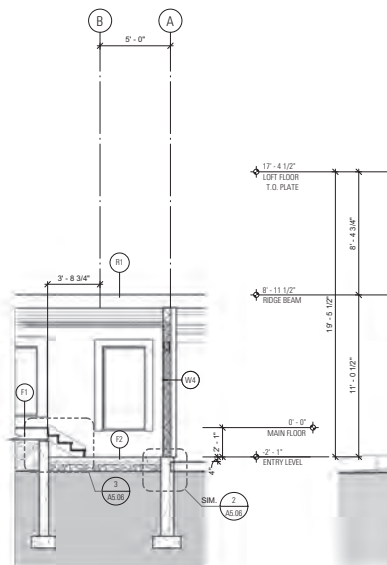
GENERAL NOTES:

1. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
2. DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS.
3. USE ONLY LATEST REVISED DRAWINGS.
4. REPORT ANY ERROR OR OMISSIONS TO THE DESIGNER OR ENGINEER AS APPLICABLE.
5. THE DRAWINGS ARE THE PROPERTY OF THE DESIGNER. ANY UNAUTHORIZED USE IS PROHIBITED.

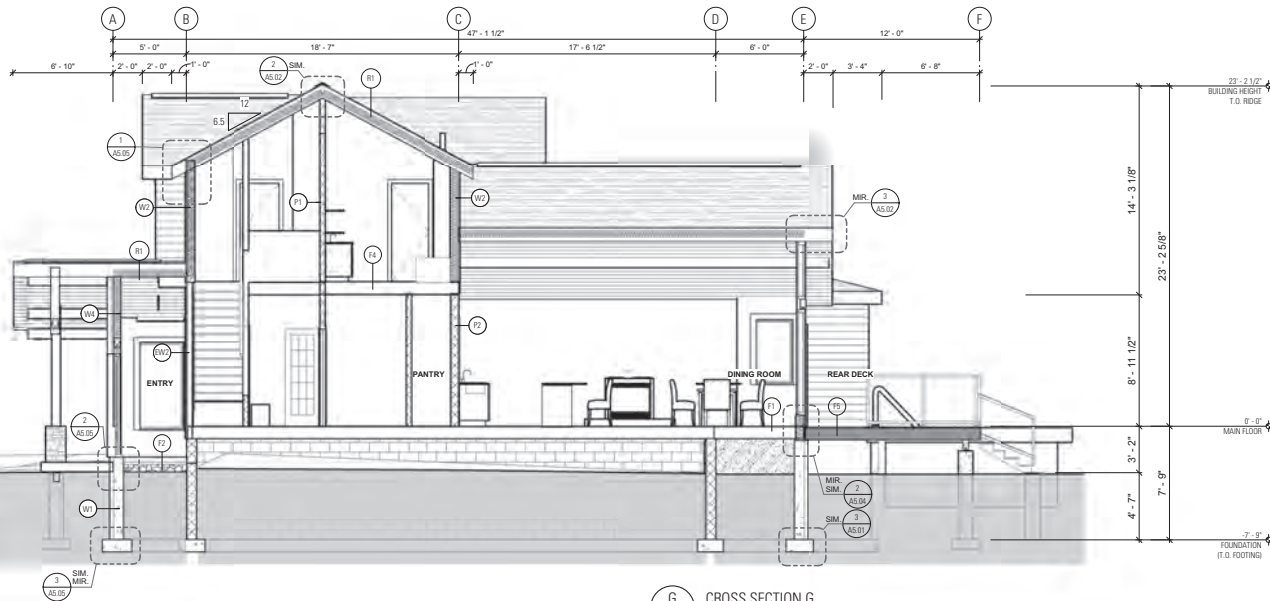
1	ISSUED FOR CONSTRUCTION	20-10-08
C	BUILDING PERMIT	19-08-12
B	REVIEW	19-07-02
A	REVIEW	19-07-16
No Description		19-07-16
Issued For / Revisions		19-07-16
Project		
39 BURNSTALL DRIVE ADDITION / RENOVATION		
BRIDGE CREEK ROCKY VIEW COUNTY ALBERTA, T1L 0K0		
Legal Description LOT 19, BLOCK 2, PLAN 85014		Building Permit No. DSSP No.
Drawing Title		
BUILDING SECTIONS		
Drawn by: NAT		Scale 1/4" = 1'-0"
Reviewed by: SRB		Date (YY-MM-DD) 20-10-08
Drawing Number		Revision Number 1
A4.02		



E CROSS SECTION E
A4.03 1/4" = 1'-0"



H CROSS SECTION H
A4.03 1:50



G CROSS SECTION G
A4.03 1/4" = 1'-0"

GENERAL NOTES:

1. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
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4. REPORT ANY ERROR OR OMISSIONS TO THE DESIGNER OR ENGINEER AS APPLICABLE.
5. THE DRAWINGS ARE THE PROPERTY OF THE DESIGNER. ANY UNAUTHORIZED USE IS PROHIBITED.

1	ISSUED FOR CONSTRUCTION	20-10-09
2	BUILDING PERMIT	19-08-12
3	REVIEW	19-07-02
4	REVIEW	19-07-16
5	REVIEW	19-07-16

Issued For / Revisions

Project
39 BURNTALL DRIVE ADDITION / RENOVATION

BRIDGE CREEK
ROCKY VIEW COUNTY
ALBERTA, T1A 0K0

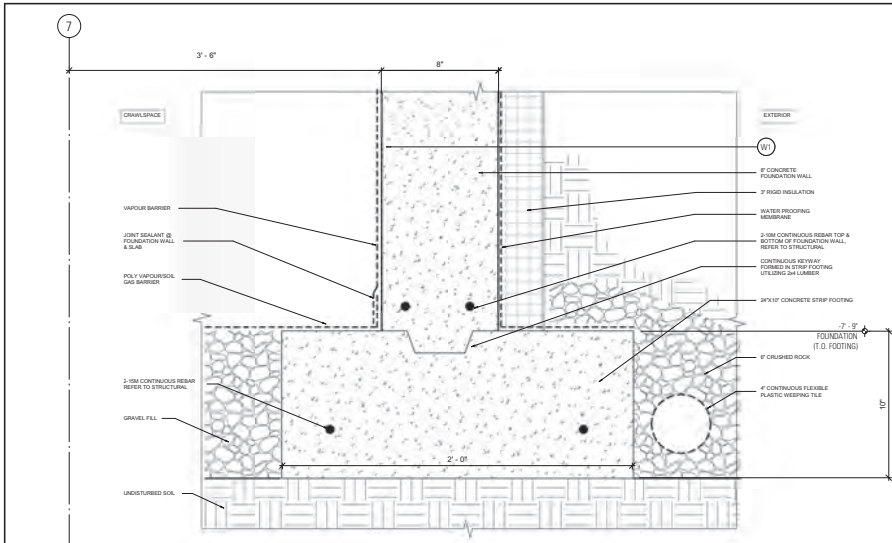
Legal Description
LOT 19, BLOCK 2, PLAN
Development Permit No. DSSP No.

Drawing Title
BUILDING SECTIONS

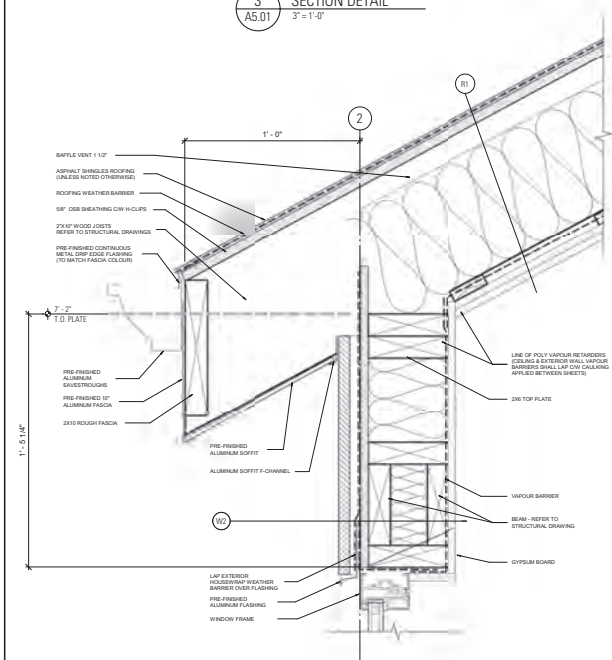
Drawn by: NAT
Scale: As indicated
Reviewed by: SRB
Date (YY-MM-DD): 20-10-09

Drawing Number

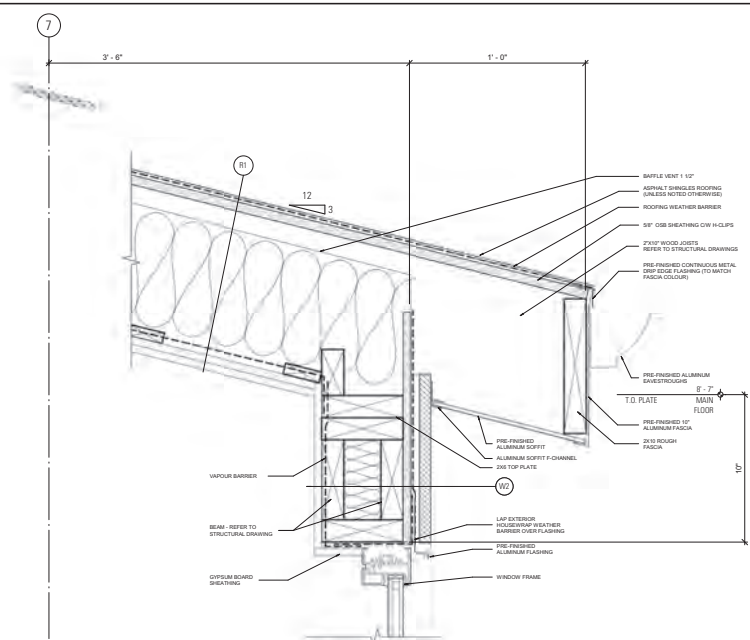
A4.03
Revision Number 1



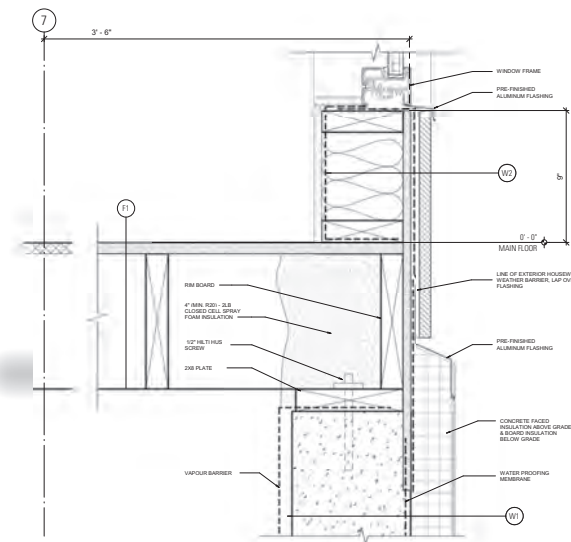
3 SECTION DETAIL
3' = 1'-0"



4 SECTION DETAIL
3' = 1'-0"



1 SECTION DETAIL
3' = 1'-0"



2 SECTION DETAIL
3' = 1'-0"

1	ISSUED FOR CONSTRUCTION	20-10-09
2	BUILDING PERMIT	10-09-17
3	DESCRIPTION	10-09-17

Issued For / Revisions

Project
39 BURNTALL DRIVE ADDITION / RENOVATION

BRIDGE CREEK
ROCKY VIEW COUNTY
ALBERTA, T1A 0K0

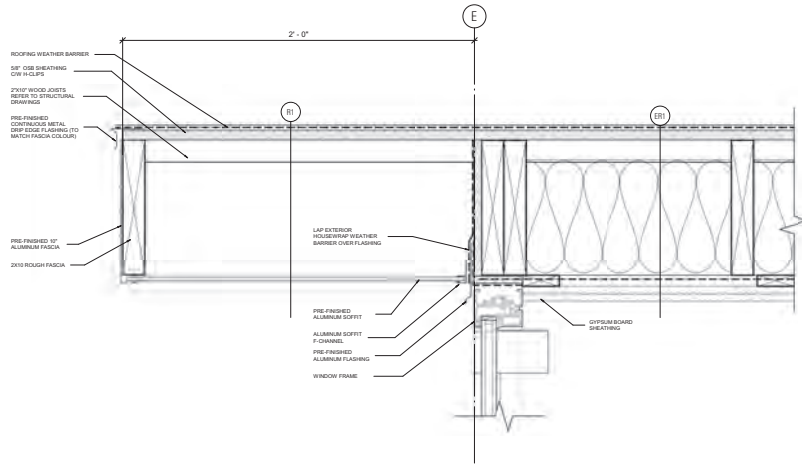
Legal Description
LOT 10, BLOCK 2, PLAN
80014 Development Permit No. DSSP No.

Drawing Title
ENLARGED SECTION DETAILS

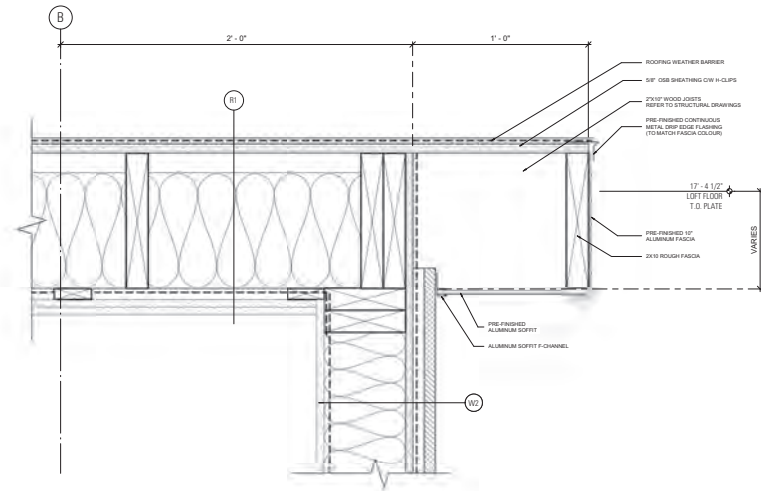
Drawn by: NAT
Reviewed by: SRB
Scale: 3' = 1'-0"
Date (YY-MM-DD): 20-10-09

Drawing Number

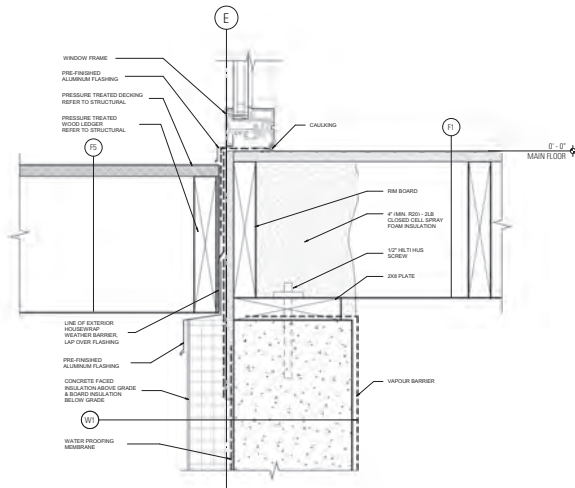
A5.01
Revision Number 1



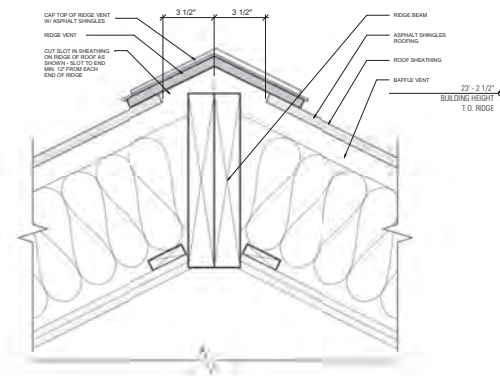
3 SECTION DETAIL
A5.02 3" = 1'-0"



1 SECTION DETAIL
A5.02 3" = 1'-0"

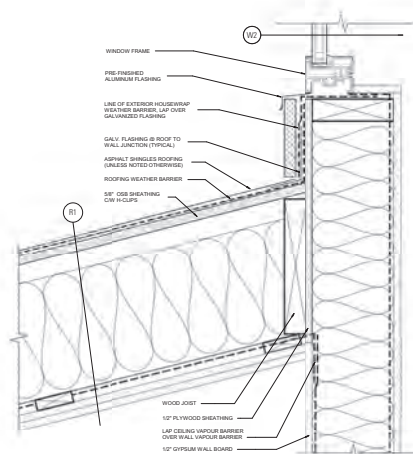


4 SECTION DETAIL
A5.02 3" = 1'-0"

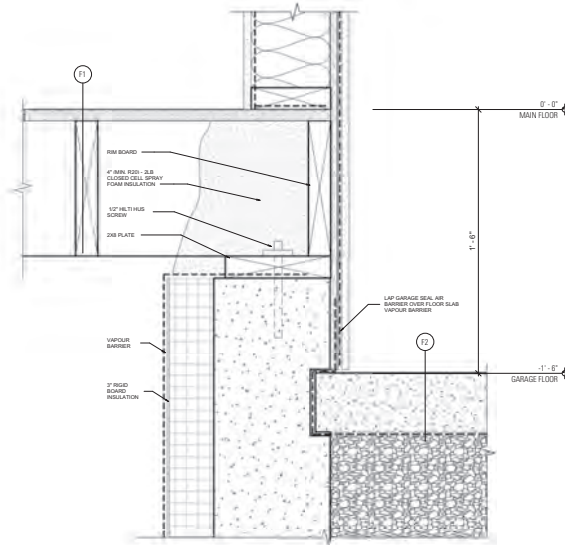


2 SECTION DETAIL
A5.02 3" = 1'-0"

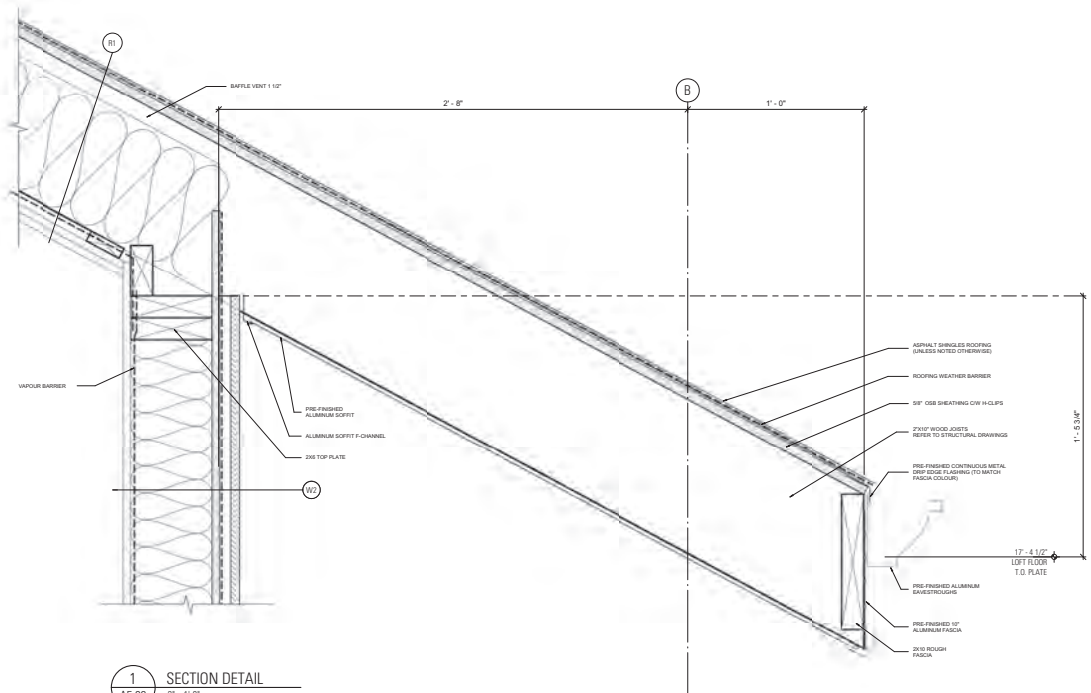
1	ISSUED FOR CONSTRUCTION	20-10-09
2	BUILDING PERMIT	10-09-17
No Description		TYPE (YY-MM-DD)
Issued For / Revisions		
Project		
39 BURNTALL DRIVE ADDITION / RENOVATION		
BRIDGE CREEK ROCKY VIEW COUNTY ALBERTA, T1A 0K0		
Legal Description LOT 19, BLOCK 2, PLAN		Building Permit No.
Development Permit No.		DSSP No.
Drawing Title		
ENLARGED SECTION DETAILS		
Drawn by: NAT		Scale 3" = 1'-0"
Reviewed by: SRB		Date (YY-MM-DD) 20-10-09
Drawing Number		Revision Number
A5.02		1



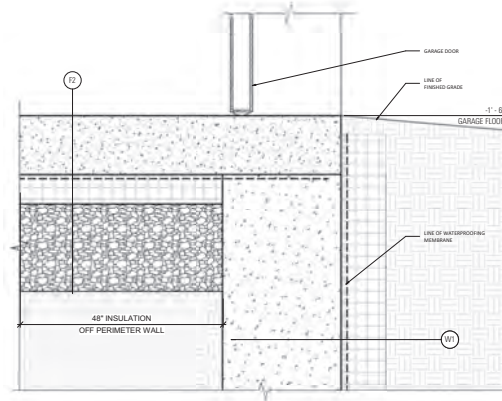
3 SECTION DETAIL
A5.03 3" = 1'-0"



4 SECTION DETAIL
A5.03 3" = 1'-0"

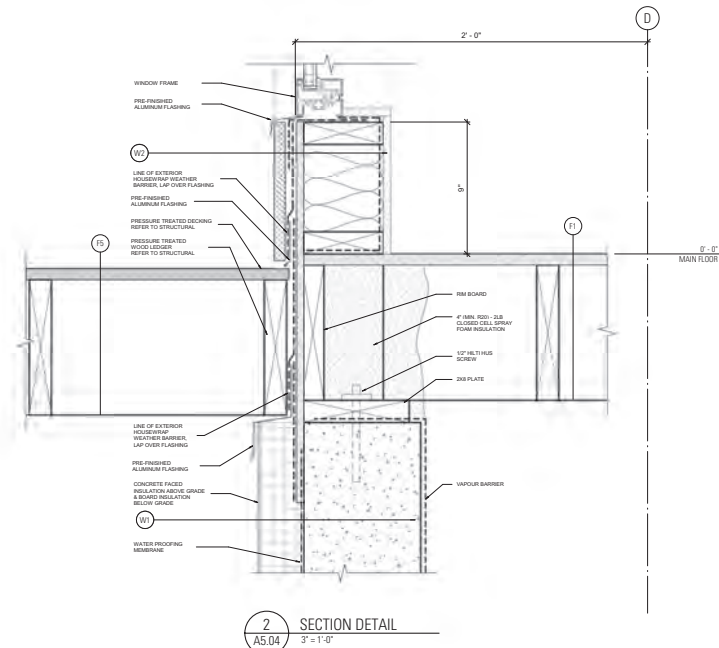
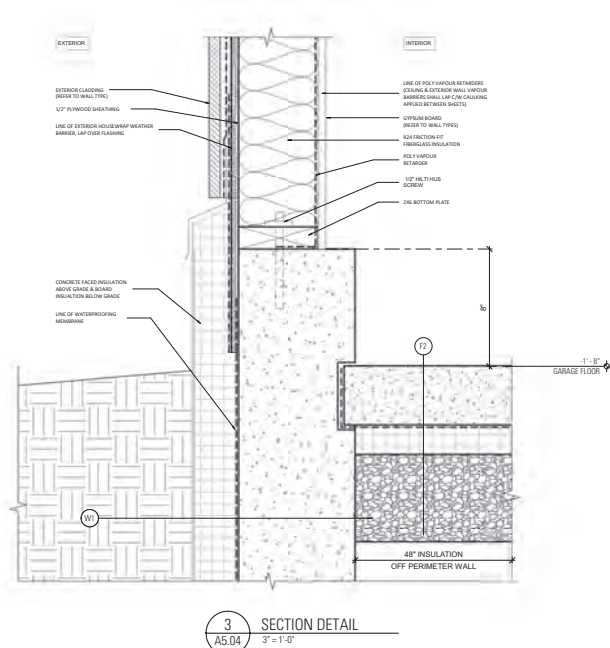
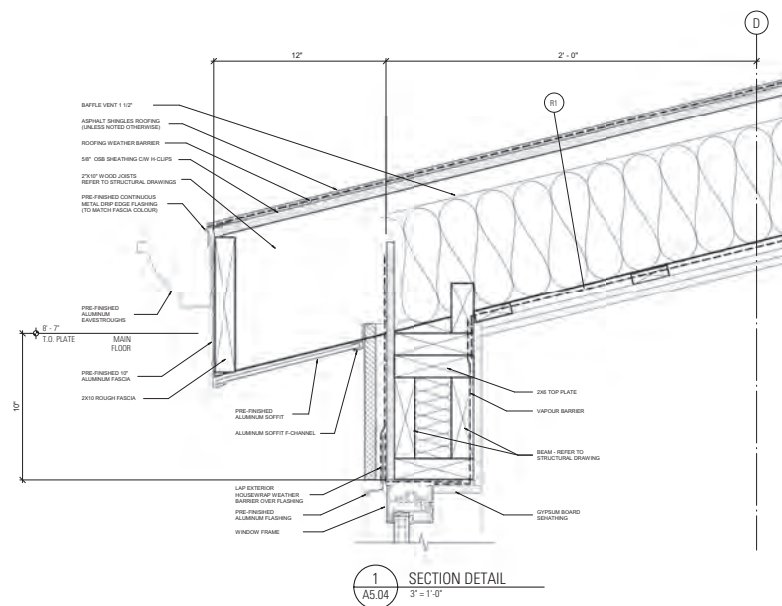



1 SECTION DETAIL
A5.03 3" = 1'-0"

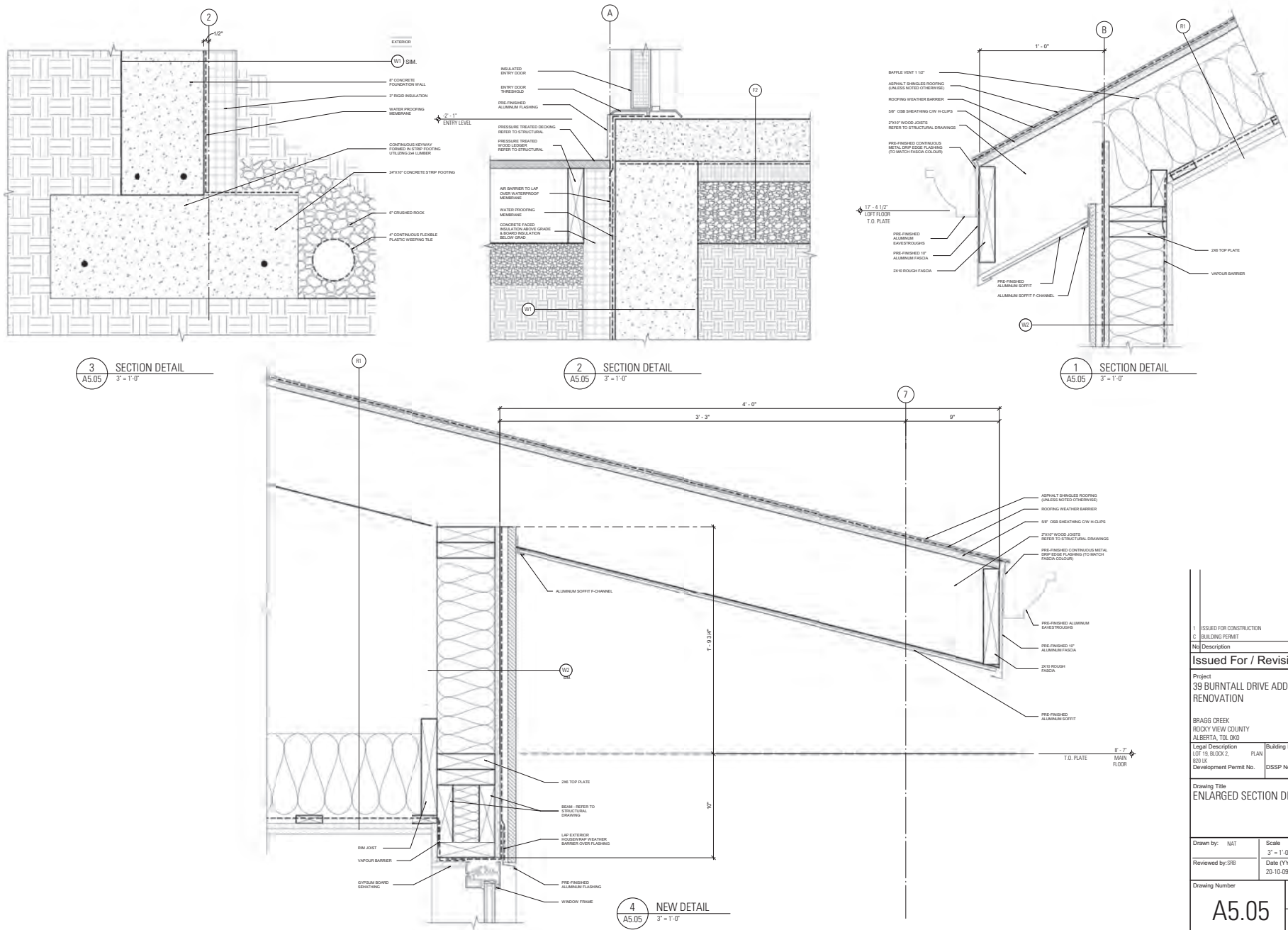


2 SECTION DETAIL
A5.03 3" = 1'-0"

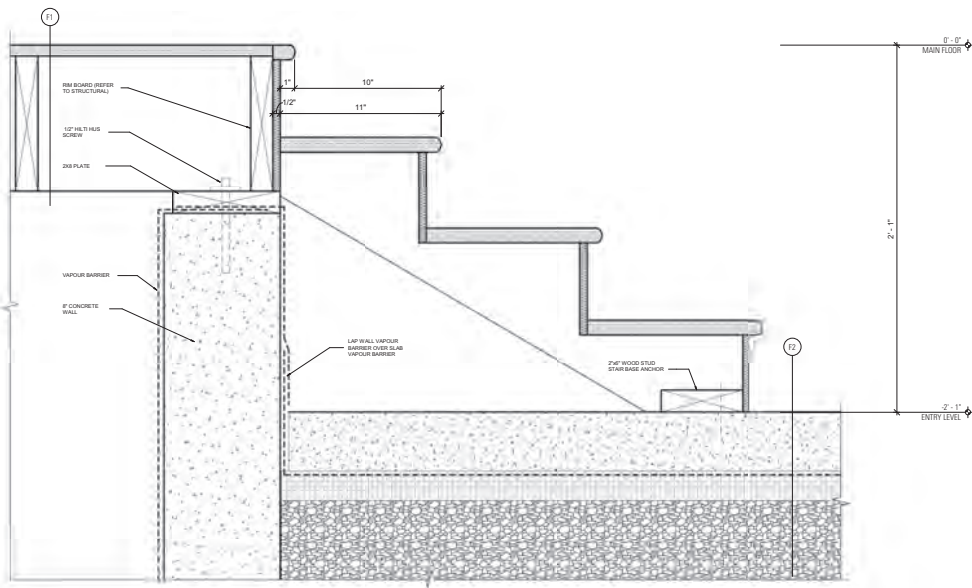
1	ISSUED FOR CONSTRUCTION	20-10-09
2	BUILDING PERMIT	10-08-17
3	NO DESCRIPTION	10-08-17
Issued For / Revisions		
Project		
39 BURNTALL DRIVE ADDITION / RENOVATION		
BRIDGE CREEK ROCKY VIEW COUNTY ALBERTA, T1A 0K0		
Legal Description LOT 19, BLOCK 2, PLAN R2014	Building Permit No. DSSP No.	
Drawing Title		
ENLARGED SECTION DETAILS		
Drawn by: NAT	Scale: 3" = 1'-0"	
Reviewed by: SRB	Date (YY-MM-DD): 20-10-09	
Drawing Number		
A5.03		Revision Number 1



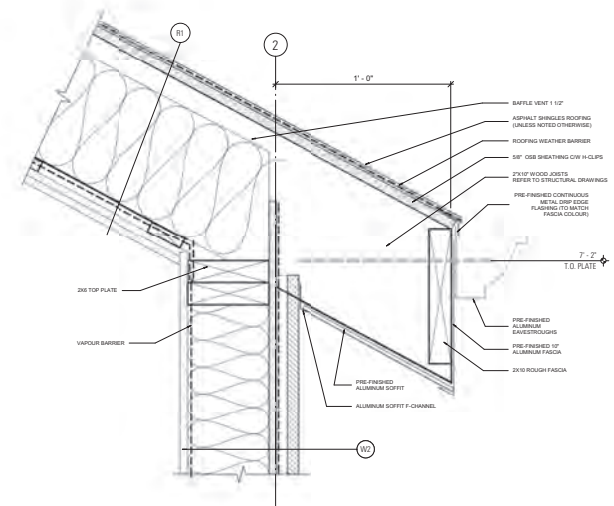
1	ISSUED FOR CONSTRUCTION	20-10-09
2	BUILDING PERMIT	19-08-12
No Description		DATE [YY-MM-DD]
Issued For / Revisions 		
Project: 39 BURNTALL DRIVE ADDITION / RENOVATION		
BRAGG CREEK ROCKEY VIEW COUNTY ALBERTA, T0L 0X0 LOT 18 BLOCK 2 420 LK Development Permit No.		
PLAN	Building Permit No.	
	DSSP No.	
Drawing Title ENLARGED SECTION DETAILS		
Drawn by: NAT Reviewed by: SJR	Scale 3" = 1' 0" Date (YY-MM-DD) 20-10-09	
Drawing Number <div style="font-size: 2em; font-weight: bold; margin-top: 10px;">A5.04</div>		Revision <div style="border: 1px solid black; width: 20px; height: 20px; margin: 5px auto; text-align: center; line-height: 20px;">1</div>



1	ISSUED FOR CONSTRUCTION	25-10-09
2	BUILDING PERMIT	10-08-17
No Description		10-08-17
Issued For / Revisions		
Project		
39 BURNTALL DRIVE ADDITION / RENOVATION		
BRIDGE CREEK ROCKY VIEW COUNTY ALBERTA, T1A 0K0		
Legal Description LOT 19, BLOCK 2, PLAN R2014	Building Permit No. DSSP No.	
Drawing Title ENLARGED SECTION DETAILS		
Drawn by: NAT	Scale 3' = 1'-0"	
Reviewed by: SRB	Date (YY-MM-DD) 20-10-09	
Drawing Number A5.05		Revision Number 1

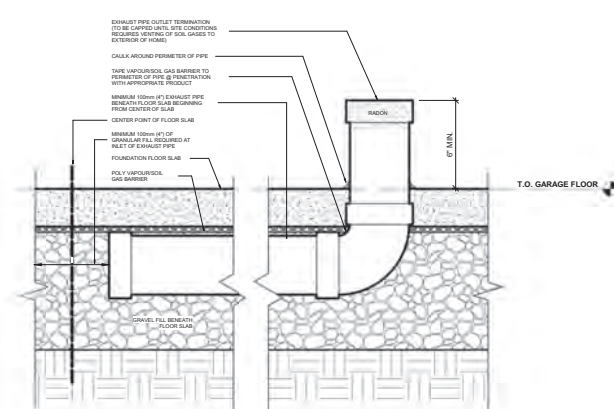


1 SECTION DETAIL
3' = 1'-0"

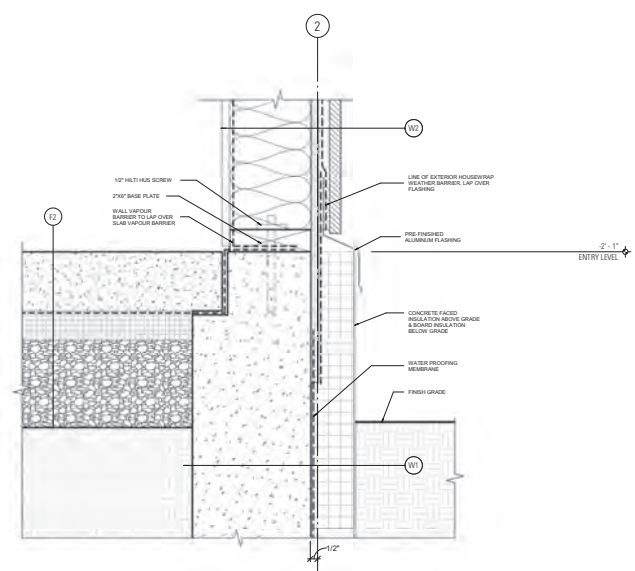


2 SECTION DETAIL
3' = 1'-0"

3 SECTION DETAIL
3' = 1'-0"

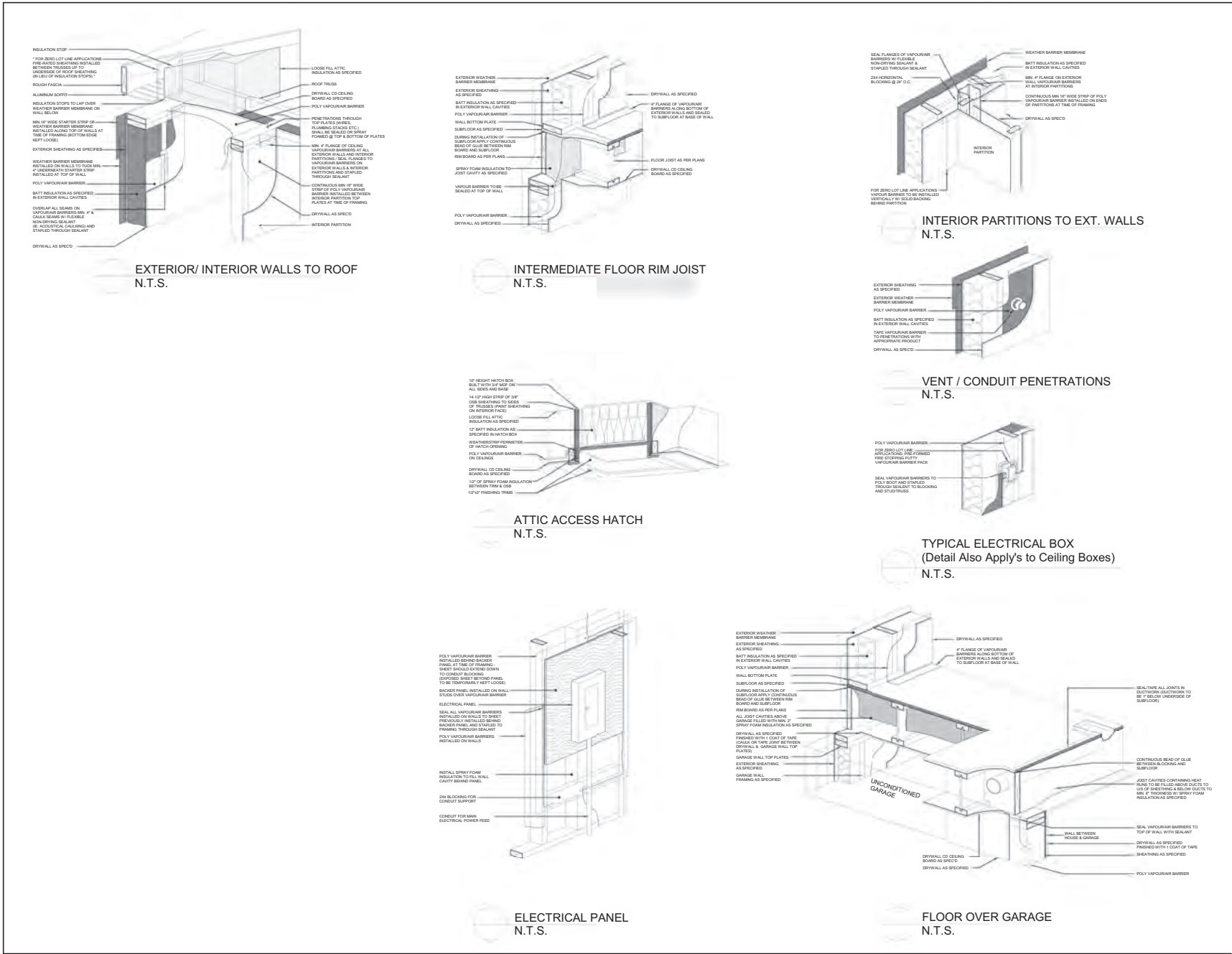


4 SOUR GAS (RADON) INGRESS PROTECTION SYSTEM SECTION DETAIL
3' = 1'-0"

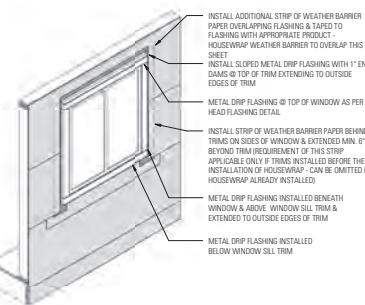


2 SECTION DETAIL
3' = 1'-0"

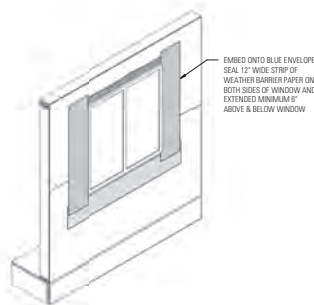
1	ISSUED FOR CONSTRUCTION	20-10-09
2	BUILDING PERMIT	10-08-17
No Description		TYPE (YY-MM-DD)
Issued For / Revisions		
Project		
39 BURNTALL DRIVE ADDITION / RENOVATION		
BRIDGE CREEK ROCKY VIEW COUNTY ALBERTA, T1A 0K0		
Legal Description LOT 10, BLOCK 2, PLAN	Building Permit No.	
Development Permit No.	DSSP No.	
Drawing Title		
ENLARGED SECTION DETAILS		
Drawn by: NAT	Scale 3' = 1'-0"	
Reviewed by: SRB	Date (YY-MM-DD) 20-10-09	
Drawing Number		
A5.06		Revision Number 1



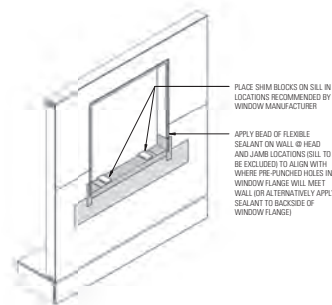
1	ISSUED FOR CONSTRUCTION	20-10-09
C	BUILDING PERMIT	19-08-12
B	REVIEW	19-07-02
A	DESIGN	19-01-15
No Description		DATE (YY-MM-DD)
Issued For / Revisions		PLAN
Project		
39 BURNTALL DRIVE ADDITION / RENOVATION		
BRIDGE CREEK ROCKY VIEW COUNTY ALBERTA, T0L 0K0		
Legal Description		Building Permit No.
LOT 19, BLOCK 2, PLAN		82014
Development Permit No.		DSSP No.
Drawing Title		
TYPICAL INSULATION & VAPOUR BARRIER DETAILS		
Drawn by: NAT		Scale: 1" = 1'-0"
Reviewed by: SRB		Date (YY-MM-DD): 20-10-09
Drawing Number		Revision Number
A5.10		1



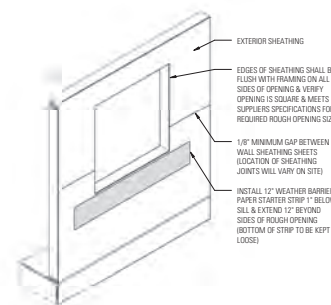
10 STEP 10: TRIM INSTALLATIONS
A7.01 N.T.S.



7 STEP 7: JAMB PAPER
A7.01 N.T.S.



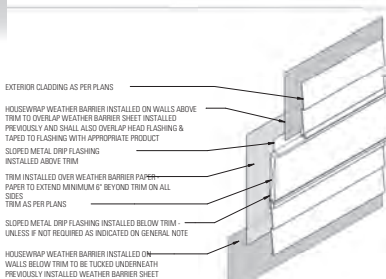
4 STEP 4: INSTALL SHIMS
A7.01 N.T.S.



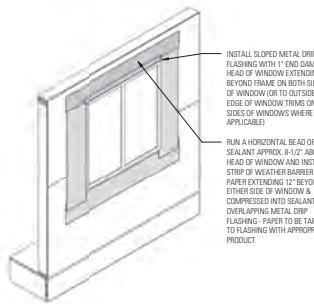
1 STEP 1: STARTER PAPER STRIP
A7.01 N.T.S.

GENERAL NOTE

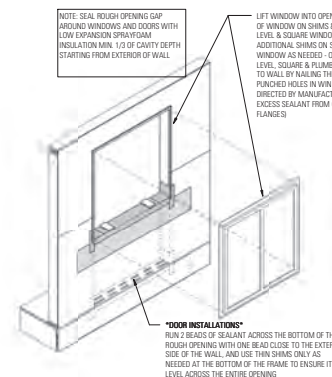
EXTERIOR HOUSEWRAP
EXTERIOR WEATHER BARRIER (HOUSEWRAP) SHALL BE APPLIED AT LEAST ONE LAYER IN WRAPPED PARTS. ALL HORIZONTAL JOINTS SHALL HAVE UPPER SHEET OVERLAP THE LOWER SHEET MINIMUM 6\"/>



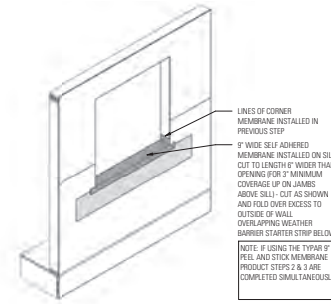
11 HORIZONTAL TRIM INSTALLATION
A7.01 N.T.S.



8 STEP 8: HEAD FLASHING
A7.01 N.T.S.



5 STEP 5: INSTALL WINDOW
A7.01 N.T.S.



2 STEP 2: SILL PAN MEMBRANE
A7.01 N.T.S.

1	ISSUED FOR CONSTRUCTION	20-10-09
C	BUILDING PERMIT	19-08-12
B	REVIEW	19-07-02
A	DESIGN	19-07-16
Rev	Description	DATE BY YY-MM-DD

Issued For / Revisions

Project
39 BURNTALL DRIVE ADDITION / RENOVATION

BRIDGE CREEK
ROCKY VIEW COUNTRY
ALBERTA, T0L 0K0

Legal Description
LOT 19, BLOCK 2, PLAN
Development Permit No. DSSP No.

Drawing Title
WINDOW INSTALLATION

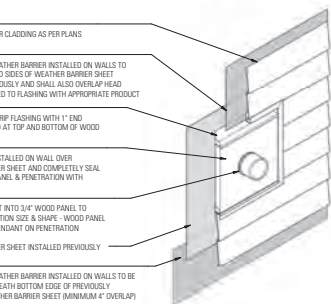
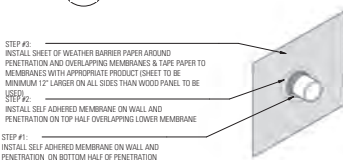
DETAILS

Drawn by: NAT
Reviewed by: SRB
Drawing Number

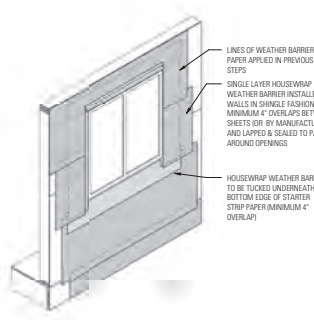
Scale
N.T.S.
Date (YY-MM-DD)
20-10-09

Revision
Number 1

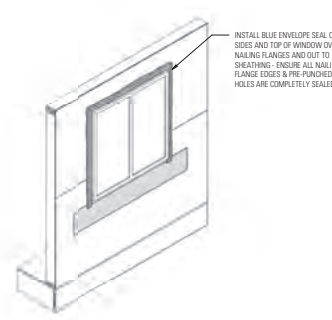
A5.11



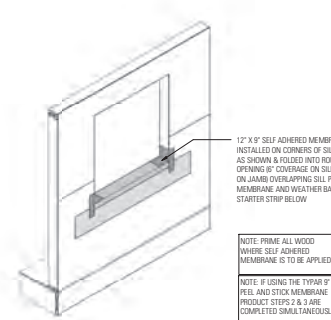
12 SERVICE PENETRATIONS
A7.01 N.T.S.



9 STEP 9: HOUSEWRAP INSTALL
A7.01 N.T.S.

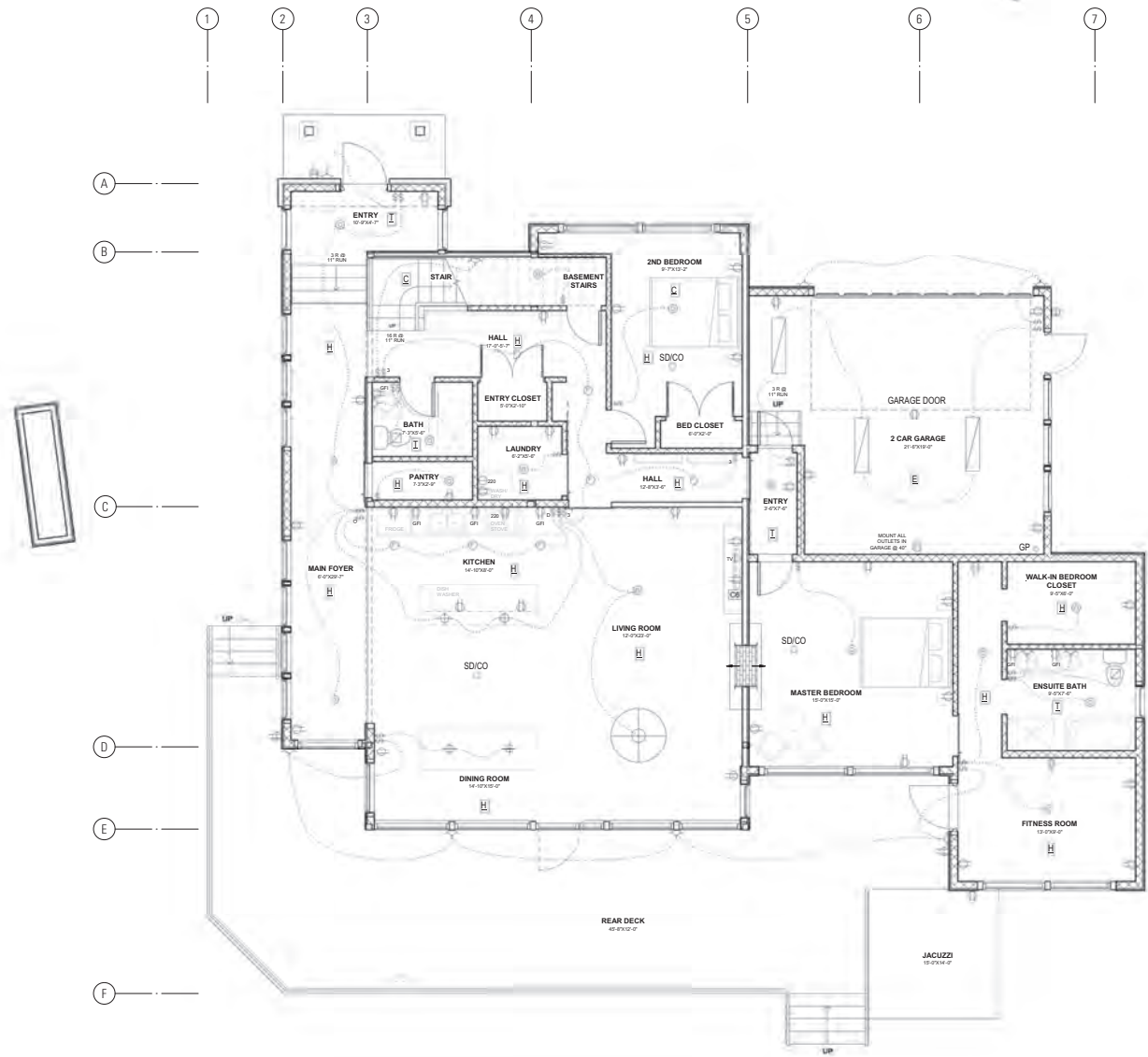


6 STEP 6: ENVELOPE SEAL
A7.01 N.T.S.



3 STEP 3: CORNER MEMBRANES
A7.01 N.T.S.

NOTE: PRIME ALL WOOD WHERE SELF ADHERED MEMBRANE IS TO BE APPLIED
NOTE: IF USING THE TYPIAR IF FELT AND STICK MEMBRANE (PRODUCT STEPS 2 & 3 ARE COMPLETED SIMULTANEOUSLY)



GENERAL NOTES:

1. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
2. DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS.
3. USE ONLY LATEST REVISED DRAWINGS.
4. REPORT ANY ERROR OR OMISSIONS TO THE DESIGNER OR ENGINEER AS APPLICABLE.
5. THE DRAWINGS ARE THE PROPERTY OF THE DESIGNER. ANY UNAUTHORIZED USE IS PROHIBITED.

FLOORING LEGEND:

- H HARDWOOD FLOOR
- T TILE FLOORING
- E EXPOSED CONCRETE
- C CARPET FLOORING

ELECTRICAL LEGEND:

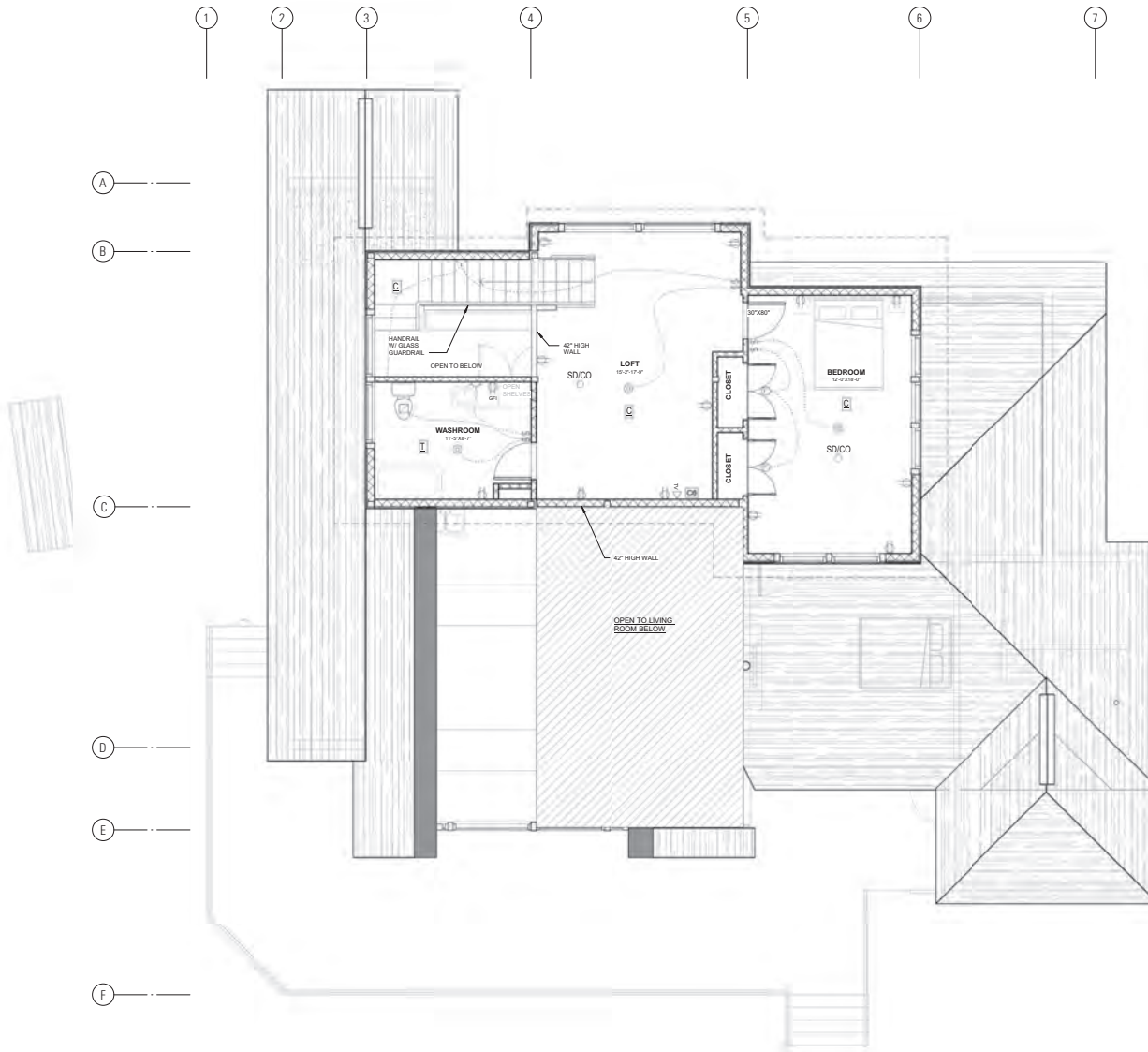
- VENT
- SD/CO SMOKE & CARBON DIOXIDE DETECTOR (WIRED C/W AC/DC BACKUP)
- WEATHERPROOF OUTLET
- 220 RECEPTACLE
- DUPLEX RECEPTACLE
- SINGLE LIGHT SWITCH
- THREE WAY LIGHT SWITCH
- DIMMER LIGHT SWITCH
- GANG LIGHT SWITCH
- CAT 6
- TV JACK
- ELECTRICAL WIRE

PLAN LEGEND:

- EXISTING TO BE REMOVED
- EXISTING TO REMAIN
- NEW
- GP SOIL GAS PIPE
- POT LIGHT
- PENDANT LIGHT
- WALL MOUNTED LIGHT
- SURFACE MOUNTED LIGHT
- TRACK LIGHT
- LED SHOP LIGHT
- CEILING FAN

1	ISSUED FOR CONSTRUCTION	20-10-08
C	BUILDING PERMIT	19-08-12
B	REVIEW	19-07-02
Rev	Description	DATE (YY-MM-DD)
Issued For / Revisions		
Project		
39 BURNTALL DRIVE ADDITION / RENOVATION		
BRIDGE CREEK ROCKY VIEW COUNTY ALBERTA, T0L 0K0		
Legal Description	PLAN	Building Permit No.
LOT 19, BLOCK 2		
Development Permit No.	DSSP No.	
Drawing Title		
NEW MAIN FLOOR ELECTRICAL PLANS		
Drawn by: NAT	Scale: 1/4" = 1'-0"	
Reviewed by: SRB	Date (YY-MM-DD): 20-10-08	
Drawing Number		Revision Number
E2.01		1

1 NEW PROPOSED MAIN FLOOR ELECTRICAL PLAN
E2.01 1/4" = 1'-0"



GENERAL NOTES:

1. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
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5. THE DRAWINGS ARE THE PROPERTY OF THE DESIGNER. ANY UNAUTHORIZED USE IS PROHIBITED.

FLOORING LEGEND:

- H HARDWOOD FLOOR
- T TILE FLOORING
- E EXPOSED CONCRETE
- C CARPET FLOORING

PLAN LEGEND:

- EXISTING TO BE REMOVED
- EXISTING TO REMAIN
- NEW

ELECTRICAL LEGEND:

- VENT
- SD/CO SMOKE & CARBON DIOXIDE DETECTOR (WIRED CW AC/DC BACKUP)
- WEATHERPROOF OUTLET
- 220 RECEPTACLE
- DUPLEX RECEPTACLE
- SINGLE LIGHT SWITCH
- THREE WAY LIGHT SWITCH
- DIMMER LIGHT SWITCH
- GANG LIGHT SWITCH
- CAT 6
- TV JACK
- ELECTRICAL WIRE

- POT LIGHT
- PENDANT LIGHT
- WALL MOUNTED LIGHT
- SURFACE MOUNTED LIGHT
- TRACK LIGHT
- LED SHOP LIGHT
- CEILING FAN

1 NEW PROPOSED LOFT ELECTRICAL PLAN
E2.02 1/4" = 1'-0"

1	ISSUED FOR CONSTRUCTION	20-10-08
C	BUILDING PERMIT	19-08-12
B	REVIEW	19-07-07
No Description		19-07-07
Issued For / Revisions		
Project		
39 BURNTALL DRIVE ADDITION / RENOVATION		
BRIDGE CREEK ROCKY VIEW COUNTY ALBERTA, T1A 0K0		
Legal Description	PLAN	Building Permit No.
LOT 19, BLOCK 2		
Development Permit No.	DSSP No.	
Drawing Title		
NEW LOFT FLOOR ELECTRICAL PLANS		
Drawn by: NAT	Scale: 1/4" = 1'-0"	
Reviewed by: SRB	Date (YY-MM-DD): 20-10-08	
Drawing Number		Revision Number
E2.02		1