

PLANNING AND DEVELOPMENT SERVICES

TO: Municipal Planning Commission

DIVISION: 4

SUBJECT: Development Item: *Dwelling, Single Detached*

USE: Permitted use, with Variances

DATE: December 10, 2020

APPLICATION: PRDP20203116

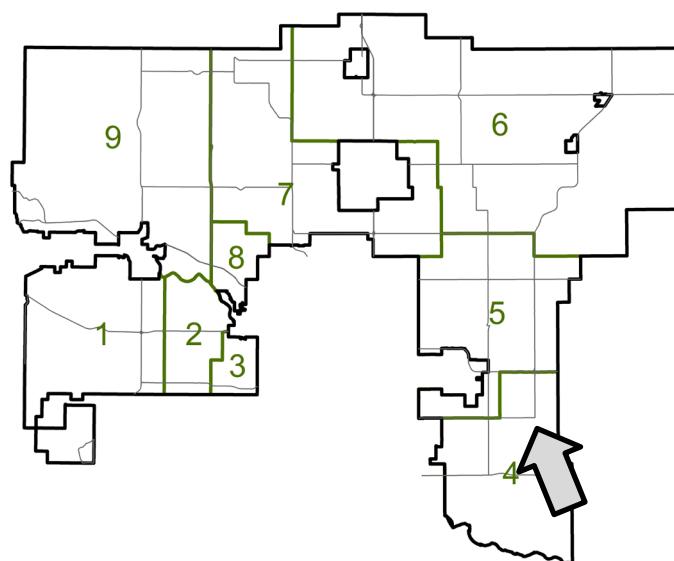
APPLICATION: Construction of a dwelling, single detached, relaxation of the minimum side yard setback requirement

GENERAL LOCATION: Located in the hamlet of Langdon

LAND USE DESIGNATION: Residential, Small Lot District (R-SML) under Land Use Bylaw C-8000-2020.

ADMINISTRATION RECOMMENDATION: Administration recommends Approval in accordance with Option #1.

VARIANCE SUMMARY:



Variance	Requirement	Proposed	Percentage (%)
Side Yard – one side without lane	3.00 m (9.84 ft.)	1.56 m (5.12 ft.)	48.00%

OPTIONS:

- Option #1: THAT Development Permit Application PRDP20203116 be approved with the conditions noted in the Development Permit Report, attached.
- Option #2: THAT Development Permit Application PRDP20203116 be refused as per the reasons noted.

AIR PHOTO & DEVELOPMENT CONTEXT:



Administration Resources

Sandra Khouri – Planning and Development Services

DEVELOPMENT PERMIT REPORT

Application Date: October 05, 2020	File: 03215050
Application: PRDP20203116	Applicant/Owner: Kelly Kustom Homes (1121402 Alberta Ltd.)
Legal Description: Lot 41, Block 1, Plan 2011558, NE-15-23-27-04	General Location: located in the hamlet of Langdon
Land Use Designation: Residential, Small Lot District (R-SML) under Land Use Bylaw C-8000- 2020.	Gross Area: ± 0.07 hectares (± 0.18 acres)
File Manager: Sandra Khouri	Division: 4

PROPOSAL:

The proposal is for the construction of a dwelling, single detached, relaxation of the minimum side yard setback requirement.

Under Section 342, Dwelling, single detached is listed as a permitted use. However, as a variance is required, it is considered discretionary.

LAND USE BYLAW:

R-SML Residential, Small Lot District

Requirements				
Section	Regulation	Required	Proposed	Variance
346	Maximum Parcel Coverage	50% for principal building	28.10%	0%
347	Maximum Building Height (principal building)	12.00 m (39.37 ft.)	9.46 m (31.04 ft.)	0%
348	Front Yard	6.00 m (19.69 ft.)	7.23 m (23.72 ft.)	0%
323	Side Yard – one side without lane	3.00 m (9.84 ft.)	1.56 m (5.12 ft.)	48.00%
323	Side Yard – other side*	1.50 m (5.00 ft.)	1.56 m (5.12 ft.)	0%
323	Rear Yard	6.00 m (19.69 ft.)	14.51 m (47.60 ft.) / 11.16 m (36.61 ft.) to deck	0%

**this setback was taken from Land Use Bylaw C-4841-97 as C-8000-2020 missed including it. This has been noted and will be presented to Council as an amendment.*

STATUTORY PLANS:

The subject property is located in the Langdon Area Structure Plan and the Bridges of Langdon Conceptual Scheme. Neither plan provides guidance for applications of this nature. As such, the application was assessed in accordance with the Land Use Bylaw.

INSPECTOR'S COMMENTS:

Inspection: October 20, 2020

- Site is vacant with no development surrounding it
- Site appears to be staked out with pegs
- No screening at time of inspection
- No stockpiling

CIRCULATIONS:

Building Services Review

- No comments.

Development Compliance Officer Review

- No comments received.

OPTIONS:

Option #1: (this would allow the proposed development to commence)

APPROVAL, subject to the following conditions:

Description:

1. That the construction of a dwelling, single detached may commence on the subject property, in accordance with the plot plan prepared by Ace Surveys, dated July 31, 2020 (File No. 20590).
 - i. That the minimum side yard setback requirement for the dwelling is relaxed from **3.00 m (9.84 ft.)** to **1.56 m (5.12 ft.)**.

Permanent:

2. That it is the responsibility of the Applicant/Owner to obtain approval from Rocky View County Road Operations for any new construction, installation or alterations of any driveways/approaches, prior to commencing any work on the driveways/approaches.
3. That there shall be no more than 2.00 m (6.56 ft.) of excavation or 1.00 m (3.28 ft.) of fill and/or topsoil placed adjacent to or within 15.00 m (49.21 ft.) of the proposed dwelling under construction that is used to establish approved final grades unless a Development Permit has been issued for additional fill and topsoil.
4. That no topsoil shall be removed from the subject property.
5. That the Applicant/Owners shall be responsible for rectifying any adverse effect on adjacent lands from drainage alteration.
6. That it is the Applicant/Owner's responsibility to obtain and display a distinct municipal address in accordance with the County Municipal Addressing Bylaw (Bylaw C-7562-2016), for the dwelling unit located on the subject site, to facilitate accurate emergency response

Advisory:

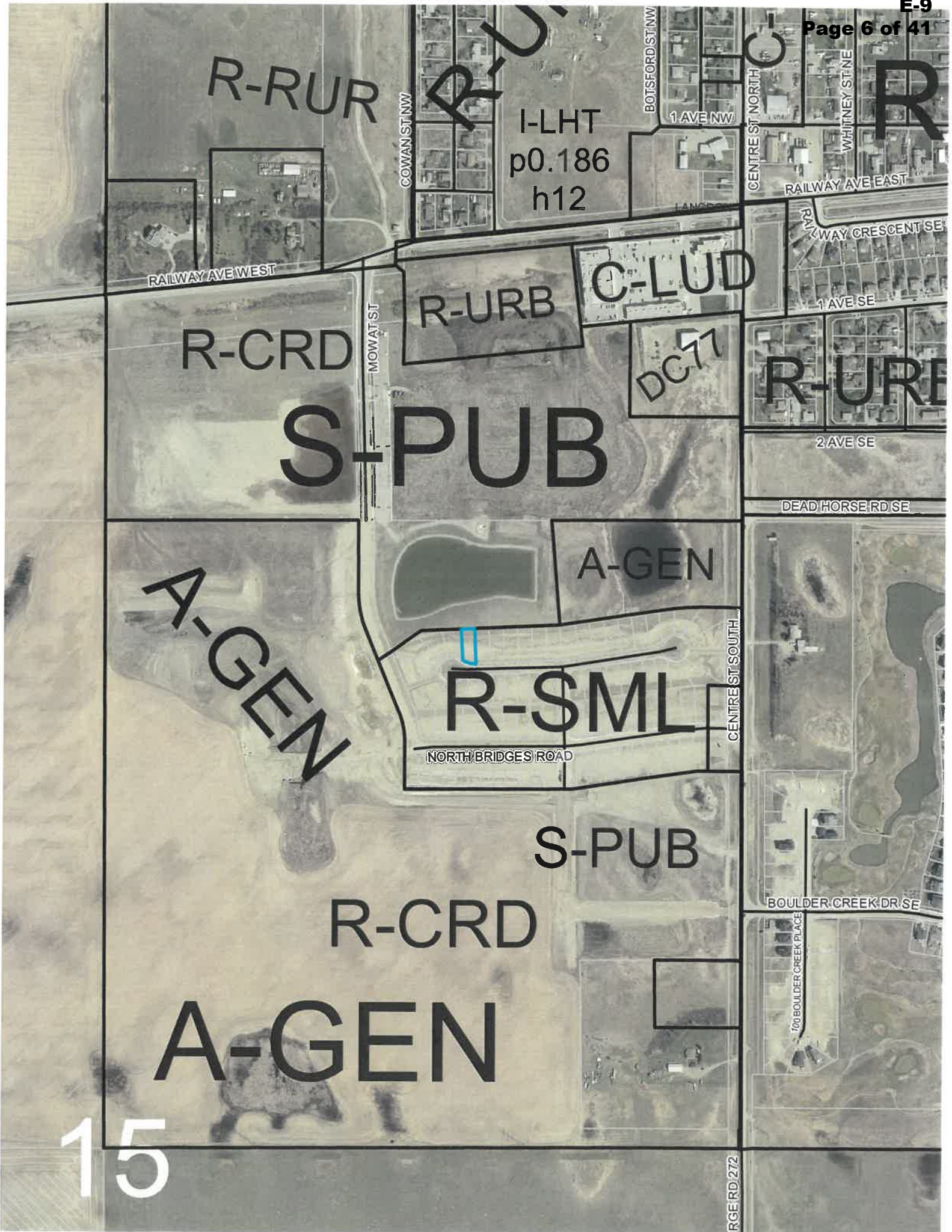
7. That any over government permits, approvals, or compliances are the sole responsibility of the Applicant/Owner.
8. That during construction, the County's Noise Control Bylaw C-5772-2003 shall be adhered to at all times.
9. That during construction, all construction and building materials shall be maintained on-site in a neat and orderly manner. Any debris or garbage shall be stored/placed in garbage bins and disposed of at an approved disposal facility.
10. That a Building Permit and subtrade permits shall be obtained through Building Services, prior to any construction taking place.
11. That if the development authorized by this Development Permit is not commenced with reasonable diligence within 12 months from the date of issue, and completed within 24 months of the issue, the permit is deemed to be null and void, unless an extension to this permit shall first have been granted by the Development Officer.

Option #2: (this would not allow the proposed development to commence)

REFUSAL as per the following reasons:

1. That in the opinion of the Municipal Planning Commission, the development unduly interferes with the amenities of the neighbourhood and materially interferes with and affects the use, enjoyment, and value of neighbouring parcels of land.





I-LHT
p0.186
h12

DC77

15



ROCKY VIEW COUNTY

DEVELOPMENT PERMIT APPLICATION

FOR OFFICE USE ONLY	
APPLICATION NO.	20203116
ROLL NO.	03215050
RENEWAL OF	
FEES PAID	\$315.00
DATE OF RECEIPT	Oct 5/20

APPLICANT/OWNER

Applicant Name: KELLY WINSTON

Business/Organization Name (if applicable): KELLY CUSTOM HOMES LTD

Landowner Name(s) per title (if not the Applicant): POLLYCO GROUP

Business/Organization Name (if applicable):

LEGAL LAND DESCRIPTION - Subject site

All/part of: NE 1/4 Section: 15 Township: 23 Range: 27 West of: 4 Meridian Division:

All parts of Lot(s)/Unit(s): 41 Block: 1 Plan: 201155-8 Parcel Size (ac/ha):

Municipal Address: 121 NORTH BIRCHMERE RD Land Use District: R-SML

APPLICATION FOR - List use and scope of work

RELAXATION OF SIDE YARD SETBACK FROM 3m TO 1.5m

Variance Rationale Included: ☐ YES ☐ NO ☐ N/ADP Checklist Included: ☐ YES ☐ NO

SITE INFORMATION

- a. Oil or gas wells present on or within 100 metres of the subject property(s) ☐ YES ☒ NO
- b. Parcel within 1.5 kilometres of a sour gas facility (well, pipeline or plant) ☐ YES ☒ NO
- c. Abandoned oil or gas well or pipeline present on the property ☐ YES ☒ NO
(Well Map Viewer: <https://extmapviewer.aer.ca/AERAbandonedWells/Index.html>)
- d. Subject site has direct access to a developed Municipal Road (accessible public roadway) ☒ YES ☐ NO

AUTHORIZATION

I, KELLY WINSTON (Full name in Block Capitals), hereby certify (initial below):

☒ That I am the registered owner OR ☒ That I am authorized to act on the owner's behalf.☒ That the information given on this form and related documents, is full and complete and is, to the best of my knowledge, a true statement of the facts relating to this application.☒ That I provide consent to the public release and disclosure of all information, including supporting documentation, submitted/contained within this application as part of the review process. I acknowledge that the information is collected in accordance with s.33(c) of the Freedom of Information and Protection of Privacy Act.☒ Right of Entry: I authorize/acknowledge that Rocky View County may enter the above parcel(s) of land for purposes of investigation and enforcement related to this application in accordance with Section 542 of the Municipal Government Act.

Applicant Signature

Date

Landowner Signature

Date



ROCKY VIEW COUNTY

DEVELOPMENT PERMIT APPLICATION CHECKLIST - GENERAL

All plans shall be submitted as one (1) legible hard copy and in DIGITAL form (pdfs).
Select () all that are included within application package. Incomplete applications may not be accepted for processing.

- ☒ **APPLICATION FORM(S) AND CHECKLIST:** All parts completed and signed.
- ☒ **APPLICATION FEE:** Refer to Planning and Development Fee Schedule within the Master Rules Bylaw.
- ☒ **CURRENT LAND TITLES CERTIFICATE COPY** - dated within 30 days of application, and
- ☐ Digital copy of non-financial instruments/caveats registered on title
- ☐ **LETTER OF AUTHORIZATION** Signed by the registered landowner(s) authorizing person acting on behalf (if not the Applicant). If registered owner on title is a company, authorization to be provided on a company letterhead or as an affidavit (signed by a Commissioner of Deeds).
- ☐ **COVER LETTER**, shall include:
- ☐ Proposed land use(s) and scope of work on the subject property
 - ☐ Detailed rationale for any variances requested
 - ☐ For businesses - Complete operational details including days/hours of work, number of employees, parking provisions, types of vehicles, outdoor storage areas, site access/approach, traffic management, etc.
 - ☐ Reference to any Supporting Documents, images, studies, plans etc. provided within application package
- ☒ **SITE PLAN**, shall include:
- ☐ Legal description and municipal address
 - ☐ North arrow
 - ☐ Property dimensions (all sides)
 - ☐ Setbacks/dimensions from all sides of the property line(s) to existing/proposed buildings, structures (candlevers, decks, and porches), outdoor storage areas etc.
 - ☐ Dimensions of all buildings/structures
 - ☐ Location and labels for existing/proposed approach(es)/access to property
 - ☐ Identify names of adjacent internal/municipal roads and highways
 - ☐ Identify any existing/abandoned/proposed oil wells, septic fields/banks, or water wells on site, including their distances to existing/proposed buildings
 - ☐ Identify any existing/proposed site features such as trees, shelterbelts, canals, waterbodies, etc.
 - ☐ Identify site slopes greater than 15% and distances from structures
 - ☐ Location and labels for easements and/or rights-of-way on title
- ☒ **FLOOR PLANS/ELEVATIONS**, shall include:
- ☐ Overall dimensions on floor plans for all buildings/structures (for new construction, additions, renovations etc.)
 - ☐ Indicate floor area and existing/proposed uses on floor plans and height(s) on elevations
 - ☐ Indicate type of building/structure on floor plans and elevations
- ☐ **COLOUR PHOTOGRAPHS** (Min. 3) - one hard and digital copy: Of existing site, building(s), structure(s), signage, site features, taken from all sides including surrounding context, and when existing floor plans/elevations are not available
- ☐ **SUPPORTING DOCUMENTS** (as applicable): Include technical studies/reports and any additional plans relating to the proposed development (not grading, site lighting, storm water management plans etc.) Refer to the Land Use Bylaw for use or district specific requirements.

FOR OFFICE USE ONLY

Proposed Use(s): <u>SPD, setback relaxation</u>	Land Use District: <u>R-SML</u>
Applicable ASPICS/OPM/SDP: <u>Bridges of Langdon</u>	
Included within file: <input checked="" type="checkbox"/> Information Sheet <input type="checkbox"/> Parcel Summary <input type="checkbox"/> Site Aerial <input checked="" type="checkbox"/> Land Use Map Aerial <input checked="" type="checkbox"/> Site Plan	
NOTES	
Staff Signature: <u>[Signature]</u>	



ROCKY VIEW COUNTY

262075 Rocky View Point
Rocky View County, AB, T4A 0X2

403-230-1401
questions@rockyview.ca
www.rockyview.ca

LETTER OF AUTHORIZATION – PLANNING AND DEVELOPMENT SERVICES

I, (We) Kelly Winston Homes (print name) Owner 1

(print name) Owner 2

being the owner(s) of: Lot: 41 Block: 1 Plan: 201 1558

Legal Description:

NW/¹⁵~~NE~~/SE/SW ¼ Section 15 Township 23 Range 27 West of 4 Meridian

give Kelly Winston (print name of Applicant) permission

to act on my (our) behalf for the following application at the above-noted property (**select one**):

- ☒ Development Permit
- ☐ Subdivision
- ☐ Redesignation
- ☐ Local Plan

[Signature]
Owner 1 Signature

Owner 2 Signature

Oct 6/20
Date Signed

TO: TERRAMATIC TECHNOLOG

FROM: ALTA Production

04:37MST

Page 2/15



CERTIFIED COPY OF
CERTIFICATE OF TITLE

LINC SHORT LEGAL
0038 708 202 4;27;23;15;NE

S

TITLE NUMBER: 201 169 639 +91
SUBDIVISION PLAN
DATE: 21/09/2020

AT THE TIME OF THIS CERTIFICATION

POLLYCO (LANGDON NORTH) DEVELOPMENTS LTD.
OF 8508 206 STREET
LANGLEY
BRITISH COLUMBIA V2Y 2B6

IS THE OWNER OF AN ESTATE IN FEE SIMPLE
OF AND IN

MERIDIAN 4 RANGE 27 TOWNSHIP 23
SECTION 15
QUARTER NORTH EAST
CONTAINING 64.7 HECTARES (160 ACRES) MORE OR LESS
EXCEPTING THEREOUT:

(A) ALL THAT PORTION OF THE NORTH EAST QUARTER OF SAID
SECTION 15 DESCRIBED AS FOLLOWS: COMMENCING AT A POINT ON
THE WEST LIMIT OF ROAD PLAN 6978JK 24.38 METRES NORTHERLY
FROM ITS INTERSECTION WITH THE SOUTH BOUNDARY OF SAID QUARTER
THENCE WESTERLY AND AT RIGHT ANGLES THERETO 188.37 METRES; THENCE
NORTHERLY AND PARALLEL TO THE SAID WEST LIMIT 214.58 METRES
THENCE EASTERLY AND AT RIGHT ANGLES TO THE SAID WEST LIMIT TO A
POINT THEREON; THENCE SOUTHERLY ALONG THE WEST LIMIT TO THE
POINT OF COMMENCEMENT

CONTAINING 4.04 HECTARES (9.99 ACRES) MORE OR LESS

(B) PLAN	NUMBER	HECTARES	ACRES
ROAD WIDENING	6978JK	0.337	0.824
PUBLIC UTILITY	1711089	4.23	10.45
SUBDIVISION	2011558	9.273	22.91

EXCEPTING THEREOUT ALL MINES AND MINERALS

SUBJECT TO THE ENCUMBRANCES, LIENS AND INTERESTS NOTIFIED BY MEMORANDUM UNDER-
WRITTEN OR ENDORSED HEREON, OR WHICH MAY HEREAFTER BE MADE IN THE REGISTER.

ENCUMBRANCES, LIENS & INTERESTS

REGISTRATION

NUMBER DATE (D/M/Y) PARTICULARS

791 166 878 05/10/1979 CAVEAT
CAVEATOR - ALTALINK MANAGEMENT LTD.
2611 - 3 AVE SE
CALGARY
ALBERTA T2A7W7
(DATA UPDATED BY: TRANSFER OF CAVEAT
021232028)
(DATA UPDATED BY: CHANGE OF ADDRESS 081460733)

(CONTINUED)

TO: TERRAMATIC TECHNOLOG

FROM: ALTA Production

04:37MST

Page 3/15

PAGE 2

CERTIFIED COPY OF
CERTIFICATE OF TITLE

SHORT LEGAL 4;27;23;15;NE

NAME POLLYCO (LANGDON NORTH) DEVELOPMENTS LTD.

NUMBER 201 169 639 +91

ENCUMBRANCES, LIENS & INTERESTS

REGISTRATION

NUMBER

DATE (D/M/Y)

PARTICULARS

801 036 640	12/03/1980	RIGHT OF ENTRY ARBITRATION ACT ORDER IN FAVOUR OF - CALGARY POWER LTD. "ORDER NO. C560/79"
031 396 317	18/11/2003	SURFACE RIGHTS BOARD AMENDING ORDER AFFECTS INSTRUMENT: 801036640 ORDER 1488/2003 AMENDING ORDERS C560/79 & C834/81 PARTY NAME CHANGED TO ALTALINK MANAGEMENT LTD.
161 114 958	17/05/2016	CAVEAT RE : DEVELOPMENT AGREEMENT PURSUANT TO MUNICIPAL GOVERNMENT ACT CAVEATOR - ROCKY VIEW COUNTY. 911 - 32ND AVENUE NE CALGARY ALBERTA T2E6X6 AGENT - RODD C THORKELSSON
181 222 408	16/10/2018	MORTGAGE MORTGAGEE - CANADIAN WESTERN BANK. 1, 7548-120 ST SURREY BRITISH COLUMBIA V3W3N1 ORIGINAL PRINCIPAL AMOUNT: \$11,564,000
181 222 409	16/10/2018	CAVEAT RE : ASSIGNMENT OF RENTS AND LEASES CAVEATOR - CANADIAN WESTERN BANK. CARSCALLEN LLP 900, 332-6 AVE SW CALGARY ALBERTA T2P0B2 AGENT - GLEN PETERSON
201 169 640	21/09/2020	CAVEAT RE : DEFERRED RESERVE CAVEATOR - ROCKY VIEW COUNTY. 262075 ROCKY VIEW POINT ROCKY VIEW COUNTY ALBERTA T4A0X2
201 169 644	21/09/2020	UTILITY RIGHT OF WAY GRANTEE - ROCKY VIEW COUNTY. AS TO PORTION OR PLAN:2011560
201 169 651	21/09/2020	UTILITY RIGHT OF WAY GRANTEE - ROCKY VIEW COUNTY. AS TO PORTION OR PLAN:2011562
201 169 656	21/09/2020	UTILITY RIGHT OF WAY GRANTEE - ROCKY VIEW COUNTY. AS TO PORTION OR PLAN:2011564

(CONTINUED)

TO: TERRAMATIC TECHNOLOG

FROM: ALTA Production

04:37MST

Page 4/15

PAGE 3

CERTIFIED COPY OF
CERTIFICATE OF TITLE

SHORT LEGAL 4;27;23;15;NE
NAME POLLYCO (LANGDON NORTH) DEVELOPMENTS LTD.
NUMBER 201 169 639 +91

ENCUMBRANCES, LIENS & INTERESTS

REGISTRATION

NUMBER	DATE (D/M/Y)	PARTICULARS
--------	--------------	-------------

201 169 657	21/09/2020	UTILITY RIGHT OF WAY GRANTEE - LANGDON WATERWORKS LIMITED.
-------------	------------	---

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN ACCURATE REPRODUCTION OF
THE CERTIFICATE OF TITLE REPRESENTED HEREIN THIS 21 DAY OF SEPTEMBER, 2020



SUPPLEMENTARY INFORMATION

MUNICIPALITY: ROCKY VIEW COUNTY
REFERENCE NUMBER:
171 099 264 +1
TOTAL INSTRUMENTS: 011

TO: TERRAMATIC TECHNOLOG

FROM: ALTA Production

04:37MST

Page 5/15



CERTIFIED COPY OF
CERTIFICATE OF TITLE

LINC SHORT LEGAL
0026 134 395 4;27;23;15;SE

S

TITLE NUMBER: 071 396 935
TRANSFER OF LAND
DATE: 09/08/2007

AT THE TIME OF THIS CERTIFICATION

POLLYCO (LANGDON CENTRAL) LAND CORPORATION.
OF 4, 3710 WESTWINDS DR NE
CALGARY
ALBERTA T3J 4H5
(DATA UPDATED BY: CHANGE OF NAME 091324349)

IS THE OWNER OF AN ESTATE IN FEE SIMPLE
OF AND IN

MERIDIAN 4 RANGE 27 TOWNSHIP 23
SECTION 15
QUARTER SOUTH EAST
CONTAINING 64.7 HECTARES (160 ACRES) MORE OR LESS
EXCEPTING:
PLAN NUMBER HECTARES ACRES (MORE OR LESS)
ROAD 6978JK 0.417 1.03
DESCRIPTIVE 9411667 1.49 3.68

EXCEPTING THEREOUT ALL MINES AND MINERALS

SUBJECT TO THE ENCUMBRANCES, LIENS AND INTERESTS NOTIFIED BY MEMORANDUM UNDER-
WRITTEN OR ENDORSED HEREON, OR WHICH MAY HEREAFTER BE MADE IN THE REGISTER.

ENCUMBRANCES, LIENS & INTERESTS

REGISTRATION

NUMBER	DATE (D/M/Y)	PARTICULARS
2414KY	17/02/1971	UTILITY RIGHT OF WAY GRANTEE - ALBERTA GOVERNMENT TELEPHONES. AS TO PORTION OR PLAN: 8046JK
791 148 013	10/09/1979	UTILITY RIGHT OF WAY GRANTEE - ALBERTA GOVERNMENT TELEPHONES. "PORTION DESCRIBED"
791 180 267	29/10/1979	SURFACE RIGHTS BOARD ORDER IN FAVOUR OF - CALGARY POWER LTD. ORDER NO. C711/79
971 343 538	18/11/1997	EASEMENT OVER SE1/4 OF SEC. 15 - 23 - 27 - W4M FOR BENEFIT OF BLOCK 1 ON PLAN 9411667
001 153 918	08/06/2000	UTILITY RIGHT OF WAY GRANTEE - EMBER RESOURCES INC. (DATA UPDATED BY: TRANSFER OF UTILITY RIGHT OF WAY 111083693) (DATA UPDATED BY: TRANSFER OF UTILITY RIGHT OF WAY 151195776)

{ CONTINUED }

TO: TERRAMATIC TECHNOLOG

FROM: ALTA Production

04:37MST

Page 6/15

PAGE 2

CERTIFIED COPY OF
 CERTIFICATE OF TITLE

SHORT LEGAL 4;27;23;15;SE

NAME POLLYCO (LANGDON CENTRAL) LAND CORPORATION
 NUMBER 071 396 935

ENCUMBRANCES, LIENS & INTERESTS

REGISTRATION
 NUMBER

DATE (D/M/Y) PARTICULARS

041 008 447	08/01/2004	SURFACE RIGHTS BOARD AMENDING ORDER AFFECTS INSTRUMENT: 791180267 ORDER NO. 1776/2003; AMENDING ORDER C711/79 AND ORDER C835/81 PARTY NAME CHANGED TO ALTALINK MANAGEMENT LTD.
111 050 952	03/03/2011	MORTGAGE MORTGAGEE - FARM CREDIT CANADA. 12040-149 ST NW EDMONTON ALBERTA T5V1P2 ORIGINAL PRINCIPAL AMOUNT: \$2,300,000
201 169 640	21/09/2020	CAVEAT RE : DEFERRED RESERVE CAVEATOR - ROCKY VIEW COUNTY. 262075 ROCKY VIEW POINT ROCKY VIEW COUNTY ALBERTA T4A0X2

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN ACCURATE REPRODUCTION OF
 THE CERTIFICATE OF TITLE REPRESENTED HEREIN THIS 21 DAY OF SEPTEMBER, 2020



SUPPLEMENTARY INFORMATION

VALUE: \$7,919,790
 CONSIDERATION: CASH
 MUNICIPALITY: ROCKY VIEW COUNTY
 REFERENCE NUMBER:
 941 217 105 +1
 TOTAL INSTRUMENTS: 008

TO: TERRAMATIC TECHNOLOG

FROM: ALTA Production

04:37MST

Page 7/15



CERTIFIED COPY OF
CERTIFICATE OF TITLE

LINC SHORT LEGAL
0038 708 210 2011558;1;2

S

TITLE NUMBER: 201 169 639
SUBDIVISION PLAN
DATE: 21/09/2020

AT THE TIME OF THIS CERTIFICATION

POLLYCO (LANGDON NORTH) DEVELOPMENTS LTD.
OF 8508 206 STREET
LANGLEY
BRITISH COLUMBIA V2Y 2B6

IS THE OWNER OF AN ESTATE IN FEE SIMPLE
OF AND IN

PLAN 2011558
BLOCK 1
LOT 2
EXCEPTING THEREOUT ALL MINES AND MINERALS

SUBJECT TO THE ENCUMBRANCES, LIENS AND INTERESTS NOTIFIED BY MEMORANDUM UNDER-
WRITTEN OR ENDORSED HEREON, OR WHICH MAY HEREAFTER BE MADE IN THE REGISTER.

ENCUMBRANCES, LIENS & INTERESTS	
REGISTRATION NUMBER	DATE (D/M/Y) PARTICULARS
791 166 878	05/10/1979 CAVEAT CAVEATOR - ALTALINK MANAGEMENT LTD. 2611 - 3 AVE SE CALGARY ALBERTA T2A7W7 (DATA UPDATED BY: TRANSFER OF CAVEAT 021232028) (DATA UPDATED BY: CHANGE OF ADDRESS 081460733)
801 036 640	12/03/1980 RIGHT OF ENTRY ARBITRATION ACT ORDER IN FAVOUR OF - CALGARY POWER LTD. "ORDER NO. C560/79"
031 396 317	18/11/2003 SURFACE RIGHTS BOARD AMENDING ORDER AFFECTS INSTRUMENT: 801036640 ORDER 1488/2003 AMENDING ORDERS C560/79 & C834/81 PARTY NAME CHANGED TO ALTALINK MANAGEMENT LTD.
161 114 958	17/05/2016 CAVEAT RE : DEVELOPMENT AGREEMENT PURSUANT TO MUNICIPAL GOVERNMENT ACT CAVEATOR - ROCKY VIEW COUNTY. 911 - 32ND AVENUE NE CALGARY ALBERTA T2E6X6 AGENT - RODD C THORKESSON

(CONTINUED)

TO: TERRAMATIC TECHNOLOG

FROM: ALTA Production

04:37MST

Page 8/15

PAGE 2

CERTIFIED COPY OF
 CERTIFICATE OF TITLE

SHORT LEGAL 2011558;1;2

NAME POLLYCO (LANGDON NORTH) DEVELOPMENTS LTD.

NUMBER 201 169 639

ENCUMBRANCES, LIENS & INTERESTS

REGISTRATION

NUMBER	DATE (D/M/Y)	PARTICULARS
181 222 408	16/10/2018	MORTGAGE MORTGAGEE - CANADIAN WESTERN BANK. 1, 7548-120 ST SURREY BRITISH COLUMBIA V3W3N1 ORIGINAL PRINCIPAL AMOUNT: \$11,564,000
181 222 409	16/10/2018	CAVEAT RE : ASSIGNMENT OF RENTS AND LEASES CAVEATOR - CANADIAN WESTERN BANK. CARSCALLEN LLP 900, 332-6 AVE SW CALGARY ALBERTA T2P0B2 AGENT - GLEN PETERSON
201 169 641	21/09/2020	RESTRICTIVE COVENANT
201 169 645	21/09/2020	CAVEAT RE : DEVELOPMENT AGREEMENT PURSUANT TO MUNICIPAL GOVERNMENT ACT CAVEATOR - ROCKY VIEW COUNTY. 262075 ROCKY VIEW POINT ROCKY VIEW COUNTY ALBERTA T4A0X2
201 169 646	21/09/2020	CAVEAT RE : DEVELOPMENT AGREEMENT PURSUANT TO MUNICIPAL GOVERNMENT ACT CAVEATOR - ROCKY VIEW COUNTY. 262075 ROCKY VIEW POINT ROCKY VIEW COUNTY ALBERTA T4A0X2
201 169 648	21/09/2020	UTILITY RIGHT OF WAY GRANTEE - ROCKY VIEW COUNTY. GRANTEE - FORTISALBERTA INC. GRANTEE - ATCO GAS AND PIPELINES LTD. GRANTEE - TELUS COMMUNICATIONS INC. GRANTEE - PERSONA COMMUNICATIONS INC. AS TO PORTION OR PLAN:2011561
201 169 653	21/09/2020	UTILITY RIGHT OF WAY GRANTEE - ROCKY VIEW COUNTY. AS TO PORTION OR PLAN:2011563

(CONTINUED)

GoA Fax Server

9/21/2020 4:43:07 PM PAGE

9/015

Fax Server

TO: TERRAMATIC TECHNOLOG

FROM: ALTA Production

04:37MST

Page 9/15

PAGE 3

CERTIFICATE OF TITLE

TITLE NUMBER: 201 169 639

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN ACCURATE REPRODUCTION OF
THE CERTIFICATE OF TITLE REPRESENTED HEREIN THIS 21 DAY OF SEPTEMBER, 2020



SUPPLEMENTARY INFORMATION

MUNICIPALITY: ROCKY VIEW COUNTY
REFERENCE NUMBER:
171 099 264 +1
ATS REFERENCE:
4;27;23;15;NE
TOTAL INSTRUMENTS: 011

TO: TERRAMATIC TECHNOLOG

FROM: ALTA Production

04:37MST

Page 10/15



CERTIFIED COPY OF
CERTIFICATE OF TITLE

LINC SHORT LEGAL
0038 708 228 2011558;1;3

S

TITLE NUMBER: 201 169 639 +1
SUBDIVISION PLAN
DATE: 21/09/2020

AT THE TIME OF THIS CERTIFICATION

POLLYCO (LANGDON NORTH) DEVELOPMENTS LTD.
OF 8508 206 STREET
LANGLEY
BRITISH COLUMBIA V2Y 2B6

IS THE OWNER OF AN ESTATE IN FEE SIMPLE
OF AND IN

PLAN 2011558
BLOCK 1
LOT 3
EXCEPTING THEREOUT ALL MINES AND MINERALS

SUBJECT TO THE ENCUMBRANCES, LIENS AND INTERESTS NOTIFIED BY MEMORANDUM UNDER-
WRITTEN OR ENDORSED HEREON, OR WHICH MAY HEREAFTER BE MADE IN THE REGISTER.

ENCUMBRANCES, LIENS & INTERESTS

REGISTRATION NUMBER	DATE (D/M/Y)	PARTICULARS
791 166 878	05/10/1979	CAVEAT CAVEATOR - ALTALINK MANAGEMENT LTD. 2611 - 3 AVE SE CALGARY ALBERTA T2A7W7 (DATA UPDATED BY: TRANSFER OF CAVEAT 021232028) (DATA UPDATED BY: CHANGE OF ADDRESS 081460733)
801 036 640	12/03/1980	RIGHT OF ENTRY ARBITRATION ACT ORDER IN FAVOUR OF - CALGARY POWER LTD. "ORDER NO. C560/79"
031 396 317	18/11/2003	SURFACE RIGHTS BOARD AMENDING ORDER AFFECTS INSTRUMENT: 801036640 ORDER 1488/2003 AMENDING ORDERS C560/79 & C834/81
161 114 958	11/05/2016	PARTY NAME CHANGED TO ALTALINK MANAGEMENT LTD CAVEAT RE : DEVELOPMENT AGREEMENT PURSUANT TO MUNICIPAL GOVERNMENT ACT CAVEATOR - ROCKY VIEW COUNTY. 911 - 32ND AVENUE NE CALGARY ALBERTA T2E6X6 AGENT - RODD C THORKELSSON

(CONTINUED)

TO: TERRAMATIC TECHNOLOG FROM: ALTA Production 04:37MST Page 11/15
PAGE 2

CERTIFIED COPY OF
CERTIFICATE OF TITLE

SHORT LEGAL 2011558;1;3
NAME POLLYCO (LANGDON NORTH) DEVELOPMENTS LTD.
NUMBER 201 169 639 +1

ENCUMBRANCES, LIENS & INTERESTS

REGISTRATION NUMBER	DATE (D/M/Y)	PARTICULARS
181 222 408	16/10/2018	MORTGAGE MORTGAGEE - CANADIAN WESTERN BANK. 1, 7548-120 ST SURREY BRITISH COLUMBIA V3W3N1 ORIGINAL PRINCIPAL AMOUNT: \$11,564,000
181 222 409	16/10/2018	CAVEAT RE : ASSIGNMENT OF RENTS AND LEASES CAVEATOR - CANADIAN WESTERN BANK. CARSCALLEN LLP 900, 332-6 AVE SW CALGARY ALBERTA T2P0B2 AGENT - GLEN PETERSON
201 169 641	21/09/2020	RESTRICTIVE COVENANT
201 169 645	21/09/2020	CAVEAT RE : DEVELOPMENT AGREEMENT PURSUANT TO MUNICIPAL GOVERNMENT ACT CAVEATOR - ROCKY VIEW COUNTY. 262075 ROCKY VIEW POINT ROCKY VIEW COUNTY ALBERTA T4A0X2
201 169 646	21/09/2020	CAVEAT RE : DEVELOPMENT AGREEMENT PURSUANT TO MUNICIPAL GOVERNMENT ACT CAVEATOR - ROCKY VIEW COUNTY. 262075 ROCKY VIEW POINT ROCKY VIEW COUNTY ALBERTA T4A0X2
201 169 648	21/09/2020	UTILITY RIGHT OF WAY GRANTEE - ROCKY VIEW COUNTY. GRANTEE - FORTISALBERTA INC. GRANTEE - ATCO GAS AND PIPELINES LTD. GRANTEE - TELUS COMMUNICATIONS INC. GRANTEE - PERSONA COMMUNICATIONS INC. AS TO PORTION OR PLAN:2011561
201 169 653	21/09/2020	UTILITY RIGHT OF WAY GRANTEE - ROCKY VIEW COUNTY. AS TO PORTION OR PLAN:2011563

(CONTINUED)

TO: TERRAMATIC TECHNOLOG FROM: ALTA Production 04:37MST Page 12/15
PAGE 3

CERTIFICATE OF TITLE

TITLE NUMBER: 201 169 639 +1

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN ACCURATE REPRODUCTION OF
THE CERTIFICATE OF TITLE REPRESENTED HEREIN THIS 21 DAY OF SEPTEMBER, 2020



SUPPLEMENTARY INFORMATION

MUNICIPALITY: ROCKY VIEW COUNTY
REFERENCE NUMBER:
171 099 264 +1
ATS REFERENCE:
4;27;23;15;NE
TOTAL INSTRUMENTS: 011

TO: TERRAMATIC TECHNOLOG FROM: ALTA Production 04:37MST Page 13/15



CERTIFIED COPY OF
CERTIFICATE OF TITLE

LINC SHORT LEGAL
0038 708 236 2011558;1;4

S

TITLE NUMBER: 201 169 639 +2
SUBDIVISION PLAN
DATE: 21/09/2020

AT THE TIME OF THIS CERTIFICATION

POLLYCO (LANGDON NORTH) DEVELOPMENTS LTD.
OF 8508 206 STREET
LANGLEY
BRITISH COLUMBIA V2Y 2B6

IS THE OWNER OF AN ESTATE IN FEE SIMPLE
OF AND IN

PLAN 2011558
BLOCK 1
LOT 4
EXCEPTING THEREOUT ALL MINES AND MINERALS

SUBJECT TO THE ENCUMBRANCES, LIENS AND INTERESTS NOTIFIED BY MEMORANDUM UNDER-
WRITTEN OR ENDORSED HEREON, OR WHICH MAY HEREAFTER BE MADE IN THE REGISTER.

ENCUMBRANCES, LIENS & INTERESTS

REGISTRATION
NUMBER

DATE (D/M/Y) PARTICULARS

791 166 878	05/10/1979	CAVEAT CAVEATOR - ALTALINK MANAGEMENT LTD. 2611 - 3 AVE SE CALGARY ALBERTA T2A7W7 (DATA UPDATED BY: TRANSFER OF CAVEAT 021232028) (DATA UPDATED BY: CHANGE OF ADDRESS 081460733)
801 036 640	12/03/1980	RIGHT OF ENTRY ARBITRATION ACT ORDER IN FAVOUR OF - CALGARY POWER LTD. "ORDER NO. C560/79"
031 396 317	18/11/2003	SURFACE RIGHTS BOARD AMENDING ORDER AFFECTS INSTRUMENT: 801036640 ORDER 1488/2003 AMENDING ORDERS C560/79 & C834/81 PARTY NAME CHANGED TO ALTALINK MANAGEMENT LTD.
161 114 958	17/05/2016	CAVEAT RE : DEVELOPMENT AGREEMENT PURSUANT TO MUNICIPAL GOVERNMENT ACT CAVEATOR - ROCKY VIEW COUNTY. 911 - 32ND AVENUE NE CALGARY ALBERTA T2E6X6 AGENT - RODD C THORKESSON

(CONTINUED)

TO: TERRAMATIC TECHNOLOG FROM: ALTA Production 04:37MST Page 14/15
PAGE 2

CERTIFIED COPY OF
CERTIFICATE OF TITLE

SHORT LEGAL 2011558;1;4
NAME POLLYCO (LANGDON NORTH) DEVELOPMENTS LTD.
NUMBER 201 169 639 +2

ENCUMBRANCES, LIENS & INTERESTS

REGISTRATION NUMBER	DATE (D/M/Y)	PARTICULARS
181 222 408	16/10/2018	MORTGAGE MORTGAGEE - CANADIAN WESTERN BANK. 1, 7548-120 ST SURREY BRITISH COLUMBIA V3W3N1 ORIGINAL PRINCIPAL AMOUNT: \$11,564,000
181 222 409	16/10/2018	CAVEAT RE : ASSIGNMENT OF RENTS AND LEASES CAVEATOR - CANADIAN WESTERN BANK. CARSCALLEN LLP 900, 332-6 AVE SW CALGARY ALBERTA T2P0B2 AGENT - GLEN PETERSON
201 169 641	21/09/2020	RESTRICTIVE COVENANT
201 169 645	21/09/2020	CAVEAT RE : DEVELOPMENT AGREEMENT PURSUANT TO MUNICIPAL GOVERNMENT ACT CAVEATOR - ROCKY VIEW COUNTY. 262075 ROCKY VIEW POINT ROCKY VIEW COUNTY ALBERTA T4A0X2
201 169 646	21/09/2020	CAVEAT RE : DEVELOPMENT AGREEMENT PURSUANT TO MUNICIPAL GOVERNMENT ACT CAVEATOR - ROCKY VIEW COUNTY. 262075 ROCKY VIEW POINT ROCKY VIEW COUNTY ALBERTA T4A0X2
201 169 648	21/09/2020	UTILITY RIGHT OF WAY GRANTEE - ROCKY VIEW COUNTY. GRANTEE - FORTISALBERTA INC. GRANTEE - ATCO GAS AND PIPELINES LTD. GRANTEE - TELUS COMMUNICATIONS INC. GRANTEE - PERSONA COMMUNICATIONS INC. AS TO PORTION OR PLAN:2011561
201 169 653	21/09/2020	UTILITY RIGHT OF WAY GRANTEE - ROCKY VIEW COUNTY. AS TO PORTION OR PLAN:2011563

(CONTINUED)

TO: TERRAMATIC TECHNOLOG FROM: ALTA Production 04:37MST Page 15/15
PAGE 3

CERTIFICATE OF TITLE

TITLE NUMBER: 201 169 639 +2

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN ACCURATE REPRODUCTION OF
THE CERTIFICATE OF TITLE REPRESENTED HEREIN THIS 21 DAY OF SEPTEMBER, 2020



SUPPLEMENTARY INFORMATION

MUNICIPALITY: ROCKY VIEW COUNTY
REFERENCE NUMBER:
171 099 264 +1
ATS REFERENCE:
4;27;23;15;NE
TOTAL INSTRUMENTS: 011

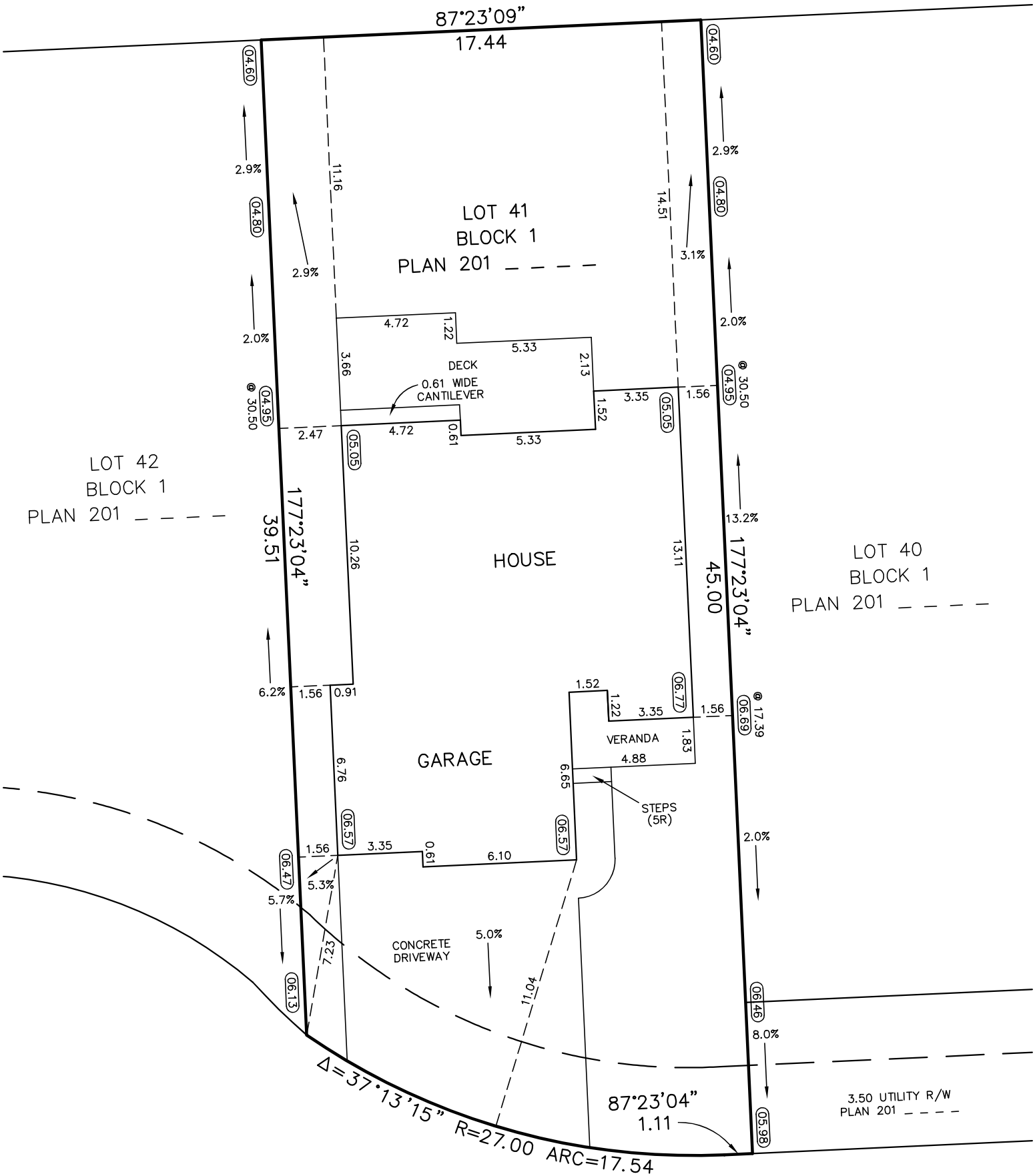


PLOT PLAN

SAN:	03.31	ST:	03.31	FG:	06.57	RG:	05.05
LTF:	04.07	ATF:	04.34	TOP OF MAIN FLOOR: 07.48			
LOT AREA: 756.41 SQ.M.			BUILDING AREA: 212.55 SQ.M.			LOT COVERAGE: 28.1%	



LOT 1PUL BLOCK 1 PLAN 171 1089



NORTH BRIDGES BAY

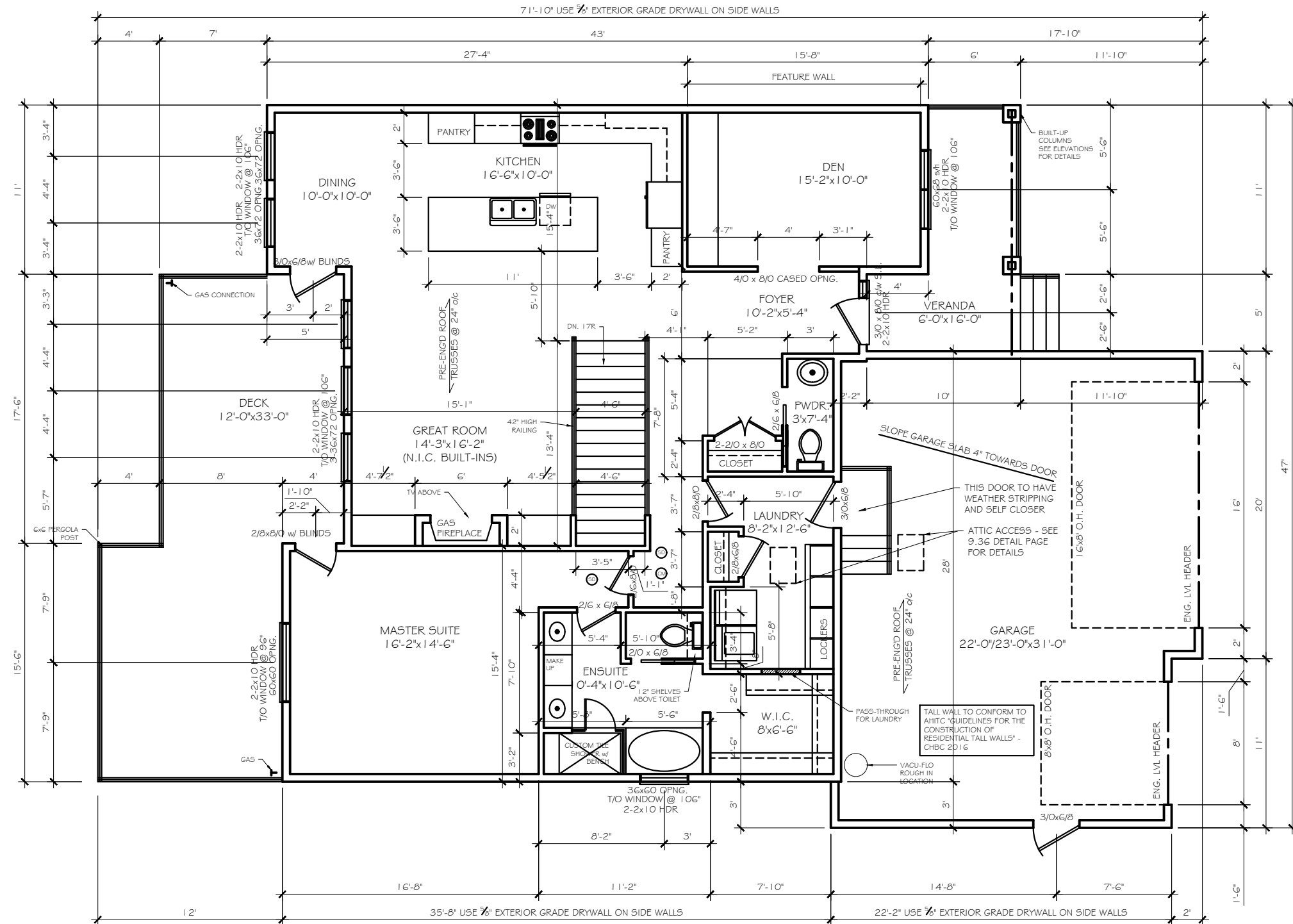
NOTE: ALL MEASUREMENTS ARE IN METRES AND DECIMALS THEREOF.
ALL DIMENSIONS AND SERVICES MUST BE CONFIRMED BY A CONTRACTOR PRIOR TO EXCAVATION

CLIENT:	KELLY KUSTOM HOMES
LEGAL DESCRIPTION:	Lot 41, Block 1, Plan 201
MUNICIPAL ADDRESS:	121 NORTH BRIDGES BAY, LANGDON, AB
SCALE:	1 : 200



ACE SURVEYS LTD.
ANDREW CAMMAERT, ALS
119 STRATHMORE LAKES COMMON
STRATHMORE, AB T1P 1Y7
PH/FAX: 403 - 934 - 2330
ACESURVEYS2011@GMAIL.COM

DRAFTING DATE:	2020/7/31	FILE:	20590	DRAWN BY:	SAK
----------------	-----------	-------	-------	-----------	-----



MAIN FLOOR PLAN

MAIN FLOOR: 1611 SQ. FT.
BACK DECK: 330 SQ. FT.
VERANDA: 116 SQ. FT.
GARAGE: 730 SQ. FT.
DEVELOPED BSMT.: 1083 SQ. FT.
UNDEVELOPED BSMT.: 323 SQ. FT.

- Ⓢ DIRECT WIRE SMOKE DETECTOR
- Ⓢ DIRECT WIRE CARBON MONOXIDE DETECTOR

NOTE:
- ALL WINDOWS TO HAVE AN
ENERGY STAR RATING OF 25,
MIN.

NOTE:
THE CONTRACTOR IS RESPONSIBLE FOR
CHECKING THE DRAWINGS BEFORE
CONSTRUCTION HAS BEGUN AND FOR
ADVISING THE DESIGNER OF ANY NECESSARY
REVISIONS



216 Boulder Creek Cres.
Langdon, Alberta
T0J 1X5
PH: 403.936.4541
cell: 403.519.5705
email: daphne@persona.ca

PROJECT

KELLY KUSTOM - COWAN RESIDENCE
MAIN FLOOR PLAN

DATE

JULY 31, 2020

DRAWN BY

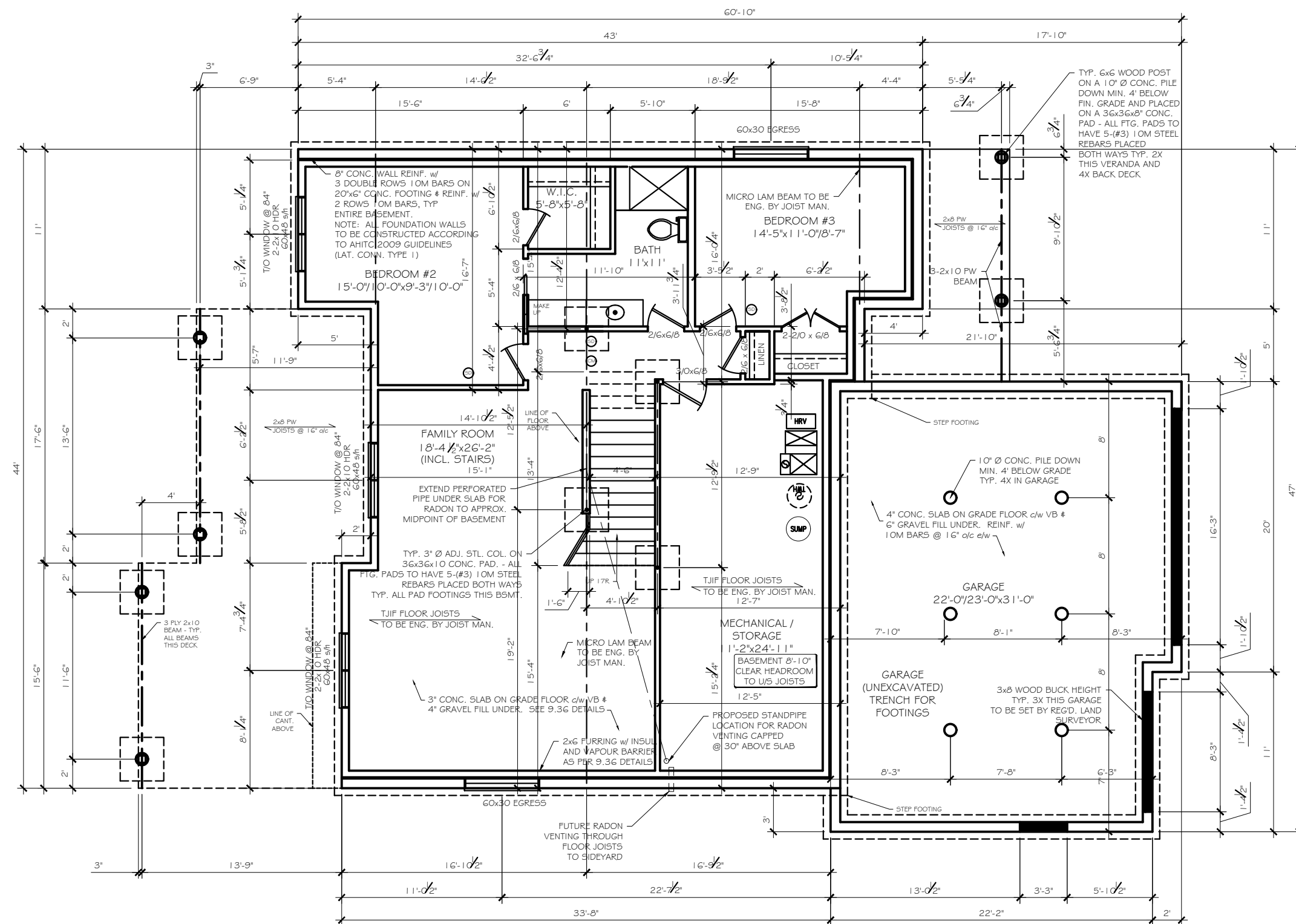
DJH

SCALE

1/8" = 1'-0"

DRAWING

1
7
REVISION No.



FOUNDATION FLOOR PLAN

MAIN FLOOR:	1611 SQ. FT.
BACK DECK:	330 SQ. FT.
VERANDA:	116 SQ. FT.
GARAGE:	730 SQ. FT.
DEVELOPED BSMT.:	1083 SQ. FT.
UNDEVELOPED BSMT.:	323 SQ. FT.

- ☐ DIRECT WIRED SMOKE DETECTOR
- ☐ DIRECT WIRED CARBON MONOXIDE DETECTOR

NOTE:

- ALL WINDOWS TO HAVE AN ENERGY STAR RATING OF 25, MIN.

NOTE:
THE CONTRACTOR IS RESPONSIBLE FOR
CHECKING THE DRAWINGS BEFORE
CONSTRUCTION HAS BEGUN AND FOR
ADVISING THE DESIGNER OF ANY NECESSARY
REVISIONS



216 Boulder Creek Cres.
Langdon, Alberta
T0J 1X3
PH: 403.936.4541
cell: 403.519.5703
email: daphne@persona.ca

PROJECT

KELLY KUSTOM - COWAN RESIDENCE
FOUNDATION PLAN

DATE
AUGUST 19, 2020

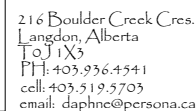
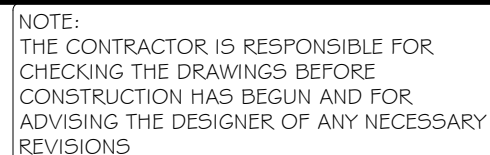
DRAWN BY
DJH

SCALE

$\frac{1}{8} = 1'-0''$

DRAWING

REVISION No. **2**
9

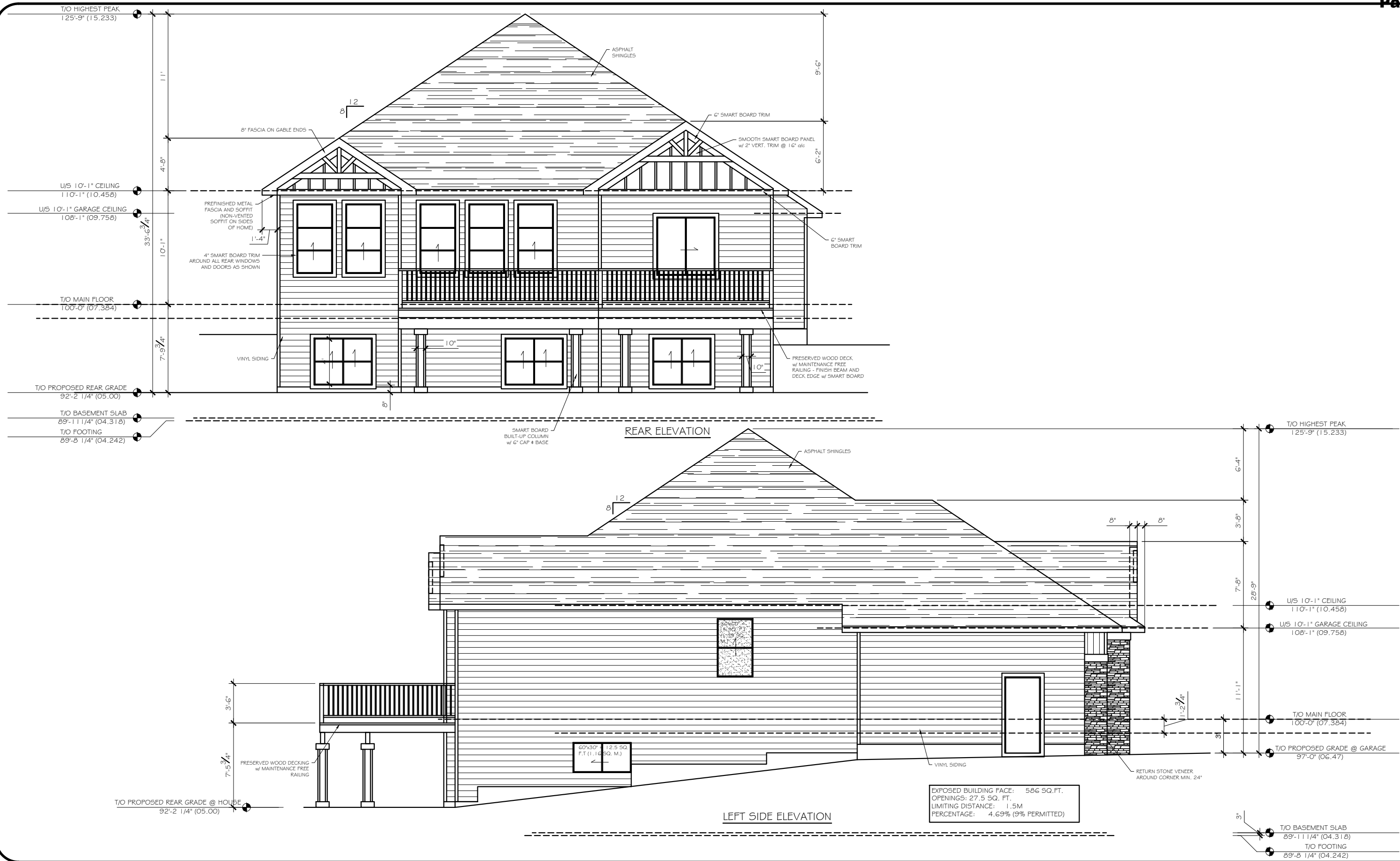


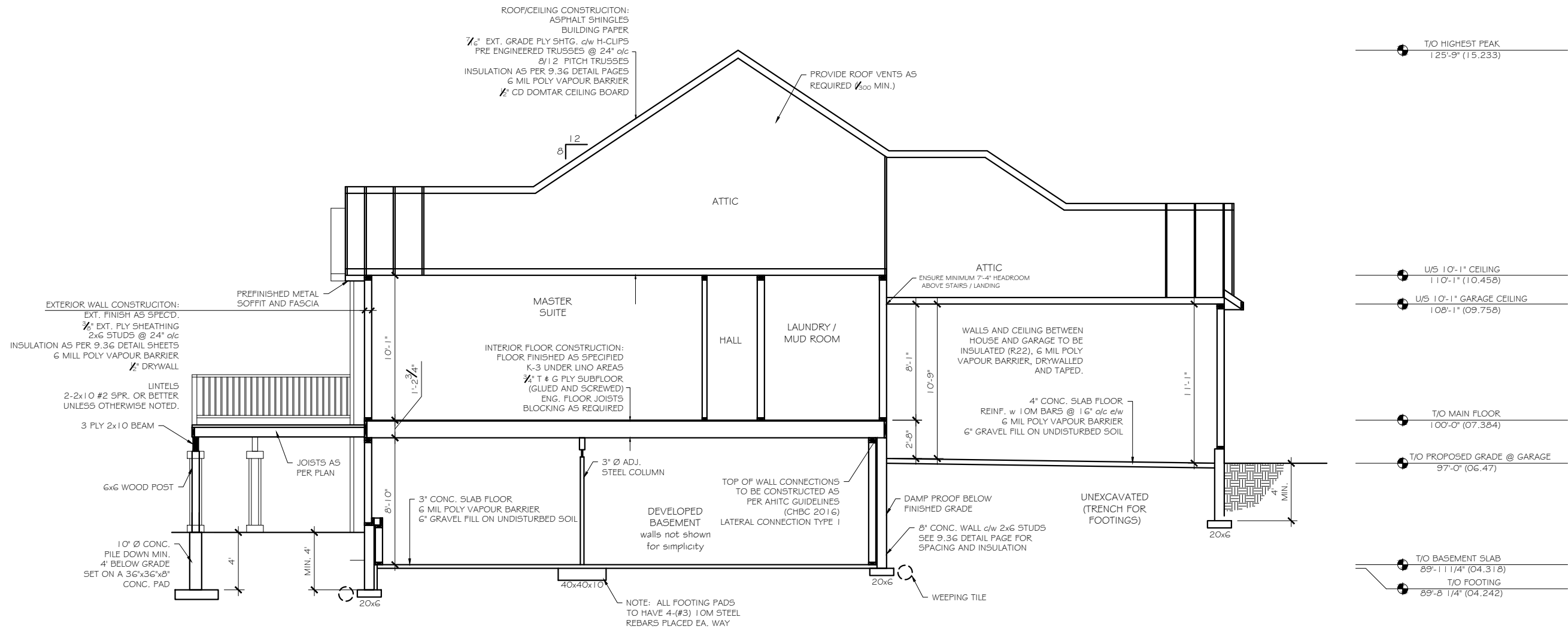
DATE
JULY 30, 2020

DRAWN BY
DJH

REVISION No. 8

No. 8





CROSS SECTION

NOTE:
THE CONTRACTOR IS RESPONSIBLE FOR
CHECKING THE DRAWINGS BEFORE
CONSTRUCTION HAS BEGUN AND FOR
ADVISING THE DESIGNER OF ANY NECESSARY
REVISIONS



216 Boulder Creek Cres.
Langdon, Alberta
T0J 1X3
PH: 403.936.4541
cell: 403.519.5703
email: daphne@persona.ca

PROJECT KELLY KUSTOM - COWAN RESIDENCE CROSS SECTION		
DATE JULY 30, 2020	DRAWN BY DJH	SCALE 1/8" = 1'-0"

DRAWING 5
REVISION No. 3

N.B.C. 2019 - ALBERTA EDITION 9.36 SUMMARY

COMPLIANCE PATH (9.36.1)

- PRESCRIPTIVE PATH
- TRADE OFF PATH (ATTIC FOR ABOVE GRADE WALLS)
- PERFORMANCE PATH
(AIR TIGHTNESS FOR PERFORMANCE MODELING TO BE 2.5 ACH.)

GENERAL REQUIREMENTS (9.36)

- NO HVAC DUCTING PERMITTED IN ANY INSULATED ASSEMBLY UNLESS ABSOLUTELY NECESSARY.
- NO PLUMBING PIPES OR VENTING PERMITTED IN ANY INSULATED ASSEMBLY UNLESS ABSOLUTELY NECESSARY.
- NO BUNDLES OF ELECTRICAL WIRES OR CABLES PERMITTED IN ANY INSULATED ASSEMBLY.
- CONTINUOUS AIR/VAPOUR BARRIER MAINTAINED USING SHEET POLY, SEALANT AND THE USE OF 2LB SPRAY APPLIED CLOSED CELL FOAM INSULATION.
- 9.36.2.4.(4) ALLOWS SOME ASSEMBLIES TO HAVE A MINIMUM RSI VALUE REDUCED BY 0.61 RSI.

HVAC REQUIREMENTS (9.36.3)

- WARM AIR FURNACE TO COMPLY WITH A.B.C. TABLE 9.36.3.10
- GAS FIRED WARM AIR FURNACE HAVING A MINIMUM PERFORMANCE AFUE OF 92%
- ALL DUCTING SHALL BE SEALED TO COMPLY WITH A.B.C. 9.36.2
- ALL AIR INTAKE AND OUTLET DAMPERS TO COMPLY WITH A.B.C. 9.36.3.3
- SERVICE WATER HEATING EQUIPMENT TO COMPLY WITH A.B.C. TABLE 9.36.4.2
- GAS FIRED STORAGE HEATER HAVING A MINIMUM PERFORMANCE EF OF 67%
- GAS FIRED TANKLESS HEATER HAVING A MINIMUM PERFORMANCE EF OF 80%
- PIPING SHALL BE INSULATED (12mm) FOR FIRST 2M TO COMPLY WITH A.B.C. 9.36.4.4
- HEAT RECOVERY VENTILATION (HRV) SYSTEM TO COMPLY WITH A.B.C. 9.36.3.9
- ACTIVE HRV EQUIPMENT HAVING A MINIMUM PERFORMANCE EF OF 60%

BUILDING ENVELOPE ASSEMBLIES - WITH HRV

EXTERIOR WALL ASSEMBLY

INTERIOR AIR FILM	0.12	RSI
½" GYPSUM BOARD	0.08	RSI
6 mil. POLY AIR/VAPOUR BARRIER	0.00	RSI
2x6 SPR. TOP(2) & BOTTOM PLATES		
w/ 2x6 SPR. STUDS @ 24" o.c.		
w/ FULL CAVITY FIBREGLASS BATT R22 INSUL.	2.67	RSI
¾" O.S.B. SHEATHING	0.09	RSI
TYVEK BUILDING WRAP	0.00	RSI
VINYL SIDING	0.11	RSI
EXTERIOR AIR FILM	0.03	RSI
TOTAL EFFECTIVE =		3.1 RSI
N.B.C. 2019 AB ED. =		2.97 RSI

EXTERIOR WALL ASSEMBLY WITH ¾" GYPSUM BOARD (0.100 RSI)
HAS A TOTAL EFFECTIVE VALUE OF 3.023 RSI

EXTERIOR WALL ASSEMBLY

INTERIOR AIR FILM	0.12	RSI
½" GYPSUM BOARD	0.08	RSI
6 mil. POLY AIR/VAPOUR BARRIER	0.00	RSI
2x6 SPR. TOP(2) & BOTTOM PLATES		
w/ 2x6 SPR. STUDS @ 24" o.c.		
w/ FULL CAVITY FIBREGLASS BATT R22 INSUL.	2.67	RSI
¾" O.S.B. SHEATHING	0.09	RSI
TYVEK BUILDING WRAP	0.00	RSI
STONE VENEER	0.023	RSI
EXTERIOR AIR FILM	0.03	RSI
TOTAL EFFECTIVE =		3.013 RSI
N.B.C. 2019 AB ED. =		2.97 RSI

HOUSE/GARAGE WALL ASSEMBLY

INTERIOR AIR FILM	0.12	RSI
½" GYPSUM BOARD	0.08	RSI
6 mil. POLY AIR/VAPOUR BARRIER	0.00	RSI
2x6 SPR. TOP(2) & BOTTOM PLATES		
w/ 2x6 SPR. STUDS @ 24" o.c.		
w/ FULL CAVITY FIBREGLASS BATT R22 INSUL.	2.67	RSI
½" GYPSUM BOARD	0.08	RSI
EXTERIOR AIR FILM	0.03	RSI
TOTAL EFFECTIVE =		3.98 RSI
N.B.C. 2019 AB ED. =		2.81 RSI
(MINIMUM REDUCED 0.16 RSI)		

FOUNDATION WALL ASSEMBLY

CEMENT PARGING ABOVE GRADE	0.00	RSI
DAMPPROOFING	0.00	RSI
8" CONCRETE FOUNDATION WALL	0.08	RSI
1" AIR SPACE	0.18	RSI
2x6 SPR. FURRING @ 24" o.c.		
w/ FULL CAVITY FIBREGLASS BATT R22 INSUL.	2.67	RSI
½" GYPSUM BOARD	0.08	RSI
INTERIOR AIR FILM	0.03	RSI
TOTAL EFFECTIVE =		3.04 RSI
N.B.C. 2019 AB ED. =		2.98 RSI

PARALLEL-PATH FLOW CALCULATIONS
FOR NON-CONTINUOUS LAYERS OF
BUILDING ENVELOPE ASSEMBLIES

$$RSI_{parallel} = \frac{100}{\left(\frac{\% \text{ area framing}}{RSI}\right) + \left(\frac{\% \text{ area cavity}}{RSI}\right)}$$

EXTERIOR WALL ASSEMBLY

2x6 SPR. TOP & BOTTOM PLATES
w/ FULL CAVITY FIBREGLASS BATT R22 INSULATION

$$RSI_{parallel} = \frac{100}{\left(\frac{20}{1.19}\right) + \left(\frac{80}{3.87}\right)}$$

$$RSI_{parallel} = \frac{100}{16.81 + 20.67}$$

$$RSI_{parallel} = \frac{100}{37.48}$$

$$RSI_{parallel} = 2.67$$

HOUSE/GARAGE WALL ASSEMBLY

2x6 SPR. TOP(2) & BOTTOM PLATES
w/ FULL CAVITY FIBREGLASS BATT R22 INSULATION

$$RSI_{parallel} = \frac{100}{\left(\frac{20}{1.19}\right) + \left(\frac{80}{3.87}\right)}$$

$$RSI_{parallel} = \frac{100}{16.81 + 20.67}$$

$$RSI_{parallel} = \frac{100}{37.48}$$

$$RSI_{parallel} = 2.67$$

FOUNDATION WALL ASSEMBLY

2x6 FURRING @ 16" o.c.
w/ FULL CAVITY FIBREGLASS BATT R22 INSULATION

$$RSI_{parallel} = \frac{100}{\left(\frac{20}{1.19}\right) + \left(\frac{80}{3.87}\right)}$$

$$RSI_{parallel} = \frac{100}{16.81 + 20.67}$$

$$RSI_{parallel} = \frac{100}{37.48}$$

NOTE:
THE CONTRACTOR IS RESPONSIBLE FOR
CHECKING THE DRAWINGS BEFORE
CONSTRUCTION HAS BEGUN AND FOR
ADVISING THE DESIGNER OF ANY NECESSARY
REVISIONS



216 Boulder Creek Cres.
Langdon, Alberta
T0J 1X5
PH: 403.936.4541
cell: 403.519.5705
email: daphne@pcersona.ca

PROJECT
KELLY KUSTOM - COWAN RESIDENCE
9.36 DETAIL PAGE 1

DATE
OCTOBER 30, 2019

DRAWN BY
DJH

SCALE
NTS

DRAWING
6
REVISION No.
0

ROOF/ATTIC ASSEMBLY

ROOFING (ASPHALT)	0.08 RSI
BUILDING PAPER	0.00 RSI
3⁄8" O.S.B. SHEATHING (w/ H-CLIPS)	0.093 RSI
ATTIC AIR FILM (VENTED AT 1:300 MINIMUM)	0.03 RSI
ENGINEERED ROOF TRUSSES @ 24" o.c. (RAISED HEEL)	
2x4 SPR. BOTTOM CHORD CAVITY	
w/ 3 1⁄2" DEPTH BLOWN FIBERGLASS INSULATION	1.54 RSI
1 6" DEPTH BLOWN FIBERGLASS INSULATION	7.62 RSI
6 mil POLY AIR/VAPOUR BARRIER	0.00 RSI
1⁄2" GYPSUM C.D. BOARD	0.08 RSI
INTERIOR AIR FILM	0.11 RSI
TOTAL EFFECTIVE =	9.553 RSI
N.B.C. 2019 AB ED. =	8.67 RSI

VAULTED CEILING/ATTIC ASSEMBLY

ROOFING (ASPHALT)	0.08 RSI
BUILDING PAPER	0.00 RSI
3⁄8" O.S.B. SHEATHING (w/ H-CLIPS)	0.093 RSI
ATTIC AIR FILM (VENTED AT 1:300 MINIMUM)	0.03 RSI
ENGINEERED ROOF TRUSSES @ 24" o.c. (RAISED HEEL)	
2x4 SPR. BOTTOM CHORD CAVITY	
w/ R12 FIBERGLASS BATT INSULATION	1.88 RSI
R20 FIBERGLASS BATT INSULATION	3.52 RSI
6 mil POLY AIR/VAPOUR BARRIER	0.00 RSI
1⁄2" GYPSUM C.D. BOARD	0.08 RSI
INTERIOR AIR FILM	0.11 RSI
TOTAL EFFECTIVE =	5.793 RSI
N.B.C. 2019 AB. ED. =	5.02 RSI

BASEMENT FLOOR ASSEMBLY - UNHEATED FLOORS

INTERIOR AIR FILM	0.16 RSI
FLOOR FINISH	0.00 RSI
4" - 25 MPa CONCRETE SLAB	0.04 RSI
6 mil POLY AIR/VAPOUR BARRIER	0.00 RSI
4" COMPACTED 40 mil WASHED GRAVEL	0.00 RSI
TOTAL EFFECTIVE =	0.20 RSI
N.B.C. 2019 AB ED. =	UNINSULATED

RIM-JOISTS PARALLEL

INTERIOR AIR FILM	0.12 RSI
2x4 SPR. PONY WALL @ 24" o.c.	
w/ 4 1⁄2" MIN. POLYURETHANE SPRAY FOAM INSUL.	2.75 RSI
3⁄8" O.S.B. SHEATHING	0.09 RSI
TYVEK BUILDING WRAP	
VINYL SIDING	0.11 RSI
EXTERIOR AIR FILM	0.03 RSI
TOTAL EFFECTIVE =	3.10 RSI
N.B.C. 2019 AB ED. =	2.97 RSI

ROOF/ATTIC ASSEMBLY

2x4 SPR. BOTTOM CHORD @ 24" o.c. (RAISED HEEL)
w/ 3 1⁄2" BLOWN FIBERGLASS INSULATION

$$RSI_{parallel} = \frac{100}{\left(\frac{7}{0.76}\right) + \left(\frac{93}{1.67}\right)}$$
$$RSI_{parallel} = \frac{100}{9.21 + 55.69}$$
$$RSI_{parallel} = \frac{100}{64.9}$$
$$RSI_{parallel} = 1.54$$

VAULTED CEILING/ATTIC ASSEMBLY

2x4 SPR. BOTTOM CHORD @ 24" o.c. (RAISED HEEL)
w/ R12 FIBERGLASS BATT INSULATION

$$RSI_{parallel} = \frac{100}{\left(\frac{7}{0.76}\right) + \left(\frac{93}{2.11}\right)}$$
$$RSI_{parallel} = \frac{100}{9.21 + 44.08}$$
$$RSI_{parallel} = \frac{100}{53.29}$$
$$RSI_{parallel} = 1.88$$

RIM-JOIST PARALLEL ASSEMBLY

2x4 SPR. PONY WALL @ 24" o.c. MINIMUM
w/ 4 1⁄2" MINIMUM POLYURETHANE SPRAY FOAM INSULATION

$$RSI_{parallel} = \frac{100}{\left(\frac{20}{1.19}\right) + \left(\frac{80}{4.10}\right)}$$
$$RSI_{parallel} = \frac{100}{16.81 + 19.51}$$
$$RSI_{parallel} = \frac{100}{36.32}$$
$$RSI_{parallel} = 2.75$$

RIM-JOISTS PERPENDICULAR

INTERIOR AIR FILM	0.12 RSI
ENGINEERED JOISTS @ 16" o.c MIN.	
w/ 4" MIN. POLYURETHANE SPRAY FOAM INSUL.	2.74 RSI
1 1⁄8" O.S.B. RIM BOARD	0.28 RSI
TYVEK BUILDING WRAP	0.00 RSI
VINYL SIDING	0.11 RSI
EXTERIOR AIR FILM	0.03 RSI
TOTAL EFFECTIVE =	3.18 RSI
N.B.C. 2019 AB ED. =	2.97 RSI

ATTIC ACCESS HATCH

ATTIC AIR FILM (VENTED AT 1:300 MINIMUM)	0.03 RSI
4" EXTRUDED POLYSTYRENE INSULATION	3.56 RSI
3⁄8" MDF FINISH MATERIAL	0.11 RSI
INTERIOR AIR FILM	0.11 RSI
TOTAL EFFECTIVE =	3.81 RSI
N.B.C. 2019 AB ED. =	2.60 RSI

RIM-JOIST PERPENDICULAR ASSEMBLY

ENGINEERED JOISTS @ 16" o.c. MINIMUM
w/ 4" POLYURETHANE SPRAY FOAM INSULAITON

$$RSI_{parallel} = \frac{100}{\left(\frac{9}{0.77}\right) + \left(\frac{91}{3.66}\right)}$$
$$RSI_{parallel} = \frac{100}{11.69 + 24.86}$$
$$RSI_{parallel} = \frac{100}{36.55}$$
$$RSI_{parallel} = 2.74$$

NOTE:
THE CONTRACTOR IS RESPONSIBLE FOR
CHECKING THE DRAWINGS BEFORE
CONSTRUCTION HAS BEGUN AND FOR
ADVISING THE DESIGNER OF ANY NECESSARY
REVISIONS



216 Boulder Creek Cres.
Langdon, Alberta
T0J 1X3
PH: 403.936.4341
cell: 403.319.5703
email: daphne@persona.ca

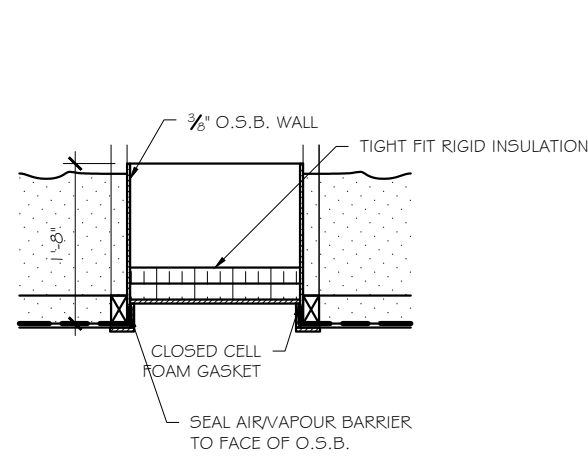
PROJECT
KELLY KUSTOM - COWAN RESIDENCE
9.36 DETAIL PAGE 2

DATE
OCTOBER 30, 2019

DRAWN BY
DJH

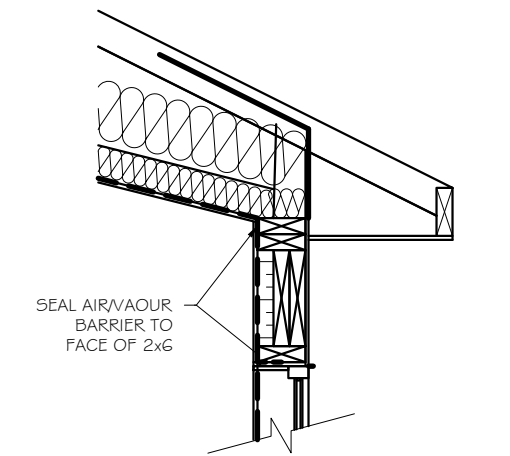
SCALE
NTS

DRAWING
7
REVISION No.
0



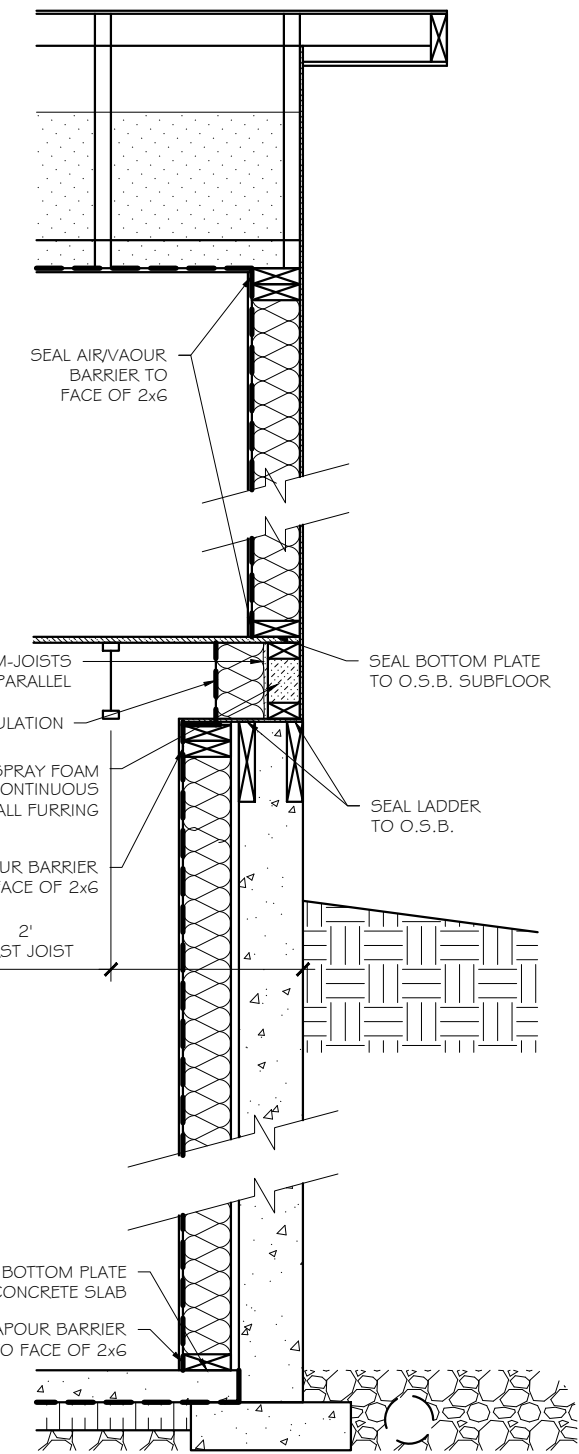
ATTIC ACCESS HATCH DETAIL

SCALE: 3/4" = 1'-0"



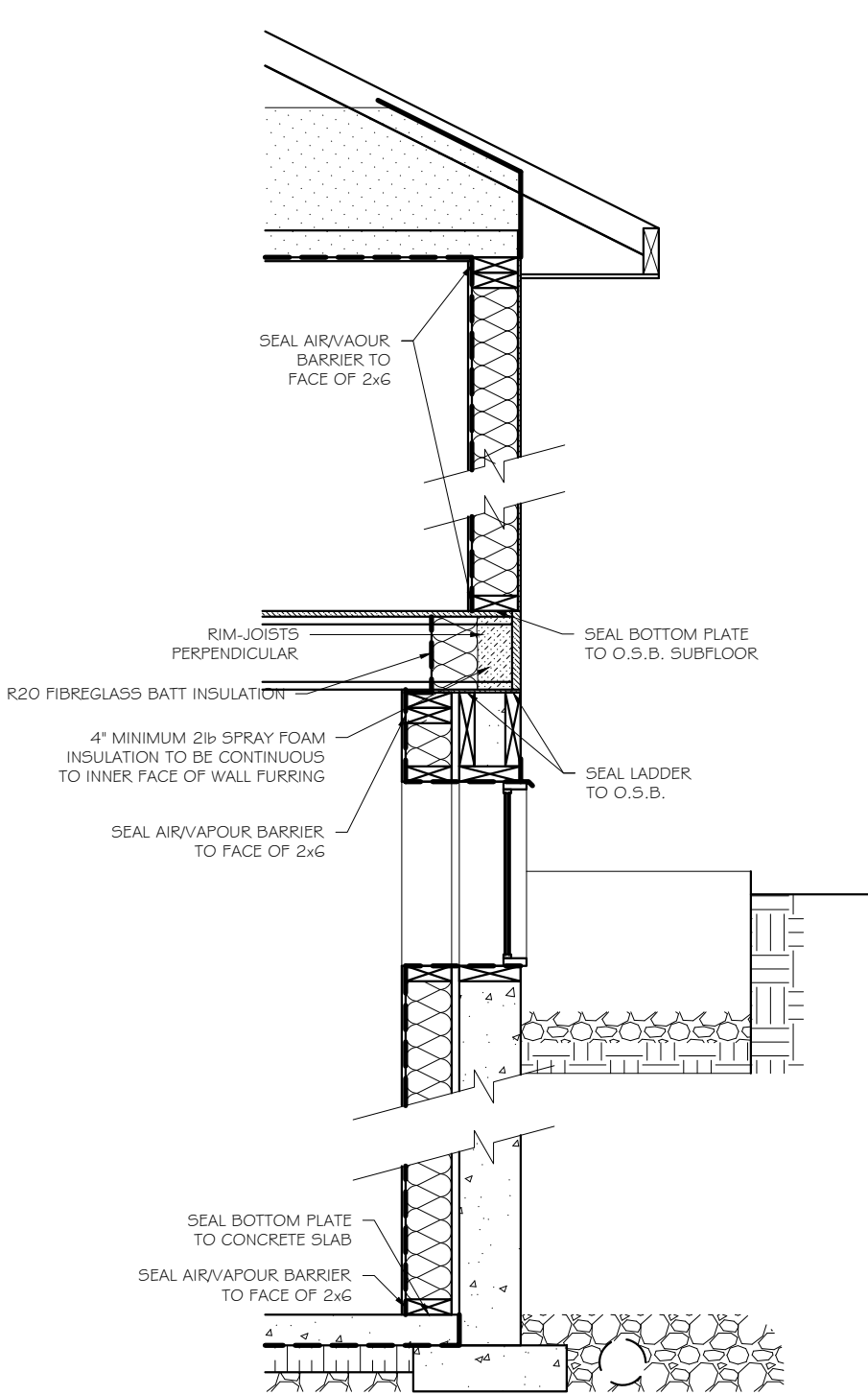
VAULTED CEILING/ATTIC DETAIL

SCALE: 3/4" = 1'-0"



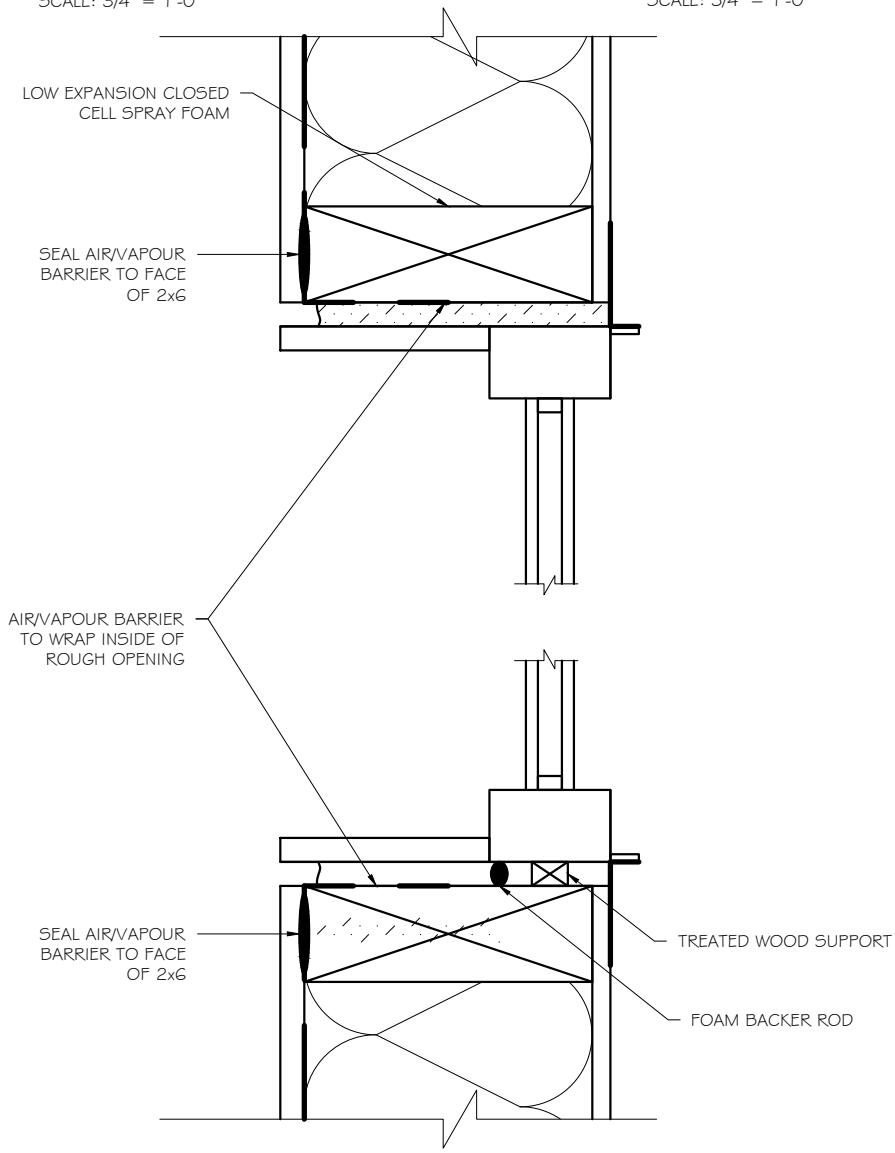
WALL SECTION - JOISTS PARALLEL

SCALE: 3/4" = 1'-0"



WALL SECTION - JOISTS PERPENDICULAR

SCALE: 3/4" = 1'-0"



WINDOW JAMB DETAIL (T/O DOOR SIMILAR)

SCALE: 3" = 1'-0"

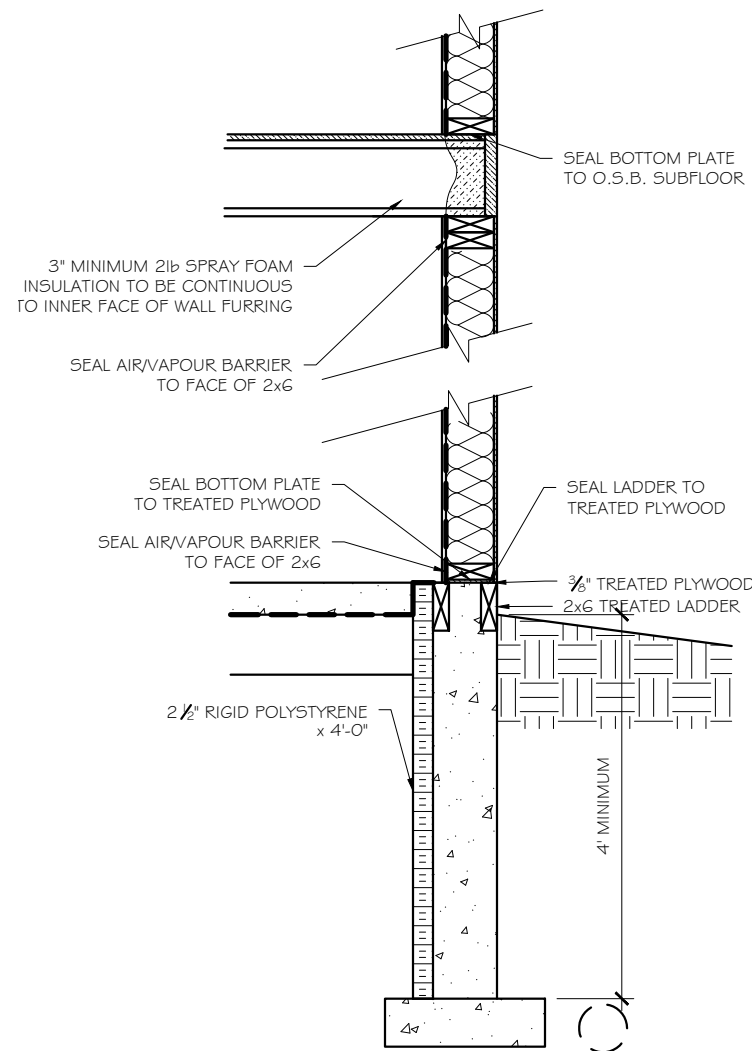
NOTE:
THE CONTRACTOR IS RESPONSIBLE FOR
CHECKING THE DRAWINGS BEFORE
CONSTRUCTION HAS BEGUN AND FOR
ADVISING THE DESIGNER OF ANY NECESSARY
REVISIONS



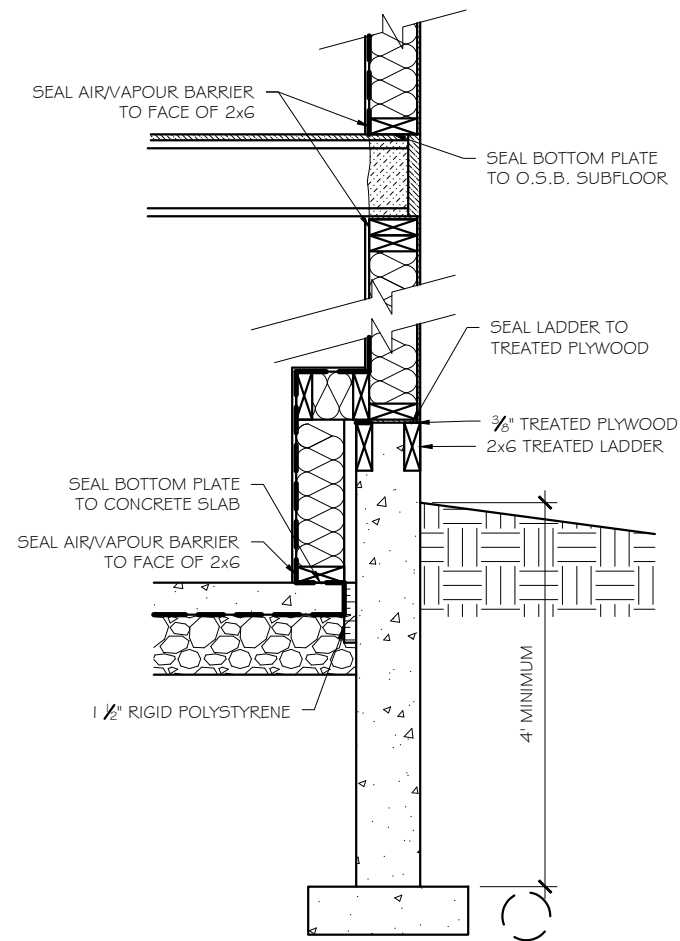
216 Boulder Creek Cres.
Langdon, Alberta
T0J 1X5
PH: 403.936.4541
cell: 403.519.5705
email: daphne@persona.ca

PROJECT KELLY KUSTOM - COWAN RESIDENCE 9.36 DETAIL PAGE 3		
DATE JUNE 26, 2020	DRAWN BY DJH	SCALE AS NOTED

DRAWING 8
REVISION No. 0



BASEMENT FLOORS ABOVE FROST LINE
WALKOUT BASEMENT
SCALE: 3/4" = 1'-0"



BASEMENT FLOORS ABOVE FROST LINE
NON-WALKOUT BASEMENT
SCALE: 3/4" = 1'-0"

NOTE:
THE CONTRACTOR IS RESPONSIBLE FOR
CHECKING THE DRAWINGS BEFORE
CONSTRUCTION HAS BEGUN AND FOR
ADVISING THE DESIGNER OF ANY NECESSARY
REVISIONS



216 Boulder Creek Cres.
Langdon, Alberta
T0J 1X5
PH: 403.936.4541
cell: 403.519.5705
email: daphne@persona.ca

PROJECT

KELLY KUSTOM - COWAN RESIDENCE
9.36 DETAIL PAGE 4

DATE

JUNE 26, 2020

DRAWN BY

DJH

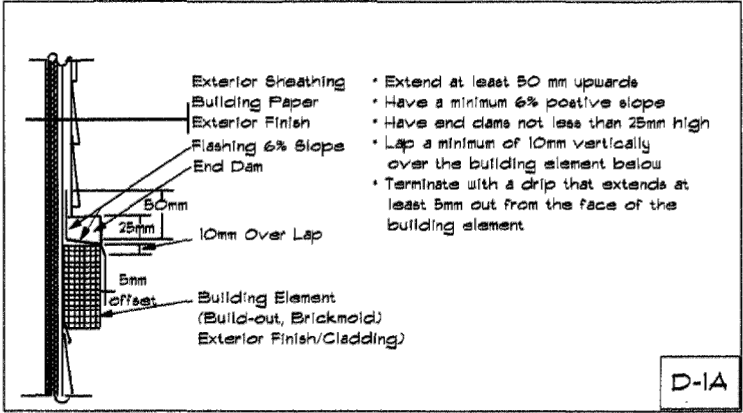
SCALE

AS NOTED

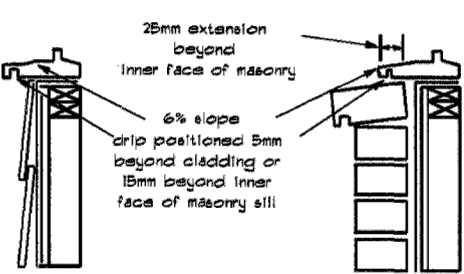
DRAWING

9
0
REVISION No.

Flashing must meet the following criteria:



Examples of self flashing sills:

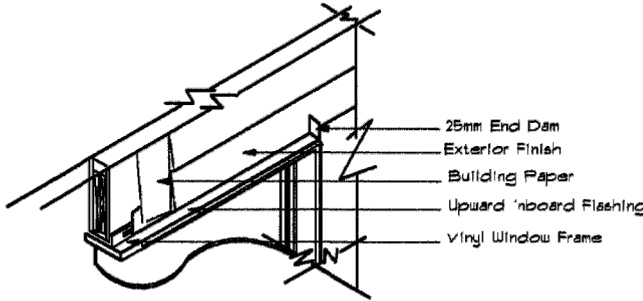


Flashings is required is required in the following locations:

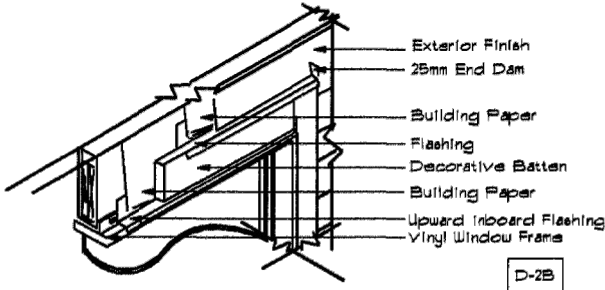
- Openings in the exterior wall for building services such as exhaust and air intake openings.
- Locations where one particular type of cladding is located above another type of cladding. An example would be vertical siding located above horizontal siding unless the upper cladding overlaps the lower cladding by at least 1 inch.
- Windows and doors.

Flashing must be installed above and below windows, doors and any other penetration through the cladding. Where there are horizontal changes in cladding it must be installed between changes in cladding. The exception to this is when an opening is no more than 1/4 the horizontal distance of the eave, below the eave.

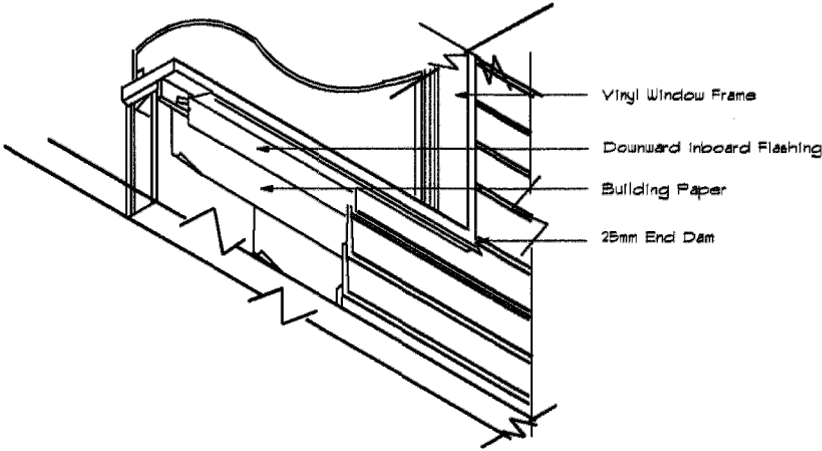
Examples of flashing installation around windows



Flashing Above Window Opening D-2A

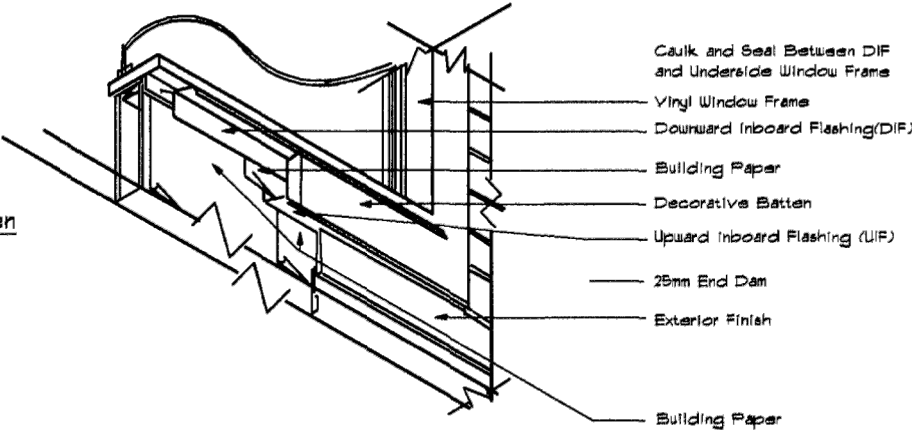


Flashing Above Window Opening With Decorative Batten D-2B



D-3A

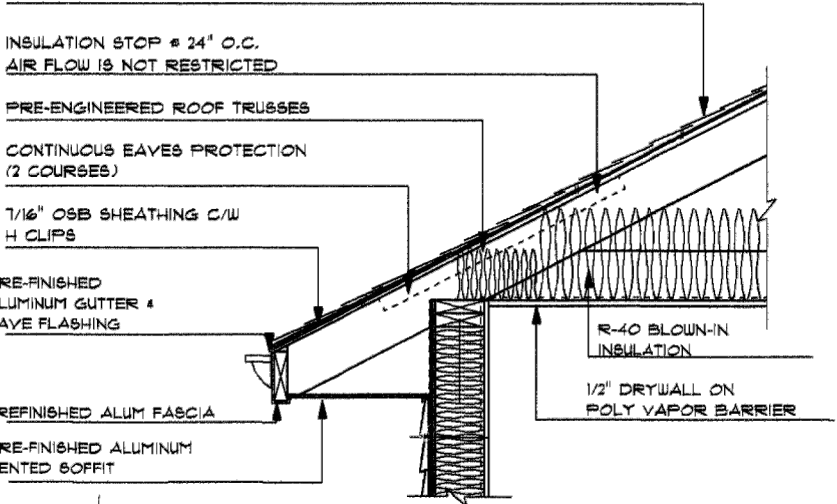
Flashing Below Window Opening



D-3B

Flashing Below Window Opening With Decorative Batten

ASPHALT SHINGLES



TYPICAL SIDING EAVE

NOTE:
THE CONTRACTOR IS RESPONSIBLE FOR
CHECKING THE DRAWINGS BEFORE
CONSTRUCTION HAS BEGUN AND FOR
ADVISING THE DESIGNER OF ANY NECESSARY
REVISIONS



216 Boulder Creek Cres.
Langdon, Alberta
T0J 1X5
PH: 403.936.4541
cell: 403.519.5703
email: daphne@pcersona.ca

PROJECT

KELLY KUSTOM - COWAN RESIDENCE
GENERAL DETAILS PAGE 1

DATE

JUNE 26, 2020

DRAWN BY

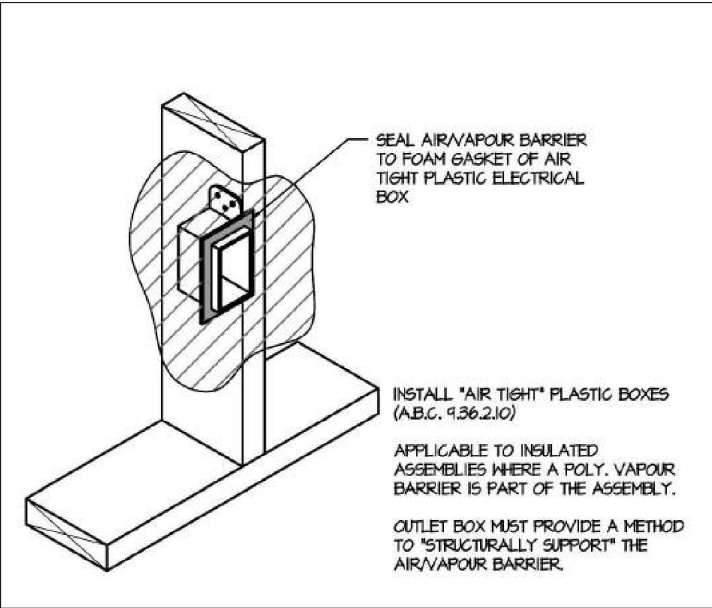
DJH

SCALE

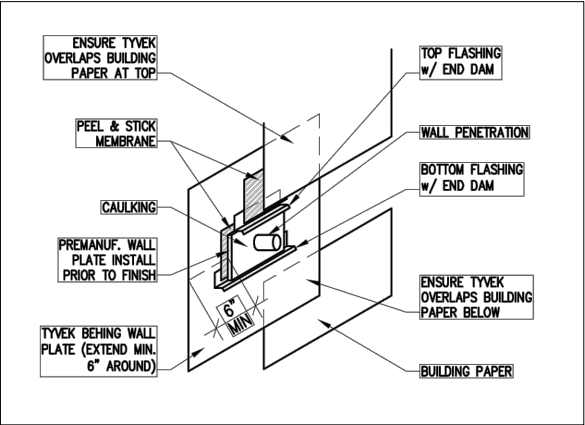
NTS

DRAWING

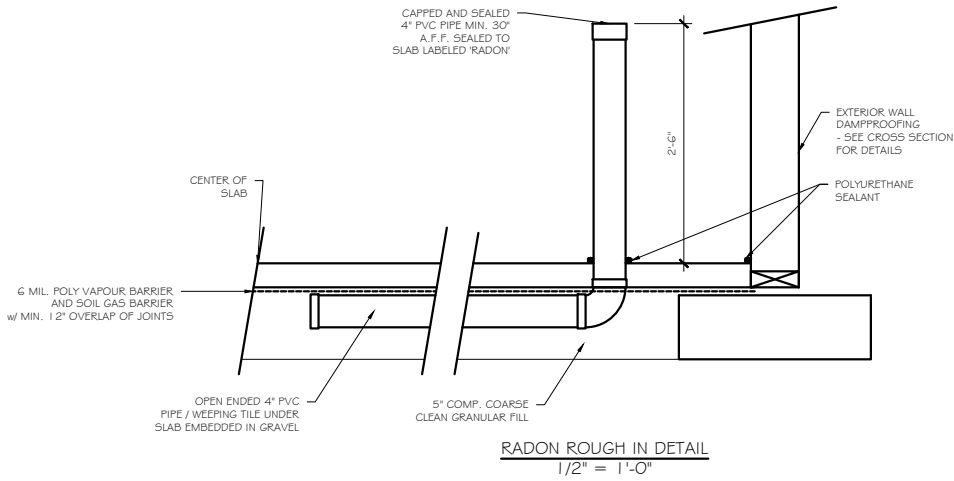
10
0
REVISION No.



OUTLET BOX DETAIL
N.T.S.



PIPING & VENT PENETRATIONS
N.T.S.



NOTE:
THE CONTRACTOR IS RESPONSIBLE FOR CHECKING THE DRAWINGS BEFORE CONSTRUCTION HAS BEGUN AND FOR ADVISING THE DESIGNER OF ANY NECESSARY REVISIONS



216 Boulder Creek Cres.
Langdon, Alberta
T0J 1X3
PH: 403.936.4541
cell: 403.519.5703
email: daphnc@persona.ca

PROJECT
KELLY KUSTOM - COWAN RESIDENCE
GENERAL DETAILS PAGE 2

DATE
JUNE 26, 2020

DRAWN BY
DJH

SCALE
NTS

DRAWING
11
REVISION No.
0

ROOM FINISH SCHEDULE			
ROOM NAME	FLOOR FINISH	CEILING FINISH	NOTES
DINING	VINYL PLANK	DRYWALL	
KITCHEN	VINYL PLANK	DRYWALL	GRANITE / QUARTZ COUNTER TOPS
DEN	VINYL PLANK	DRYWALL	
BATHROOM	TILE	DRYWALL	FEATURE WALL AS NOTED
FOYER	VINYL PLANK	DRYWALL	
GREAT ROOM	VINYL PLANK	DRYWALL	CUSTOM FIRE PLACE AND BUILT-IN WALL UNIT
POWDER	TILE	DRYWALL	
LAUNDRY	TILE	DRYWALL	
MASTER SUITE	CARPET	DRYWALL	
ENSUITE	TILE	DRYWALL	GRANITE/QUARTZ COUNTER TOPS
W.I.C.	CARPET	DRYWALL	
BEDROOM #2	CARPET	DRYWALL	
BATH	TILE	DRYWALL	GRANITE / QUARTZ COUNTER TOPS
BEDROOM #3	CARPET	DRYWALL	
FAMILY ROOM	CARPET	DRYWALL	
MECHANICAL / STORAGE	CONCRETE	NOT FINISHED	

NOTE:
THE CONTRACTOR IS RESPONSIBLE FOR
CHECKING THE DRAWINGS BEFORE
CONSTRUCTION HAS BEGUN AND FOR
ADVISING THE DESIGNER OF ANY NECESSARY
REVISIONS



216 Boulder Creek Cres.
Langdon, Alberta
T0J 1X3
PH: 403.936.4541
cell: 403.519.5703
email: daphne@persona.ca

PROJECT

KELLY KUSTOM - COWAN RESIDENCE
SCHEDULES

DATE

JUNE 26, 2020

DRAWN BY

DJH

SCALE

$\frac{1}{8}" = 1'-0"$

DRAWING

12

REVISION No.

0

NOTES:

The National Building Code of Canada has accepted the span tables published by the Canadian Wood Council. These tables allow for increased joist span in floor systems when a combination of gluing, nailing, brdging and strapping is used. If local approving authorities have not accepted the adoption of these tables, please adjust joist spacing.

The engineering of attic trusses could affect bonus room dimensions, if applicable.

CODES AND STANDARDS:

At the time of preparation, this plan was drawn in accordance with the current edition of The National Building Code of Canada. It is the responsibility of the owner/builder to insure that changes made to the code are complied with and all amendments are incorporated in the construction of this plan. All work shall conform to local building codes and by-laws which may take precedence.

Prior to proceeding with construction, the builder must verify all information, dimensions and specifications of this plan.

Written dimensions always take precedence over scale measurements.

Any variance from structural drawings and specifications or from conditions encountered at the job site shall be resolved by owner/builder and such solutions shall be their sole responsibility.

All concrete to have a minimum compressive strength of 2900 psi (20 MPa) at 28 days.

Concrete footings must be placed on undisturbed or compacted soil to an elevation below frost penetration.

Footings shown on these drawings have been designed for soil bearing capacity of 2500 psi. If a lesser bearing capacity is encountered, it is the responsibility of the owner/builder to have the footings redesigned by qualified person to suit existing conditions.

Foundation walls should not be backfilled until concrete or masonry grout has reached its specified 28 day strength and structural floor framing (including plywood subfloor) has been installed.

All foundation walls 24" and higher should have one horizontal I OM reinforcing bar 3" from the top.

Corner reinforcing to be lapped minimum 24".

All footings are to have two I OM reinforcing bars. The reinforcing bars are to be situated such that one bar is 3" clear of the side and bottom of the footing on both sides of the footing.

Grades shown on elevations are estimated. Adjust on site as required.

Retaining walls other than walls of the residence are beyond the scope of these drawings unless otherwise noted.

ABOVE GRADE MASONRY:

All above grade masonry is to conform to section 9.20 of the National Building Code.

If brick veneer is to be installed, counter flashing shall be installed up 8" behind the building felt and below the bottom course with vertical joist rased clean. Weep holes to be 24" o/c max.

CARPENTRY:

Framing lumber shall be two (2) or better Douglas Fir unless otherwise specified on plan. For other common species, refer to span tables of the current edition of the National Building Code. All beam and lintels to be engineered and provided by an approved joist/truss/beam supplier.

Joists are to be doubled under parallel partitions.

Joists shall be placed to accommodate heating and plumbing, etc.

All headers and timbers to comply with Section 9.23 of the National Building Code, current edition.

Owner/builder to obtain certificates from manufacturer of floor trusses and glulam beams.

Floor and roof joist spans of more than 7' shall be bridged at midspan or at 7' o/c maximum, unless sheated or strapped both sides with wood. Bridging shall be 2x2 diagonal type where possible.

Interior framing to be 4" clear of back and sides of firebox and 2" clear of brick chimneys. Frame exterior walls 1" clear from exterior fireplaces.

Plates are to be anchored to concrete with ½" anchor bolts, max. 6' o/c or other approved methods.

Dimensions are from the outside face of sheathing to side of partition walls.

Flush framed wood members shall be anchored with 2000 lb. joist hangers unless otherwise specified.

INSULATION/VENTILATION:

Minimum insulation requirements:
See 9.36 detail pages and additional notes

Ceiling insulation may be loose fill type or batt type. Wall and floor insulation must be batt type.

Walls and ceiling between residence and attached garage shall be insulated.

Insulation requirements may vary with heating systems and with local conditions.

All roof spaces shall be insulated.

MISCELLANEOUS:

Caulk over and around all exterior openings using non hardening caulk compound.

Flash all changes of materials on exterior openings.

Flash over all exterior openings.

All siding or stucco to be minimum of 8" above finished grade.

Provide cast iron cleanouts for all fireplace flues.

All balcony railings to be 3'-6" in height. Maximum spacing between vertical members is 4". Minimum distance between horizontal rails to be 32". Top rail to sustain outward load of 40 pounds per lineal foot.

Coat and clothes closets shall have at least one rod and shelf with minimum depth of 4" unless otherwise stated. Linen closet shall have 5 adjustable shelves where possible. Broom closets shall have one shelf.

Due to the large variety of soils and the variance in frost penetration in different geographical locations, please refer to table 9.1 2.2.2 of National Building Code and consult local authorities for accepted standards.

Main entrance door to have a door viewer window or sidelight.

Sidelights or windows within 36" of a locking door must be safety glass or wired glass.

All exterior or entrance doors required to have solid blocking at lock height on both sides of door for two stud spaces (except where sidelights occur).

Dead bolt locks with 1" throw.

Hinges secured to door with 1" screws and to frame with 3" screws into solid blocking.

Striker plates to be fastened with 3" screws into solid blocking.

Sliding doors must have pin type locking mechanism with a ¾" throw.

A door shall be provided to the space containing the furnace as per ABC 9.6.2.1.

All joints in vapour barrier to be lapped 4" and occur over framing members or sealed with caulking.

All holes through vapour barrier for wires, electrical boxes, piping, ducts, etc. shall be sealed.

Sill plates to be pressure treated or separated by dampproofing material.

Moisture resistant backing is required around bathtubs and/or showers where ceramic and plastic tile is installed.

Attic access to be weatherstripped and insulated as per ABC 9.19.2.1.(1) and ABC 9.19.2.1.(2).

All lintels in exterior and bearing walls to be engineered by joist manufacturer or to be 2x10 unless otherwise specified.

All bedroom windows to have a minimum vent size of 24"x36" for egress.

Ground snow load of 29 p.s.f. (1.4 KPa).

All bearing columns of girder trusses and support beams are to be posted to foundation.

NOTE:
THE CONTRACTOR IS RESPONSIBLE FOR CHECKING THE DRAWINGS BEFORE CONSTRUCTION HAS BEGUN AND FOR ADVISING THE DESIGNER OF ANY NECESSARY REVISIONS



216 Boulder Creek Cres.
Langdon, Alberta
T0J 1X3
PH: 403.936.4541
cell: 403.519.5703
email: daphne@persona.ca

PROJECT
KELLY KUSTOM - COWAN RESIDENCE
GENERAL NOTES PAGE 1

DATE
JUNE 26, 2020

DRAWN BY
DJH

SCALE
¾" = 1'-0"

DRAWING
13
REVISION No.
0

AIR/VAPOUR BARRIER:

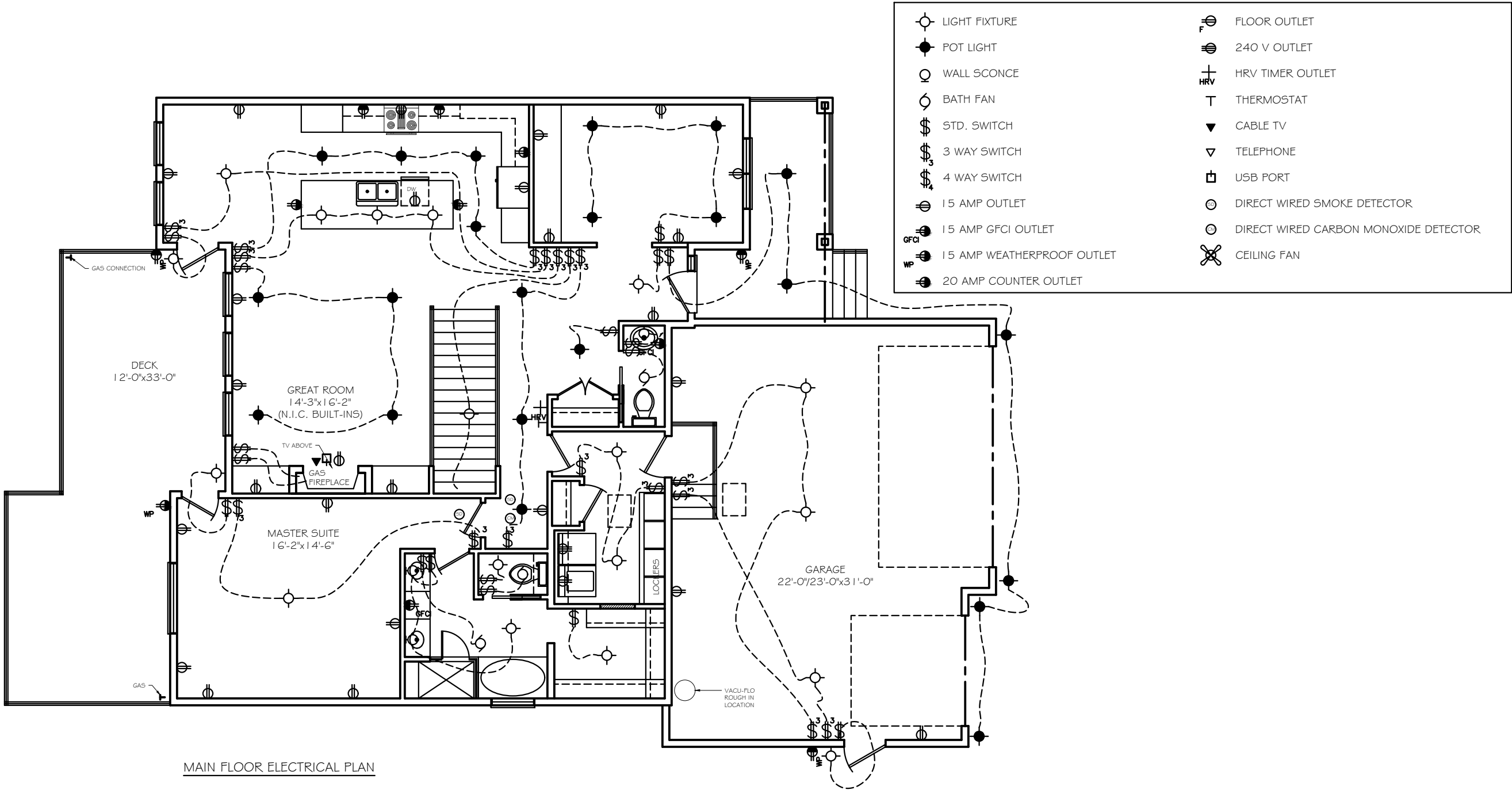
- MATERIALS INTENDED TO PROVIDE THE PRINCIPAL RESISTANCE TO AIR LEAKAGE SHALL CONFORM TO CAN/ULC-S74 I "AIR BARRIER MATERIALS - SPECIFICATIONS
- MATERIALS SHALL BE COMPATIBLE WITH ADJOINING MATERIALS AND BE FREE OF HOLES AND CRACKS.
- WHERE THE AIR BARRIER SYSTEM CONSISTS OF RIGID PANEL TYPE MATERIAL, ALL JOINTS SHALL BE SEALED.
- WHERE THE AIR BARRIER SYSTEM CONSISTS OF TIMBER LOGS, ALL JOINTS SHALL BE SEALED TO RESIST AIR FLOW THROUGH GAPS BETWEEN LOGS AND HAVE
SHIFTED DUE TO IN-SERVICE CONDITIONS SUCH AS SHRINKAGE AND SETTLING.
- WHERE THE AIR BARRIER SYSTEM CONSISTS OF FLEXIBLE SHEET MATERIAL, ALL JOINTS SHALL BE LAPPED NOT LESS THAN 50mm (2"), SELAED AND STRUCTURALLY SUPPORTED.
- SEALANT MATERIAL USED FOR THE PURPOSE OF CREATING A CONTINUOUS AIR BARRIER SYSTEM SHALL BE A NON-HARDENING TYPE OR CONFORM TO
CAN/ULC-S710.0 - THERMAL INSULATION - BEAD-APPLIED ONE COMPONENT POLYURETHANE AIR SEALANT FOAM, PART 1 : MATERIAL SPECIFICATION OR
CAN/ULC-S711.1 - THERMAL INSULAITON - BEAD-APPLIED TWO COMPONENT POLYURETHANE AIR SEALANT FOAM, PART 1 : MATERIAL SPECICATION
- PENETRATIONS BY ELECTRICAL WIRING, OUTLETS, SWITCHES OR RECESSED LIGHT FIXTURES THROUGH THE PLANE OF AIRTIGHTNESS SHALL BE CONSTRUCTED AIRTIGHT
WHERE THE COMPONENT IS DESIGNED TO PROVIDE A SEAL AGAINST AIR LEAKAGE, BY SEALING THE COMPONENT TO THE AIR BARRIER MATERIAL OR
WHERE THE COMPONENT IS NOT DESIGNED TO PROVIDE A SEAL AGAINST AIR LEAKAGE, BY COVERING THE COMPONENT WITH AN AIR BARRIER MATERIAL AND SEALING
IT TO THE ADJACENT AIR BARRIER MATERIAL.
- THE JOINTS BETWEEN THE FOUNDATION WALL AND THE SILL PLATE, BETWEEN THE SILL PLATE AND RIM JOIST, BETWEEN THE RIM JOIST AND THE SUBFLOOR MATERIAL,
AND BETWEEN THE SUBFLOOR MATERIAL AND THE BOTTOM PLATE OF THE WALL ABOVE SHALL BE CONSTRUCTED AIRTIGHT BY SEALING ALL JOINTS AND JUNCTIONS
BETWEEN THE STRUCTURAL COMPONENTS, OR COVERING THE STRUCTURAL COMPONENTS WITH AN AIR BARRIER MATERIAL AND SEALING IT TO THE ADJACENT AIR
BARRIER MATERIAL.
- THE INTERFACES BETWEEN WINDOWS, DOORS AND SKYLIGHTS AND WALL/CEILING ASSEMBLIES SHALL BE CONSTRUCTED AIRTIGHT BY SEALING ALL JOINTS AND
JUNCTIONS BETWEEN THE AIR BARRIER MATERIAL IN THE WALL AND THE WINDOW, DOOR OR SKYLIGHT FRAME.
- CANTILEVERED FLOORS AND FLOORS OVER UNHEATED SPACES OR OVER THE EXTERIOR SHALL BE CONSTRUCTED AIR TIGHT BY ONE OF THE FOLLOWING METHODS
OR A COMBINATION THEREOF a) SEALING ALL JOINTS AND JUNCTIONS BETWEEN THE STRUCTURAL COMPONENTS OR b) COVERING THE STRUCTURAL COMPONENTS
WITH AN AIR BARRIER MATERIAL AND SEALING IT TO THE ADJACENT AIR BARRIER MATERIAL.
- INTERIOR WALLS THAT MEET EXTERIOR WALLS OR CEILINGS WHOSE PLANE OF AIRTIGHTNESS IS ON THE INTERIOR OF THE BUILDING ENVELOPE AND KNEE WALLS
THAT SEPARATE CONDITIONED SPACE FROM UNCONDITIONED SPACE SHALL BE CONSTRUCTED AIR TIGHT BY SEALING ALL JUNCTIONS BETWEEN THE STRUCTURAL
COMPONENTS, COVERING THE STRUCTURAL COMPONENTS WITH AN AIR BARRIER AND SEALING IT TO THE ADJACENT AIR BARRIER MATERIALS OR MAINTAINING
THE CONTINUITY OF THE AIR BARRIER SYSTEM ABOVE OR THROUGH THE INTERIOR WALL OR BELOW OR THROUGH THE KNEE WALL, AS APPLICABLE.
- STEEL LINED CHIMNEYS THAT PENETRATE THE BUILDING ENVELOPE SHALL BE CONSTRUCTED AIR TIGHT BY BLOCKING THE VOID BETWEEN REQUIRED CLEARANCES
FOR METAL CHIMNEYS AND SURROUNDING CONSTRUCTION WITH SHEET METAL AND SEALANT CAPABLE OF WITHSTANDING HIGH TEMPERATURES.
- MASONRY OR CONCRETE CHIMNEYS THAT PENETRATE THE BUILDING ENVELOPE SHALL BE CONSTRUCTED AIR TIGHT BY MECHANICALLY FASTENING A METAL FLANGE
OR STEEL STUD THAT EXTENDS NOT LESS THAN 75mm (3") OUT FROM THE CHIMNEY AND SEALING THE AIR BARRIER MATERIAL TO IT WITH A SEALANT CAPABLE OF
WITHSTANDING HIGH TEMPERATURES.
- DUCTS THAT PENETRATE THE BUILDING ENVELOPE SHALL BE CONSTRUCTED AIR TIGHT BY SEALING THE PENETRATION THROUGH THE BUILDING ENVELOPE.
- PLUMBING VENT STACK PIPES THAT PENETRATE THE BUILDING ENVELOPE SHALL BE CONSTRUCTED AIR TIGHT BY SEALING THE AIR BARRIER MATERIAL TO THE
VENT STACK PIPE WITH A COMPATIBLE SEALANT OR SHEATHING TAPE OR INSTALLING A RUBBER GASKET OR PREFABRICATED ROOF FLASHING AT THE PENETRATION
OF THE PLANE OF AIRTIGHTNESS THEN SEALING IT AND MECHANICALLY FASTENING IT TO THE TOP PLATE.
- WHERE A PARTY WALL MEETS THE PLANE OF AIRTIGHTNESS, THAT JUNCTION SHALL BE CONSTRUCTED AIRTIGHT BY SEALING ANY VOIDS WITHIN THE PARTY WALL
AT THE PERIMETER TO THE ADJACENT AIR BARRIER MATERIAL AND BY SEALING ALL JUNCTIONS BETWEEN THE STRUCTURAL COMPONENTS, OR COVERING THE
STRUCTURAL COMPONENTS WITH AN AIR BARRIER MATERIAL AND SEALING IT TO THE ADJACENT AIR BARRIER MATERIAL.
- WHERE THE CONCRETE IN A FLAT INSULATING CONCRETE FORM WALL ACTS AS THE AIR BARRIER, THE CONTINUITY OF THE PLANE OF AIRTIGHTNESS SHALL BE
MAINTAINED BETWEEN THE CONCRETE AND ADJACENT AIR BARRIER MATERIALS.

NOTE:
THE CONTRACTOR IS RESPONSIBLE FOR
CHECKING THE DRAWINGS BEFORE
CONSTRUCTION HAS BEGUN AND FOR
ADVISING THE DESIGNER OF ANY NECESSARY
REVISIONS



216 Boulder Creek Cres.
Langdon, Alberta
T0J 1X3
PH: 403.936.4541
cell: 403.519.5703
email: daphne@persona.ca

PROJECT			KELLY KUSTOM - COWAN RESIDENCE	DRAWING
			GENERAL NOTES PAGE 2	
DATE	DRAWN BY	SCALE	REVISION No.	14 0
JUNE 26, 2020	DJH	$\frac{1}{8}'' = 1'-0''$		



NOTE:
THE CONTRACTOR IS RESPONSIBLE FOR
CHECKING THE DRAWINGS BEFORE
CONSTRUCTION HAS BEGUN AND FOR
ADVISING THE DESIGNER OF ANY NECESSARY
REVISIONS



216 Boulder Creek Cres.
Langdon, Alberta
T0J 1X5
PH: 403.936.4541
cell: 403.519.5703
email: daphne@persona.ca

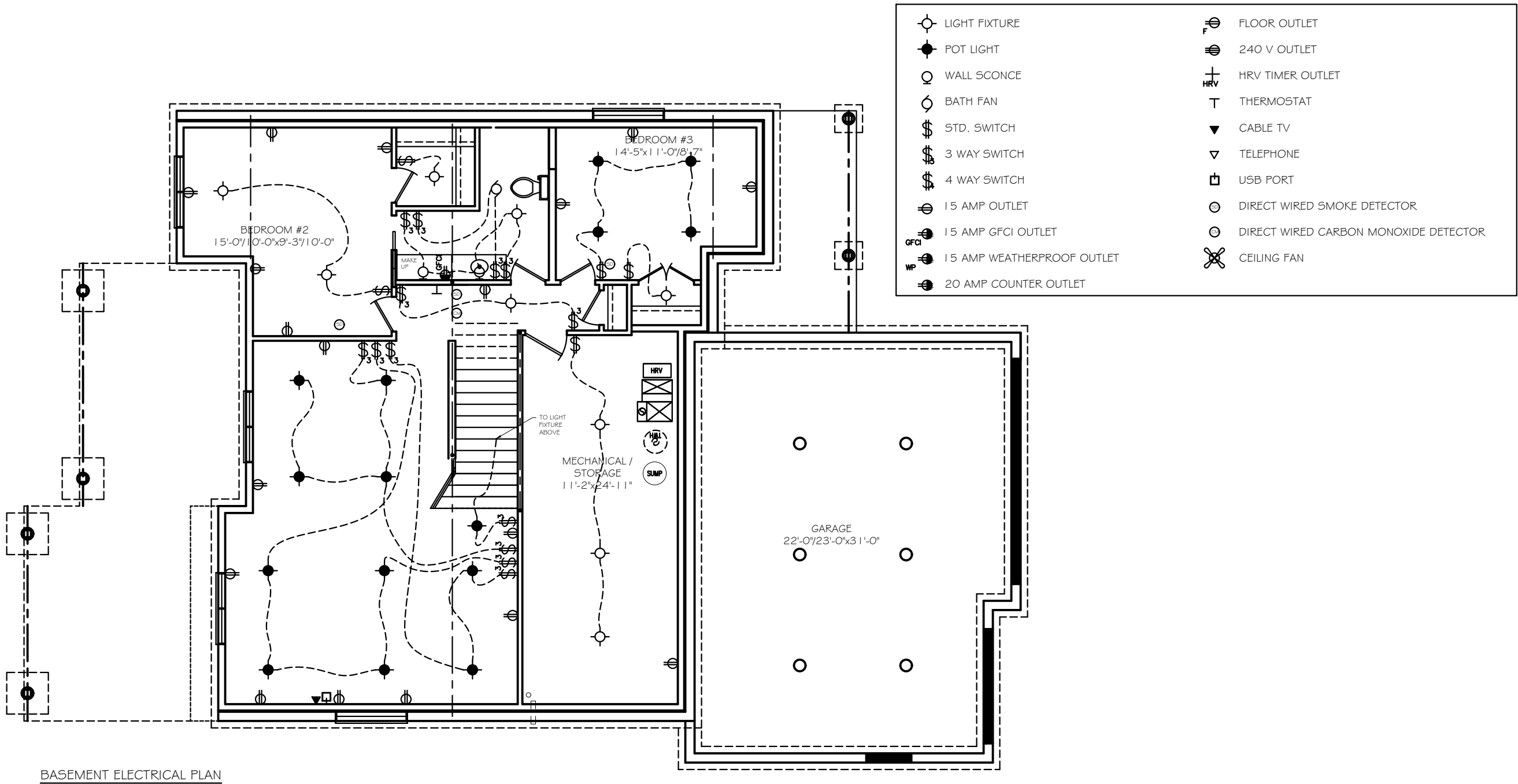
PROJECT
KELLY KUSTOM - COWAN RESIDENCE
MAIN FLOOR ELECTRICAL PLAN

DATE
JULY 31, 2020

DRAWN BY
DJH

SCALE
1/8" = 1'-0"

DRAWING
E1
REVISION No.
3



BASEMENT ELECTRICAL PLAN

NOTE:
THE CONTRACTOR IS RESPONSIBLE FOR
CHECKING THE DRAWINGS BEFORE
CONSTRUCTION HAS BEGUN AND FOR
ADVISING THE DESIGNER OF ANY NECESSARY
REVISIONS



216 Boulder Creek Cres.
Langdon, Alberta
T0J 1X3
Tel: 403.936.4541
cell: 403.519.5703
email: daphne@persona.ca

PROJECT KELLY KUSTOM - COWAN RESIDENCE BASEMENT ELECTRICAL PLAN		
DATE AUGUST 19, 2020	DRAWN BY DJH	SCALE 1/8" = 1'-0"

DRAWING E2
REVISION No. 2