

PLANNING AND DEVELOPMENT SERVICES

TO: Municipal Planning Commission

DATE: November 26, 2020

DIVISION: 8

APPLICATION: PRDP20203290

SUBJECT: Development Item: Recreation (Outdoor) (existing)

USE: Discretionary use, with no Variances

APPLICATION: Recreation (Outdoor) (existing golf course), revisions to the proposed Clubhouse exteriors and minor single-lot regrading [revisions to PRDP20200615].

GENERAL LOCATION: Located at the northeast junction of Hwy. 1A and Bearspaw Rd.

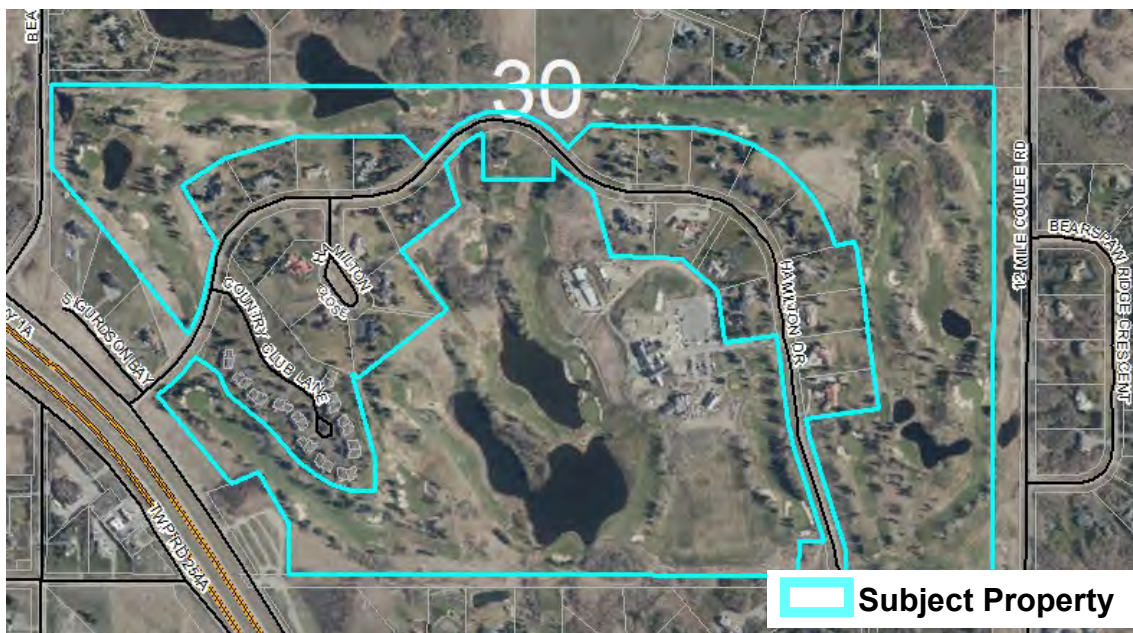
LAND USE DESIGNATION: Business, Recreation under Land Use Bylaw C-8000-2020.

ADMINISTRATION RECOMMENDATION: Administration recommends Approval in accordance with Option #1.

OPTIONS:

- Option #1: THAT Development Permit Application PRDP20203290 be approved with the conditions noted in the Development Permit Report, attached.
- Option #2: THAT Development Permit Application PRDP20203290 be refused as per the reasons noted.

AIR PHOTO & DEVELOPMENT CONTEXT:



Administration Resources

Jacqueline Targett - Planning and Development Services

DEVELOPMENT PERMIT REPORT

Application Date: September 25, 2020	File: 05630003
Application: PRDP20203290	Applicant: Davignon Martin (Carly Moore), Bears paw Equity Venture Ltd. Owner: Bears paw Equity Ventures Ltd
Legal Description: Block A, Plan 8111028, SE-30-25-02-W05M	General Location: Located at the northeast junction of Hwy. 1A and Bears paw Rd.
Land Use Designation: Business, Recreation (B-REC) under Land Use Bylaw C-8000-2020.	Gross Area: ±77.78 hectares (±192.20 acres)
File Manager: Jacqueline Targett	Division: 8

PROPOSAL:

The proposal is for Recreation (Outdoor) (existing golf course), revisions to the proposed Clubhouse exteriors and minor single-lot regrading [revisions to PRDP20200615]. *Note, this application was assessed in accordance with Land Use Bylaw C-8000-2020.*

The parcel is developed with the Bears paw Golf Course and a new Country Club building is under construction/renovation since 2015, with the issuance of PRDP20155089. The property ownership transitioned in November, 2019. The development is proceeding in general accordance with the previous approvals, however the new Owner is requesting minor amendments, to complete the development.

Previous Approval Summary Details:

- construction of a new golf clubhouse, with a building area of 1,415.00 sq. m (15,230.00 sq. ft.), with a building height of 12.51 m (41.04 ft.);
- construction of a new golf training centre building, with a building area of 155.00 sq. m (1,677.00 sq. ft.), with a building height of 9.16 m (30.05 ft.);
- A new entry gate to the site's eastern boundary with Hamilton Drive, including new fascia sign;
- Expansion of the parking lot to provide a total of 276 parking spaces; and
- Golf course landscaping + grading works to provide a revised putting green, driving range and training holes.
- Demolition of existing clubhouse (after construction of new clubhouse), demolition of existing pro shop (after construction of new clubhouse), and demolition of existing cart storage (located where proposed clubhouse is to be constructed).
- Minor site re-grading.

With this application, there are no revision requests to any building areas, setbacks, locations, course renovations, or signage. The requested revisions include:

Grading Changes:

- Grading along the rear of the building (clubhouse) revised to comply with building code standards for single-storey buildings

- Grading surrounding the cart access improved to limit views of service area
- Stairs previously shown directly beside half-way house revised to a rundle stone landscape stair follow desire line to training center

Site Circulation:

- The cart paths have been adjusted to improve grading and flow given the projected operations
- Patio at rear of building redesigned to be at one level (rather than a step down)

Exterior Building Modifications:

- Added Windows into proshop, along the main floor on elevations
- Enlarged Windows facing golf course, to take advantage of view
- Removed Windows into attic space, as they would provide view of mechanical equipment and ductwork
- Wood paneling replaced with stone veneer at the main floor surrounding golf cart staging area for improved material resilience

Property History:

Planning Applications:

- **2010-RV-106** (Redesignation); *To redesignate a portion of Block A Plan 8111028 within SE-30-25-2-W5M from Residential One District (R-1) to Business-Leisure Recreation District (B-LR) and a portion of Lot 5 Block 8 Plan 0411662 within NE-30-25-2-W5M from Business-Leisure Recreation District to Residential One District to reverse the land swap boundary adjustment approved under 2008-RV-314; Issued September 21, 2010*
- **2008-RV-314** (Redesignation); *Redesignation to Business – Leisure and Recreation District; Issued May 5, 2009*

Development Permits:

- **PRDP20200615** (*Outdoor Participant Recreation Services (existing golf course), construction of a golf club house, performance centre, signage, and associated uses [continuation of PRDP20155089]; Issued June 10, 2020*)
- **PRDP20155089** (*existing Outdoor Participant Recreation Services (golf course), construction of a golf club house, performance centre, signage and associated uses); Issued June 2, 2016*)
- **2012-DP-15095** (*existing golf course, construction of an addition to existing maintenance facility); Issued November 16, 2012*)
- **2008-DP-12994** (*outdoor participant recreation services, construction of a weir); Issued July 31, 2008*)

Building Permits:

- **PRBD20200622** (Bears paw Golf Clubhouse – Renovation); Waiting for Inspection
- **PRBD20162131** (Demolition of Golf Cart Storage - Bears paw Golf Clubhouse); Issued Final Occupancy June 17, 2016
- **PRBD20161951** (Bears paw Golf Training Center); PSR – Not in Compliance (No Entry)
- **PRBD20161949** (Bears paw Golf Clubhouse); PSR – Not in Compliance (No Entry)

- **PRBD20160089** (Fire alarm upgrade for Bearspaw Gold Course); Issued Final Occupancy March 2, 2016
- **2012-BP-25395** (*Addition & Renovation to warehouse/office space*); Issued Final Occupancy May 6, 2013
- Various other approvals 2000 and prior

Relevant Land Use Bylaw Sections:

Business, Recreation (B-REC)

- *378 Discretionary Uses: Recreation (Outdoor)*

Drawing Submissions:

Updated Submissions:

- *Bearspaw application drawings*, as prepared by Davignon Martin, Project No.2020-05, dated May 22, 2020 A401, A402
- *Site Grading Plan*, as prepared by Veritas Development Solutions, Project no. 136-01; dated September 22, 2020

Previous Drawings Submitted:

- *Bearspaw application drawings*, as prepared by Davignon Martin, Project No.14054, dated February 05, 2015 L1.01, L1.02, L1.03, A101, A111,
- *Bearspaw application drawings*, as prepared by Mckinley Burkart, Project No.14054, dated December 22, 2015 + *Landscaping Drawings* L1.01 – L1.06, as prepared by Mckinley Burkart, Project No.14054, dated December 30, 2015
- *Site Plan*, as prepared by Mckinley Burkart, Dwg. A101, dated December 30, 2015 + *Entry Gate + Wall Elevations*, as prepared by Mckinley Burkart, Dwg. A404, dated November 12, 2015
- *Interim Grading As Built Plan*, as prepared by Mckinley Burkart, Project No. 136-01, dated January 22, 2019;
- *Site Grading Plan W/ Original Ground Contours* as prepared by Mckinley Burkart, Project No. 136-01, dated May 13, 2020;
- *Development Site Servicing Strategy*, as prepared by Vertias, File: 136-01, dated February 2, 2016;
- *Traffic & Parking Generation*, as prepared by bunt & associates, Project No. 1372-09, dated December 7, 2015;
- *Geotechnical Evaluation*, as prepared by McIntosh Lalani Engineering Ltd, dated September, 2015.
- *Stormwater Evaluation Memo*, as prepared by ISL Engineering and Land Services Ltd, dated May, 2016.
- *Private Sewage Treatment System Assessment and Groundwater Monitoring report*, as prepared by Groundwater Information Technologies Ltd, dated March 2016.

STATUTORY PLANS:

The subject property falls under the Bearspaw Area Structure Plan (ASP) and the City of Calgary Intermunicipal Development Plan (IDP).

Under the ASP, the subject parcel is designated for country residential and rural commercial development within the future land use scenario. However, the site also holds the Business – Leisure and Recreation (B-LR) Land Use Designation and is an established Country Club.

Under the IDP, the City of Calgary was circulated for the amendment application. No updated comments were received. Previous comments included no concerns.

The application was also assessed in accordance with the Land Use Bylaw.

INSPECTOR'S COMMENTS:

Previous Inspection Comments

Inspection Date: April 1, 2020

- Attended property and no one was on site.
- Old clubhouse and retail store appeared to be located and temporarily used.
- Large new clubhouse is being constructed on site to the south east of the main parking lot. Exterior is almost finished, lacking the final touches and exterior siding.
- Landscaping is not complete, could not access rear of new development due to slope preventing good pictures.
- There is a storage facility to the NW of the main structure.

CIRCULATIONS:

Alberta Transportation:

- No updated comments received

City of Calgary:

- No updated comments received

RVC – Development Compliance:

- No updated comments received

RVC – Building Services (October 22, 2020):

- There are no comments from Building Services as the revised BP package for the alterations mentioned in your DP circulation were received.

Planning and Development Services – Engineering (November 12, 2020):

General

- Engineering provided comments for the original DP application, PRDP20203290 on April 27, 2020. The current application is for the revisions made to the original site plan including revisions to grading, site circulation and existing building.

Geotechnical:

- As per the cover letter, grading along rear of building will be revised to comply with building code standards for single story building and grading surrounding cart access will be improved to limit views of service area.
- As a permanent condition, the applicant will be required to provide compaction testing results, prepared and provided by a qualified professional, for any areas of the site filled greater than 1.2m in depth.

Transportation:

- Access to subject land is provided off Hamilton Drive.
- Transportation Offsite Levy has been collected on a subject land as a part of the original DP application.

Sanitary/Waste Water:

- The proposed development will be serviced by packaged sewage treatment system and septic fields.
- Engineering has no requirements at this time

Water Supply And Waterworks:

- The proposed development will be serviced by Bearspaw Ridge Water Co-op Ltd.
- Engineering has no requirements at this time.

Storm Water Management:

- Applicant provided a revised a site grading plan as a part of this application. As per the cover letter, the grade on the rear side of the Bearspaw Golf Club and surrounding cart access will be revised to satisfy the code requirement and limit views of the service area. The revised grade plan doesn't significantly alter the drainage pattern on-site and should not pose risk to the overall stormwater management of the site.
- As a permanent condition, the site activities shall be in accordance with the previously approved stormwater management plan for the development.

Environmental:

- Based on County's GIS review, bow river tributary and wetlands are present on site. Should the applicant propose development that has a direct impact on any wetlands, the applicant will be responsible for obtaining all required AEP approvals.
- As an advisory, the applicant is responsible for ensuring that proper dust mitigations measures and ESC controls are adhered to on-site.

RVC – Utility Services:

- No updated comments received

OPTIONS:

Option #1: (this would allow the proposed development)

APPROVAL, subject to the following conditions:

Description:

1. That the proposed amendment application for the existing Recreation (Outdoor) (Bearspaw Golf Course and Country Club) may take place on the subject site in accordance with the amended application, drawings and includes:
 - i. Amended Clubhouse Elevation Drawings;
 - ii. Regrading;

Prior to Site Occupancy:

2. That prior to occupancy, the Applicant/Owner shall submit as-built drawings to the Development Authority for its approval. The drawings shall be certified by a professional engineer licensed to practice in the Province of Alberta and shall include verification of as-built pond volumes, liner verification, inverts and any other information that is relevant to the Storm Water Infrastructure.

Permanent:

3. That all conditions of Development Permit, PRDP20155089 and PRDP20200615 shall remain in effect unless conditioned within this permit approval.
4. That any plan, technical submission, agreement, or other matter submitted and approved as part of the Development Permit application, submitted in response to a Prior to Issuance or Occupancy condition, or approved with Development Permit #PRDP20155089 shall be implemented and adhered to in perpetuity.

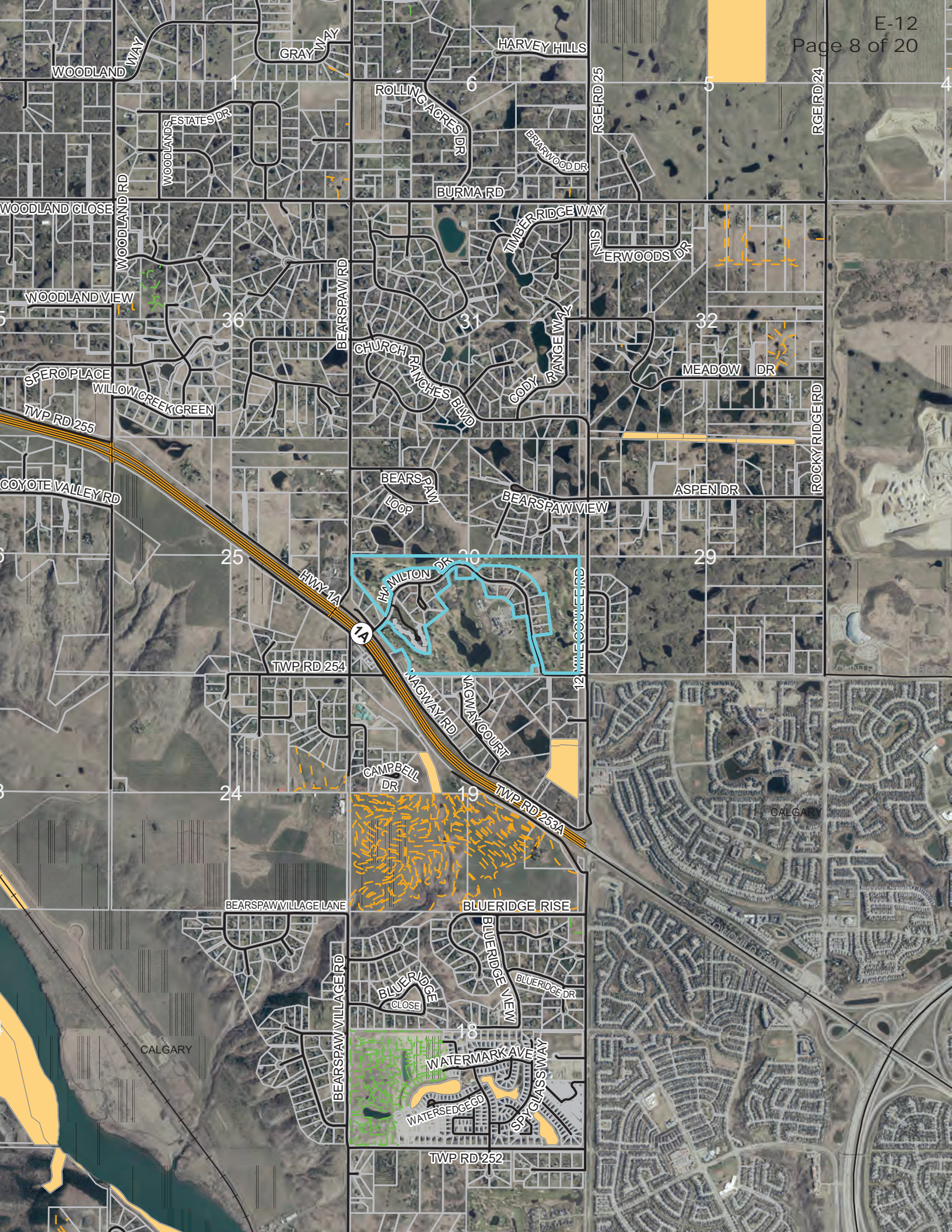
Advisory:

5. That a revised Building Permit and subtrade permits shall be submitted and obtained through Building Services, for the proposed Clubhouse renovations, prior to any new construction taking place.
6. That any other government permits, approvals, or compliances are the sole responsibility of the Applicant/Owner.
7. That if the development authorized by this Development Permit is not commenced with reasonable diligence within twelve (12) months from the date of issue, and completed within thirty-six (36) months of the issue, the permit is deemed to be null and void, unless an extension to this permit shall first have been granted by the Development Officer.

Option #2: (this would not allow the proposed development)

REFUSAL, for the following reasons:

1. That in the opinion of the Municipal Planning Commission, the development unduly interferes with the amenities of the neighbourhood and materially interferes with and affects the use, enjoyment, and value of neighbouring parcels of land.





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DEVELOPMENT PERMIT APPLICATION

FOR OFFICE USE ONLY Page 10 of 20

APPLICATION NO.

ROLL NO.

RENEWAL OF

FEES PAID

DATE OF RECEIPT

APPLICANT/OWNER

Applicant Name: Carly Moore

Email:

Business/Organization Name (if applicable): Davignon Martin Architecture and Interior Design

Landowner Name(s) per title (if not the Applicant):

Business/Organization Name (if applicable): BEARSPAW EQUITY VENTURE

LEGAL LAND DESCRIPTION - Subject site

All/part of: ¼ Section: Township: Range: West of: Meridian Division:

All parts of Lot(s)/Unit(s): Block: Plan: Parcel Size (ac/ha):

Municipal Address:

Land Use District:

APPLICATION FOR - List use and scope of work

Variance Rationale included: ☐ YES ☐ NO ☐ N/A

DP Checklist Included: ☒ YES ☐ NO

SITE INFORMATION

- a. Oil or gas wells present on or within 100 metres of the subject property(s) ☐ YES ☒ NO
- b. Parcel within 1.5 kilometres of a sour gas facility (well, pipeline or plant) ☐ YES ☒ NO
- c. Abandoned oil or gas well or pipeline present on the property ☐ YES ☒ NO
(Well Map Viewer: <https://extmapviewer.aer.ca/AERAbandonedWells/Index.html>)
- d. Subject site has direct access to a developed Municipal Road (accessible public roadway) ☒ YES ☐ NO

AUTHORIZATION

I, _____ (Full name in Block Capitals), hereby certify (initial below):

_____ That I am the registered owner **OR** _____ That I am authorized to act on the owner's behalf.

_____ That the information given on this form and related documents, is full and complete and is, to the best of my knowledge, a true statement of the facts relating to this application.

_____ That I provide consent to the public release and disclosure of all information, including supporting documentation, submitted/contained within this application as part of the review process. I acknowledge that the information is collected in accordance with s.33(c) of the *Freedom of Information and Protection of Privacy Act*.

_____ **Right of Entry:** I authorize/acknowledge that Rocky View County may enter the above parcel(s) of land for purposes of investigation and enforcement related to this application in accordance with Section 542 of the Municipal Government Act.

Applicant Signature

Date 2020/09/25

Landowner Signature REFER TO LOA ATTACHED

Date



DATE /// 2020.09.25

TO /// Rocky View County

262075 Rocky View Point | Rocky
View County | AB | T4A 0X2
Phone: 403-520-8178

ATTN /// Jacqueline Targett

PROJECT /// 2020-05 Bearspaw Golf Course

FILE REF /// 2.2.8.4

FILESHARE /// 1 (including cover)

SUBJECT /// Cover Letter – REVISED DP SUBMISSION

Jacqueline,

Construction on Bearspaw Country Club is now under way, over last few months, the new ownership group and Davignon Martin Architecture & Interior Design (DMA) have had the opportunity to understand the original design intent, and minor changes that would be required to align the design with the new operations for the Course and Clubhouse.

Municipal Address:
61 Hamilton Drive
Calgary, Alberta, T3R 1A2

Legal Address:
BLOCK A
PLAN 811 1028
Total Building Footprint:
1469.19 m²
Classification:
3.1.2.1 GROUP A DIV 2 ASSEMBLY OCCUPANCY
Zoning:
BUSINESS - LEISURE & RECREATION

This Development Permit was issued June 10, 2020 under the number PRDP20200615.

The following files can be found at the dropbox link below.

1. Amended drawings:
 - a. ARCH
 - b. CIVIL
 - c. LANDSCAPE
2. Application form
3. Checklist
4. Credit card form
5. Letter of Authorization



A list summary of all revisions made to the original site plan submitted March 11, 2020 and approved June 10, 2020 can be found below. These changes are detailed on the drawing set 'Development Submission R1' dated September 25, 2020. A bold scope boundary on A101 defines the extent of the DP revisions.

GRADING:

- Grading along rear of building revised to comply with building code standards for single storey building.
- Grading surrounding cart access improved to limit views of service area.
- Stair previously shown directly beside half-way house **revised to a rundle stone**



landscape stair follow desire line to training center.

SITE CIRCULATION:

- The **cart paths** have been **adjusted to improve grading** and flow given the projected operations.
- **Patio at rear of building redesigned to be at one level**, rather than stepping down.

EXTERIOR BUILDING:

- **Windows into proshop added** along the main floor on elevations 01/A401 and 01/A402.
- **Windows facing golf course enlarged** to take advantage of view, refer to 02/a401.
- **Windows into attic** space would provide view of mechanical equipment and ductwork - these have been **deleted**, refer to 02/A401 and 01/A401.
- **Wood paneling replaced with stone veneer** at main floor surrounding golf cart staging area for improved material resilience.

The following documents have been provided along with this letter of Intent:

1. Cover Letter
2. 'Development Submission R1' dated September 25, 2020

If you have any further questions or require additional information for this BP re-submission, please feel free to contact me.

Thank you,

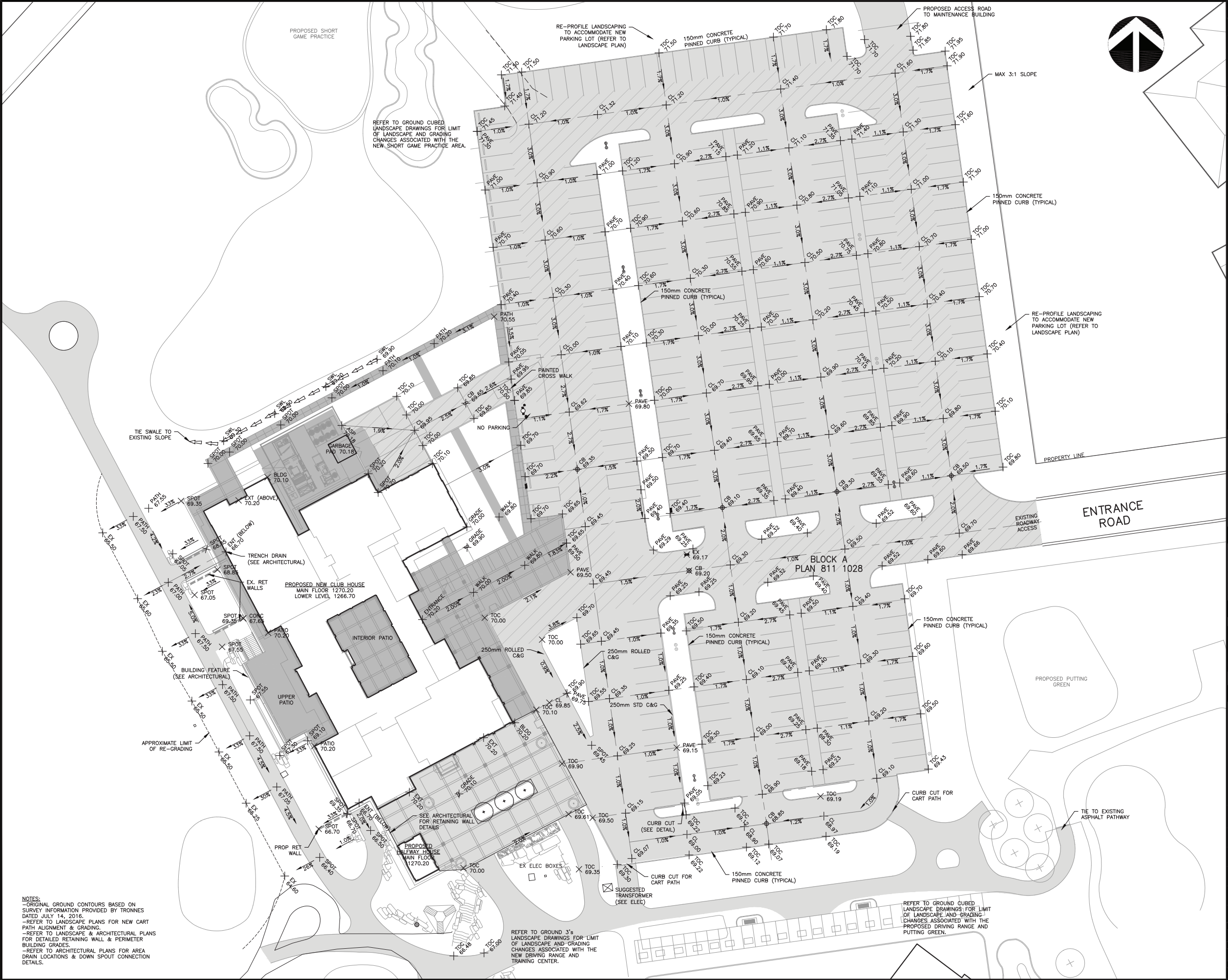
A handwritten signature in cursive script, appearing to read 'Carly Moore'.

authorized by ///

DAVIGNON MARTIN ARCHITECTURE

per ///

Carly Moore, project architect



NOTES:
-ORIGINAL GROUND CONTOURS BASED ON SURVEY INFORMATION PROVIDED BY TRONNES DATED JULY 14, 2016.
-REFER TO LANDSCAPE PLANS FOR NEW CART PATH ALIGNMENT & GRADING.
-REFER TO LANDSCAPE & ARCHITECTURAL PLANS FOR DETAILED RETAINING WALL & PERIMETER BUILDING GRADES.
-REFER TO ARCHITECTURAL PLANS FOR AREA DRAIN LOCATIONS & DOWN SPOUT CONNECTION DETAILS.

V:\136 - BEARSPAW GOLF & COUNTRY CLUB\DWG\136-01 BASE.dwg Sep 23, 2020 - 10:27am



LEGEND

- GRADING FEATURES**
- PROPOSED CONCRETE SWALE
 - PROPOSED CATCH BASIN
 - PROPOSED MANHOLE
 - PROPOSED CB/MANHOLE
 - PROPOSED LIGHT DUTY PAVING
 - PROPOSED HEAVY DUTY PAVING
 - PROPOSED CONCRETE
 - PROPOSED RETAINING WALL
 - PROPOSED GRASS SWALE
 - PROPOSED CHAINLINK FENCE
 - PROPOSED POST & CABLE FENCE
 - PROPOSED SCREEN FENCE
 - PROPOSED FINISHED GRADE
 - EXISTING PL GRADE

REVISIONS

NO.	day yy/mm	DESCRIPTION	BY	APP'D
1	21 18/08	UPDATED GRADES ALONG THE ENTRY ROAD	CN	CN
2	12 19/10	PATHWAY REVISED WHEEL CHAIR RAMP ADDED	MC	RB
3	16 20/04	WEST ELEVATIONS REVISED AS PER BP REQUIREMENTS	CN	CN
4	22 20/09	SITE PLAN AND LANDSCAPE CHANGES FOR DP	TC	RB
5				

SUBMISSIONS

NO.	DESCRIPTION	DATE (yy/mm/dd)
1	FOR DP	16/02/01
2	FOR APPROVAL	16/03/31
3	FOR ARCHIVE	

CLIENT

BEARSPAW COUNTRY CLUB
1331 16 avenue SW
calgary alberta canada
T3C 0Z7
403 / 292 6082
davignomartin.ca

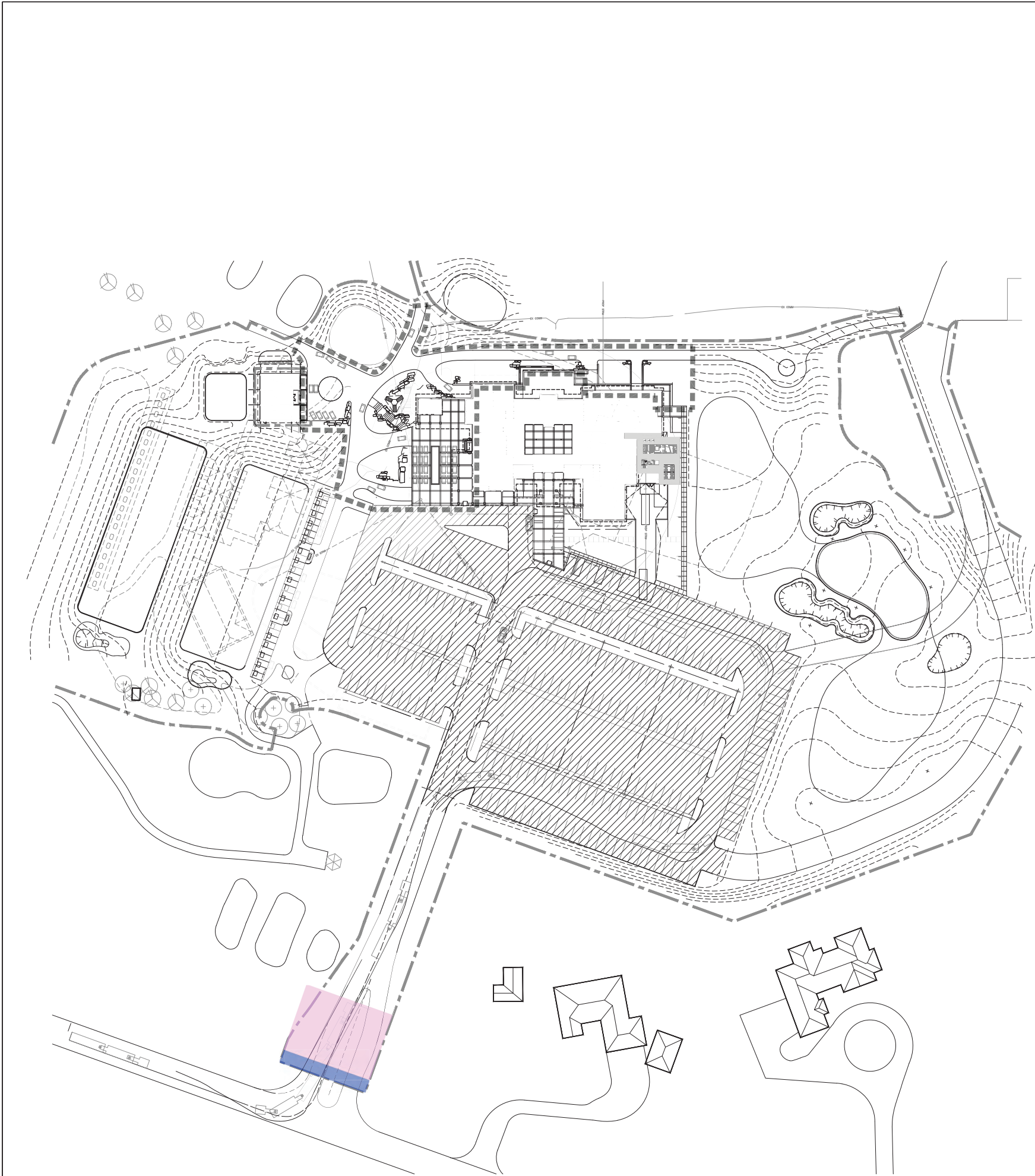
PROJECT

BEARSPAW GOLF & COUNTRY CLUB
61 HAMILTON DRIVE
BLOCK A, PLAN 811 1028
DP#2015-5089

SITE GRADING PLAN
FOR DP

SCALE: 1:300

DES: RB	STAMP:
DWN: CN	
DATE: SEPT 22-20	
CHK: RB	
P. ENG: T. VAN STADEN	
PROJECT No. 136-01	
SHEET 1 OF 1	DESTROY ALL PRINTS PRIOR TO
DRAWING NAME 136-01 GRADING	R 4



landscape area calculation legend

	building area		setback area - per section 26.11(f)
	parking area		adjacent to setback area - per section 26.11(f)

landscape area calculations

landscape area calculations are based on the Rocky View Country land-use bylaw C-4841-97, Section 26 - Landscaping Requirements

total site area	= 53,083 m ²
building area	= 1,627 m ²
parking area	= 0,418 m ²
setback area (per section 26.11(f))	= 128 m ²
10% of the site shall be landscaped (per section 26.11(c))	= 5,309 m ²
remaining area (comprised of hard and soft surface landscaping)	= 42,040 m ²

division 5 - special purpose recreation (SR) district
- landscaping in setback areas

4m setback area	trees required	trees provided (in setback)	trees provided (adjacent to setback)	total trees provided	shrubs required	shrubs provided (in setback)
128 m ²	3	0	9	9	0	52

section 26 - landscaping requirements

minimum requirements

10% shall be landscaped (per 26.11(c))	= 5,309 m ²
total landscaped area	= 42,040 m ²

coniferous trees required (40% of total trees required)	= 1 tree
coniferous trees provided	= 24 trees

deciduous trees required (60% of total trees required)	= 2 trees
deciduous trees provided	= 107 trees

trees provided	= 131
shrubs provided (shrub minimum size of 600 mm height or spread)	= 925

note: all manicured landscape areas to be watered using an automatic irrigation system
all planting material selected shall be hardy to the Calgary region per section 26.3

legend

EXTENT OF PROPOSED DP REVISIONS

PRIME CONSULTANT
DAVIGNON MARTIN
ARCHITECTURE

NOTES
DO NOT SCALE DRAWINGS. REQUEST VERIFICATION OF DIMENSIONS AS REQUIRED.
THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL LEVELS, DATUMS AND DIMENSIONS AND SHALL REPORT ANY AND ALL ERRORS AND/OR OMISSIONS TO THE PRIME CONSULTANT IMMEDIATELY.
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TITLE	NO	ISSUE	DATE
PRE-APP MEETING	1	PRE-APP MEETING	2015-09-29
PRE-APP MEETING	2	PRE-APP MEETING	2015-11-02
ISSUED FOR 30% PERMIT	3	ISSUED FOR 30% PERMIT	2015-11-13
ISSUED FOR DEVELOPMENT PERMIT	4	ISSUED FOR DEVELOPMENT PERMIT	2015-12-02
ISSUED FOR 60% PERMIT	5	ISSUED FOR 60% PERMIT	2015-02-12
ISSUED FOR BUILDING PERMIT/RENDER	6	ISSUED FOR BUILDING PERMIT/RENDER	2016-04-27
ISSUED FOR ADDENDUM 01	7	ISSUED FOR ADDENDUM 01	2016-09-13
ISSUED FOR ADDENDUM 02	8	ISSUED FOR ADDENDUM 02	2016-05-20
ISSUED FOR ADDENDUM 03	9	ISSUED FOR ADDENDUM 03	2016-05-20
ISSUED FOR CONSTRUCTION	10	ISSUED FOR CONSTRUCTION	2016-09-03
ISSUED FOR 80% SIGNOFF	11	ISSUED FOR 80% SIGNOFF	2016-09-07
ISSUED FOR CONSTRUCTION - REV 01	12	ISSUED FOR CONSTRUCTION - REV 01	2016-11-28
ISSUED FOR BUILDING PERMIT REVISION	13	ISSUED FOR BUILDING PERMIT REVISION	2016-09-23

REVISED	NO	REVISION

SEAL



CLIENT
BEARSPAW COUNTRY CLUB

ADDRESS:
8171 hardside drive
calgary, alberta
T2B 1A2

CONSULTANT
ground cubed landscape architects

ADDRESS:
suite 200 - 1000 2nd St SE
calgary, alberta
T2B 2A1

PROJECT
BEARSPAW COUNTRY CLUB

MUNICIPAL ADDRESS:
81 hardside drive
calgary, alberta
T2B 1A2

LEGAL ADDRESS:
BLOCK A
PLAN 811 1028

DRAWING TITLE
BYLAW PLAN

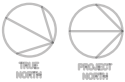
DRAWING INFORMATION

PROJECT NO	14004
STARTED	2015-02-05
SCALE	1 : 300
DRAWN	MC
CHECKED	SM

REVISION SHEET



L1.01





NOTES

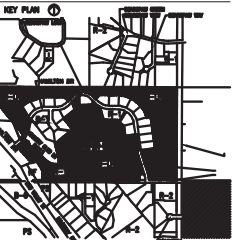
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TITLE		
NO	ISSUE	DATE
△	PRE-APP MEETING	2015-06-29
△	PRE-APP MEETING	2015-11-02
△	ISSUED FOR 30%	2015-11-13
△	ISSUED FOR DEVELOPMENT PERMIT	2015-12-22
△	ISSUED FOR 60%	2016-02-12
△	ISSUED FOR BUILDING PERMIT TENDER	2016-04-27
△	ISSUED FOR 100%	2016-05-13
△	ISSUED FOR ADDENDUM 02	2016-05-20
△	ISSUED FOR ADDENDUM 03	2016-05-29
△	ISSUED FOR CONSTRUCTION	2016-06-03
△	ISSUED FOR BP SIGNOFF	2016-06-27
△	ISSUED FOR CONSTRUCTION - REV 01	2016-11-28
△	ISSUED FOR BUILDING PERMIT REVISION	2020-09-23

REVISED	
NO	REVISION

SEARCH



CLIENT
BEARSPAW COUNTRY CLUB

ADDRESS:
61 hamilton drive
calgary alberta
T2R 1A2

CONSULTANT
ground cubed landscape architects

ADDRESS:
Suite 258 - 6000 2
calgary, alberta
T2H 2L8

PROJECT
BEARSPAW COUNTRY CLUB

MUNICIPAL ADDRESS:
81 harrilton drive
calgary alberta
T3R 1A2

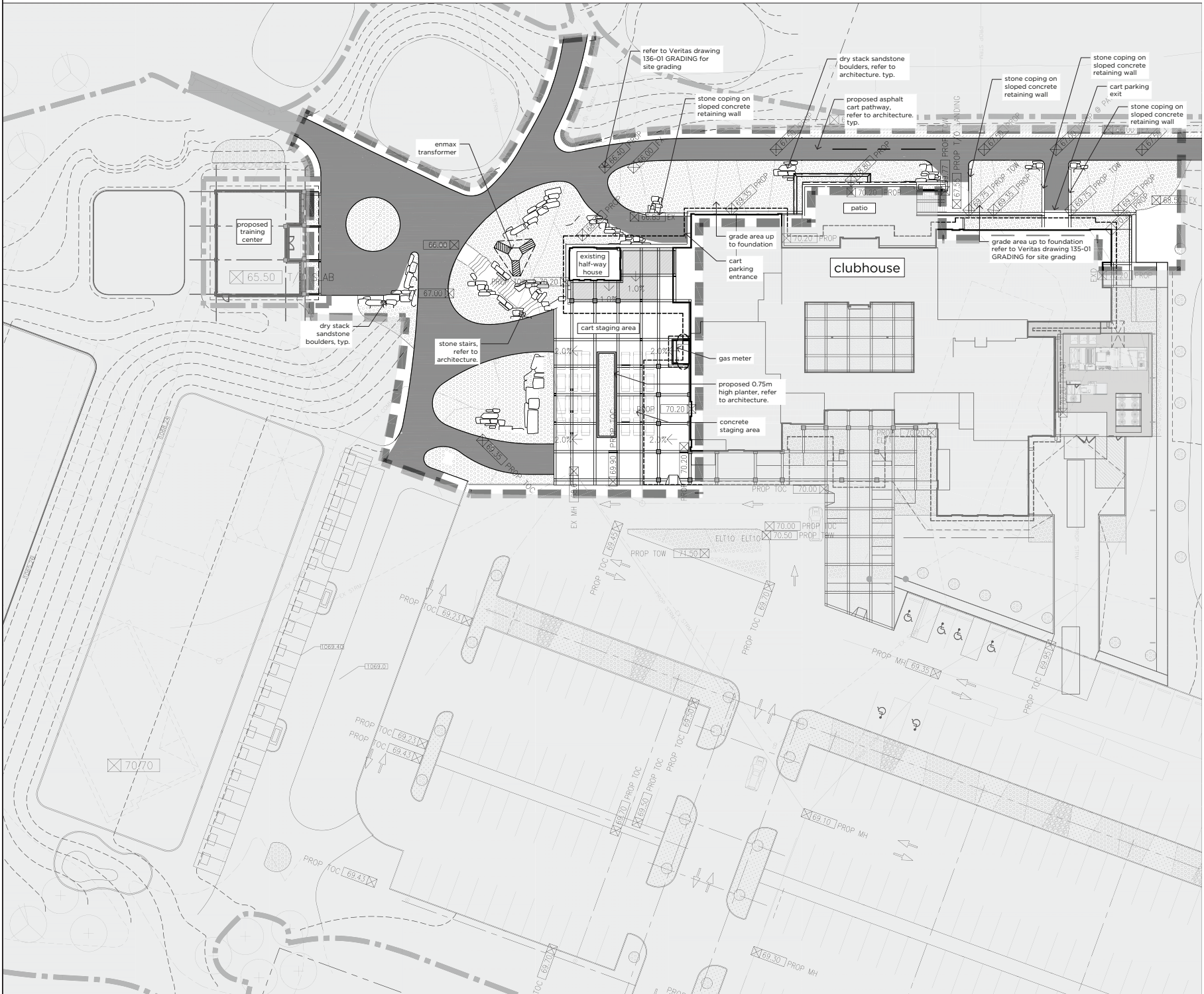
LEGAL ADDRESS:
BLOCK A
PLAN 811 1028

DRAWING TITLE

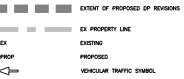
HARDSCAPE PLAN

DRAWING INFORMATION	
PROJECT NO	14054
STARTED	2015-02-05
SCALE	1 : 250
DRAWN	MG
CHECKED	WH
REVISION	SHEET

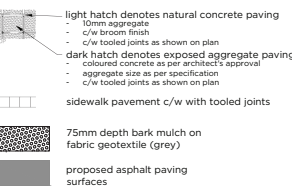
REVISION SHEET
 L1.02



legend



hardscape legend



proposed plant list for trees - total site

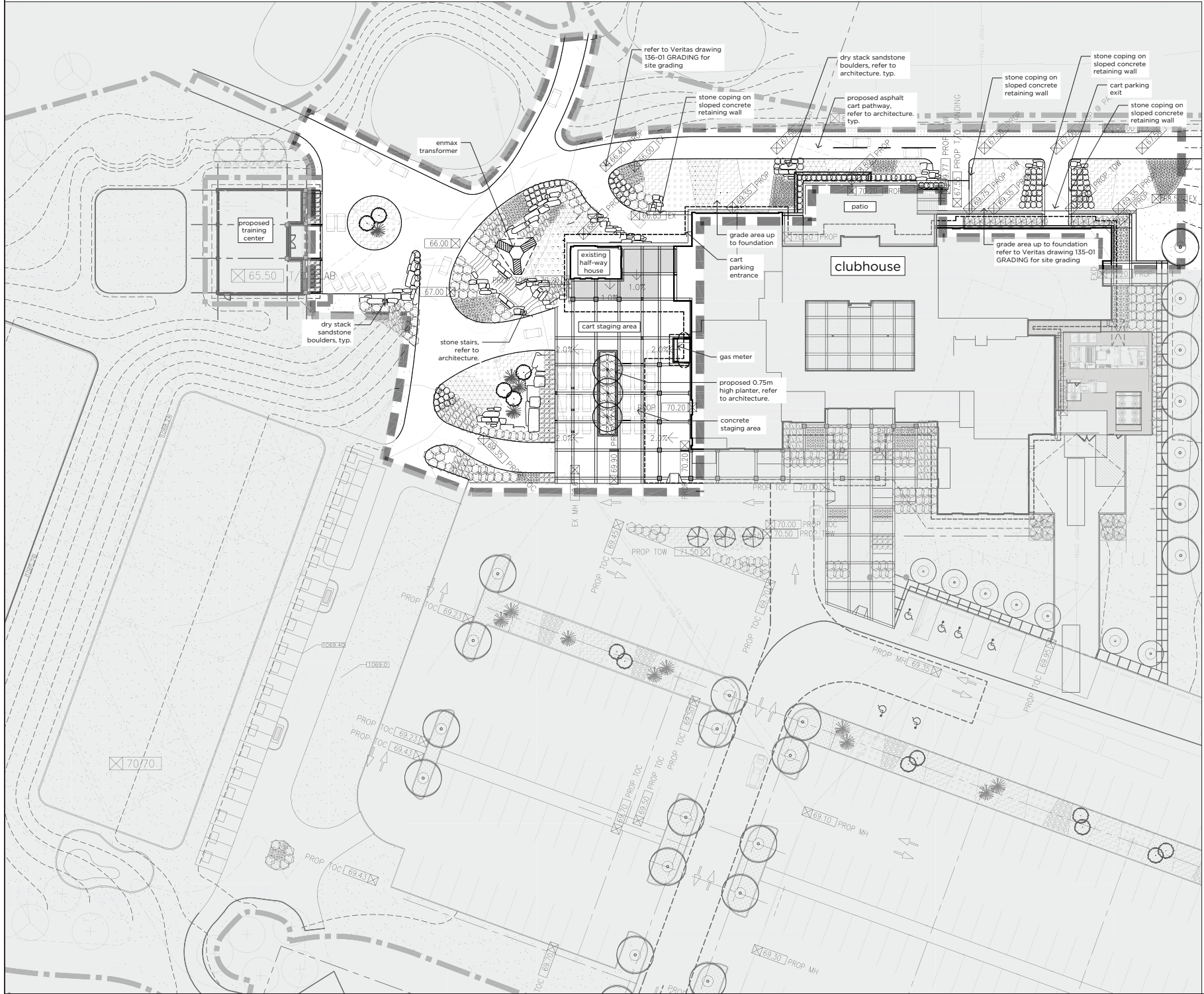
number	symbol	description
131		total overall trees provided
75		large deciduous trees - 70mm caliper • palmore green ash <i>fraxinus pennsylvanica</i> 'palmore' • paper birch <i>betula papyrifera</i>
32		small deciduous trees - 50mm caliper • snowbird hawthorn <i>crataegus mordensis</i> 'snowbird' • spring snow flowering crab <i>malus</i> 'spring snow' • siberian larch <i>larix sibirica</i>
24		coniferous trees - 2.0 - 3.0m ht • colorado spruce <i>picea pungens</i> • hoopsii spruce <i>picea pungens</i> 'hoopsii' • swiss stone pine <i>pinus cembra</i>

proposed plant list for shrubs - total site

number	symbol	description
925		total overall shrubs
476		coniferous shrubs • calgary carpet juniper <i>juniperus sabinia</i> 'calgary carpet' • ice blue juniper <i>juniperus horizontalis</i> 'monbre' • mugo pine <i>pinus mugo</i> 'mugs' • mops mugo pine <i>pinus mugo</i> 'mops'
449		deciduous shrubs • dart's golden ninebark <i>physocarpus opulifolius</i> 'dart's gold' • ruby carousel barberry <i>berberis thunbergii</i> 'ballone' • goldmound spirea <i>spirea x bumalda</i> 'goldmound'

proposed plant list for grasses - total site

number	symbol	description
1550		total overall grasses
1550		grasses • karl foerster feather reed grass <i>calamagrostis acutiflora</i> 'karl foerster' • blue oat grass <i>helictotrichon sempervirens</i> • ravenna grass <i>erianthus ravennae</i> • shenandoah switch grass <i>pannicum virgatum</i> 'shenandoah' • heavy metal switch grass <i>pannicum virgatum</i> 'heavy metal'



legend

symbol	description
	EDGE OF PROPOSED OR EXISTING
	D1 PROPERTY LINE
	EXISTING
	PROPOSED
	VEHICULAR TRAFFIC SYMBOL

softscape legend

symbol	description
	bluegrass sod on 150mm depth of screened topsoil
	fescue sod on 150mm depth of screened topsoil
	bentgrass sod on 300mm depth of sand based rootzone
	sand bunker - 100mm depth
	existing trees to be retained

note: all manicured turfgrass areas to be watered using an automated irrigation system
all plant materials shall be hardy to the calgary region

Proposed Plant List - Trees - this sheet

number	symbol	size	description
5		3m	siberian larch <i>larix sibirica</i>
3		50mm	spring snow flowering crab <i>malus</i> 'spring snow'
2		2m	swiss stone pine <i>pinus cembra</i>
3		2m	hoopsii spruce <i>picea pungens</i> 'Hoopsii'

Proposed Plant List - Shrubs - this sheet

number	symbol	size	description
95		#5	calgary carpet juniper <i>juniperus sabinia</i> 'calgary carpet'
81		#5	golden ninebark <i>physocarpus opulifolius</i> 'luteus'
138		#5	mops mugo pine <i>pinus mugo</i> 'mops'
190		#2	royal burgundy japanese barberry <i>Berberis Thunbergii</i> 'Gentry'

Proposed Plant List - Grasses - this sheet

number	symbol	size	description
56		#1	karl foerster <i>calamagrostis acutiflora</i> 'karl foerster'
208		#1	shenandoah switch grass <i>pannicum virgatum</i> 'shenandoah'
429		#1	blue oat grass <i>helictotrichon sempervirens</i>
32		#1	ravenna grass <i>erianthus ravennae</i>
94		#1	heavy metal switch grass <i>pannicum virgatum</i> 'heavy metal'



NOTES
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TITLE	NO	ISSUE	DATE
	1	PRE-APP MEETING	2015-08-26
	2	PRE-APP MEETING	2015-11-02
	3	ISSUED FOR 30% PERMIT	2015-11-13
	4	ISSUED FOR DEVELOPMENT PERMIT	2015-12-02
	5	ISSUED FOR 60% PERMIT	2015-12-12
	6	ISSUED FOR BUILDING PERMIT/TENDER	2016-04-27
	7	ISSUED FOR ASSEMBLY #1	2016-05-13
	8	ISSUED FOR ASSEMBLY #2	2016-05-20
	9	ISSUED FOR ASSEMBLY #3	2016-05-26
	10	ISSUED FOR CONSTRUCTION	2016-06-03
	11	ISSUED FOR 80% SIGNOFF	2016-09-27
	12	ISSUED FOR CONSTRUCTION - REV 01	2016-11-28
	13	ISSUED FOR BUILDING PERMIT REVISION	2016-12-23

REVISED	NO	REVISION



CLIENT
BEARSPAW COUNTRY CLUB
ADDRESS: 8170 Macleod Drive, Calgary, Alberta T2H 1A2
CONSULTANT
ground cubed landscape architects
ADDRESS: Suite 200, 1000 2nd St SE, Calgary, Alberta T2H 2J5
PROJECT
BEARSPAW COUNTRY CLUB
MUNICIPAL ADDRESS: 81 Macleod Drive, Calgary, Alberta T2H 1A2
LEGAL ADDRESS: 81 Macleod Drive, Calgary, Alberta T2H 1A2

DRAWING TITLE
SOFTSCAPE PLAN

DRAWING INFORMATION	
PROJECT NO	14004
STARTED	2015-02-05
SCALE	1:200
DRAWN	MC
CHECKED	MB

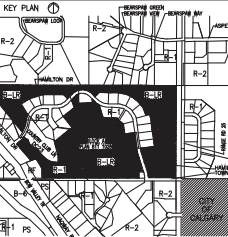
REVISION	SHEET
	L1.03



PRIME CONSULTANT
DAVIGNON MARTIN
ARCHITECTURE



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TITLE		
NO	ISSUE	DATE
1	DEVELOPMENT PERMIT (PROPOSED GRADING) EXTERIOR FINISH MATERIALS REVISIONS	(NOT ISSUED)
2	CONSTRUCTION (REVISIONS TO CON-400)	2024-07-29
3	DEVELOPMENT PERMIT (PROPOSED REVISIONS)	2024-08-24

REVISED		
NO	REVISION	DATE

SEAL

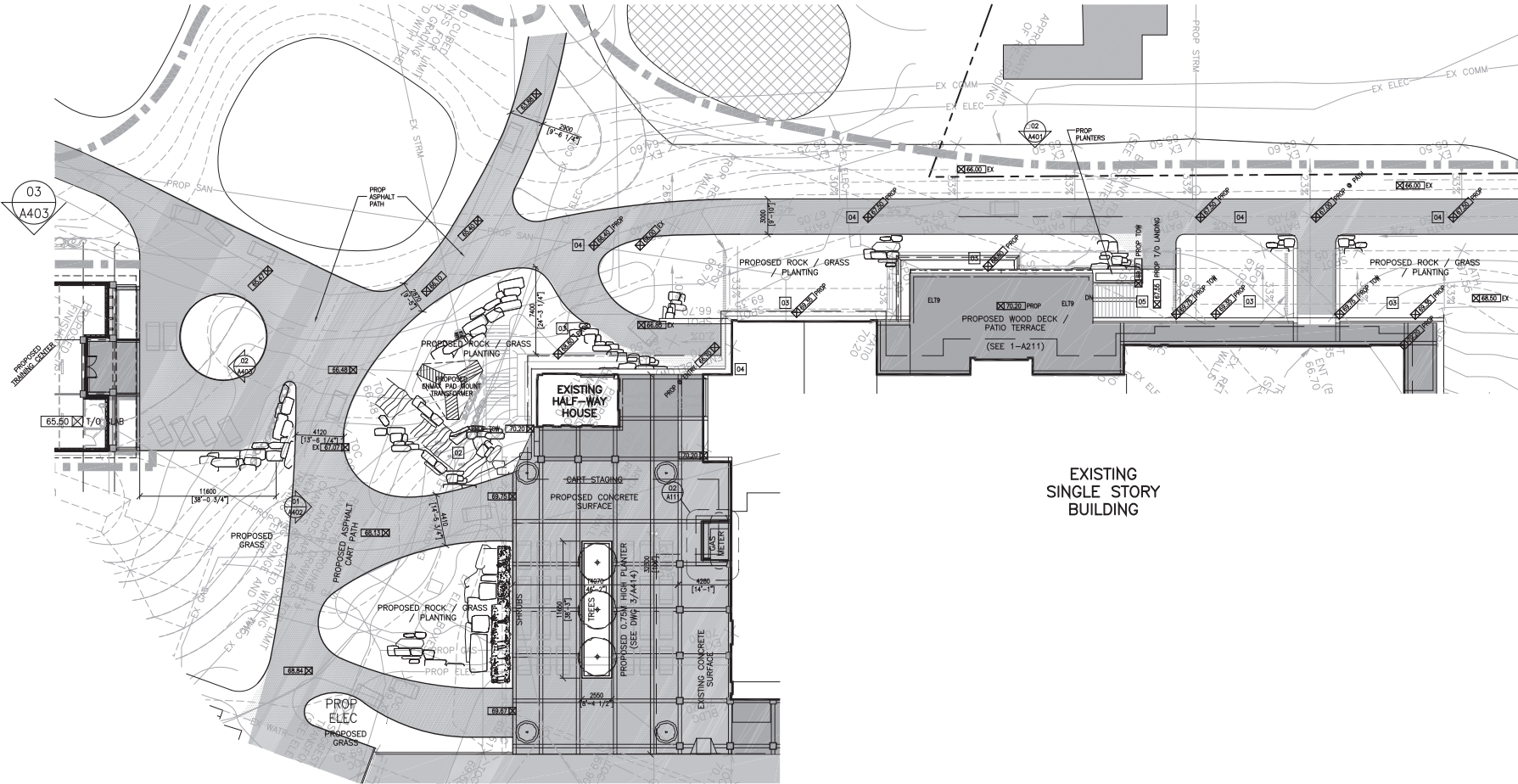
CLIENT
BEARSPAW COUNTRY CLUB
ADDRESS: 61 Bearspaw Drive
Edmonton, Alberta
T6E 1A2

PROJECT
BEARSPAW COUNTRY CLUB
MUNICIPAL ADDRESS: 61 Bearspaw Drive
Edmonton, Alberta
T6E 1A2
LEGAL ADDRESS: BEARSPAW COUNTRY CLUB
61 Bearspaw Drive
Edmonton, Alberta
T6E 1A2

DRAWING TITLE
SITE PLAN - PROPOSED
PATHWAY GRADING

DRAWING INFORMATION
PROJECT NO: 14154
STARTED: 2014-04-06
SCALE: 1:200
DRAWN: TM
CHECKED: DV

ISSUE / REVISION SHEET
A111

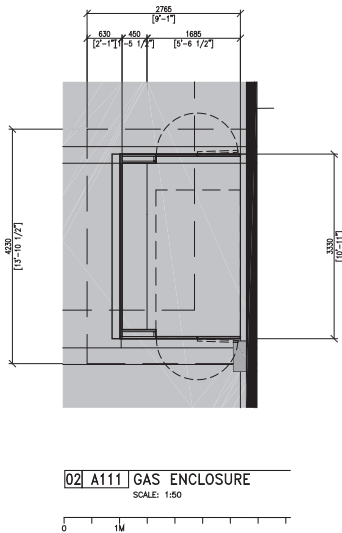
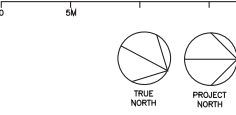


KEYNOTES	
01	SITE COMMENCEMENT STAKE MARKED
02	SITE COMMENCEMENT STAKE ADDED
03	REVISED GEODETIC ELEVATIONS AT GRADE
04	REVISED GEODETIC ELEVATIONS AT CART PATH
05	ADDITIONAL STAKE MARKS AND LANDING TO ACCESS CART PATH

LEGEND	
---	EXTENT OF PROPOSED REVISIONS
---	EX PROPERTY LINE
---	EXISTING
---	PROPOSED
---	VEHICULAR TRAFFIC SYMBOL

SURFACE LEGEND	
---	LIGHT HATCH DENOTES NATURAL CONCRETE FINISH - 3/4" MAX AGGREGATE - 1/4" TYPICAL JOINTS AS SHOWN ON PLAN
---	DARK HATCH DENOTES EXPOSED AGGREGATE FINISH - COLOURED CONCRETE AS PER ARCHITECT'S APPROVAL - AGGREGATE SIZE AS PER SPECIFICATION - 1/4" TYPICAL JOINTS AS SHOWN ON PLAN
---	SEMI-CIRCULAR FINISH C/W TOILED JOINTS
---	AREA OF GOLF COURSE FEATURE, REFER TO LANDSCAPE.
---	AREA OF THE DEPARTMENT HAMMERSHEAD TURN, AS PER CITY OF CALGARY FIRE DEPARTMENT ACCESS STANDARDS FID. A-SITE ACCESS CRITERIA.
---	TREE UNITS, REFER TO LANDSCAPE. C/W ELEV. UNITS.

01 A111 PROPOSED SITE PLAN
SCALE: 1:200

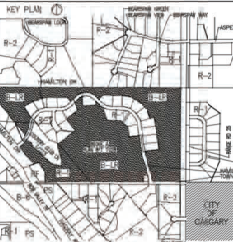


02 A111 GAS ENCLOSURE
SCALE: 1:50

DAVIGNON MARTIN
ARCHITECTURE

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NOTES
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TITLE	ISSUE	DATE
NO	REVISION	
NO	REVISION	
NO	REVISION	
NO	REVISION	
NO	REVISION	

REVISION	DATE
NO	
NO	
NO	
NO	
NO	

SEAL

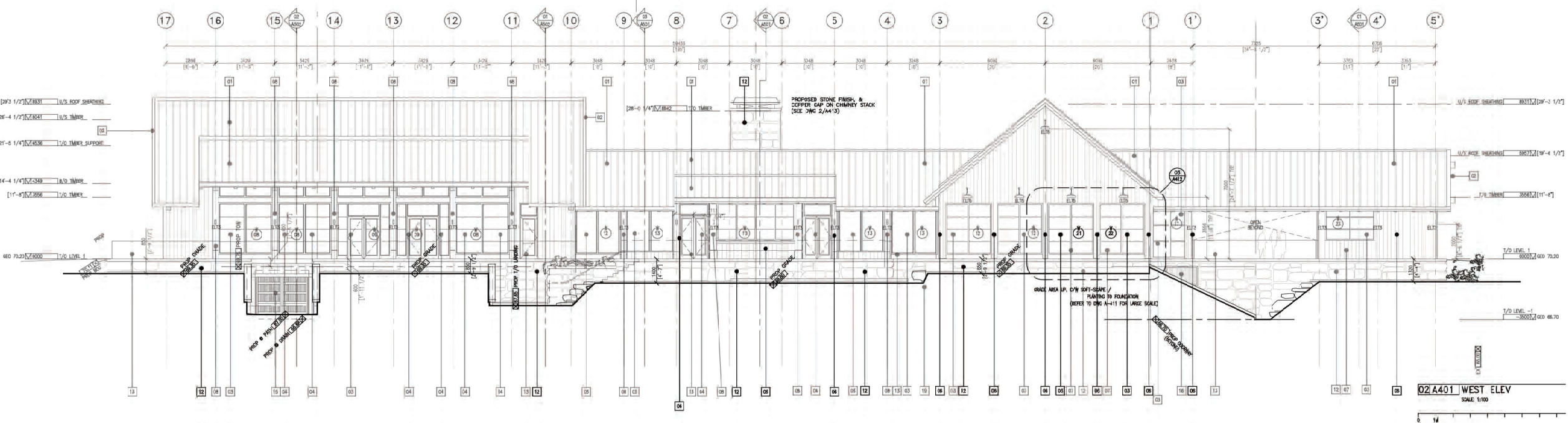
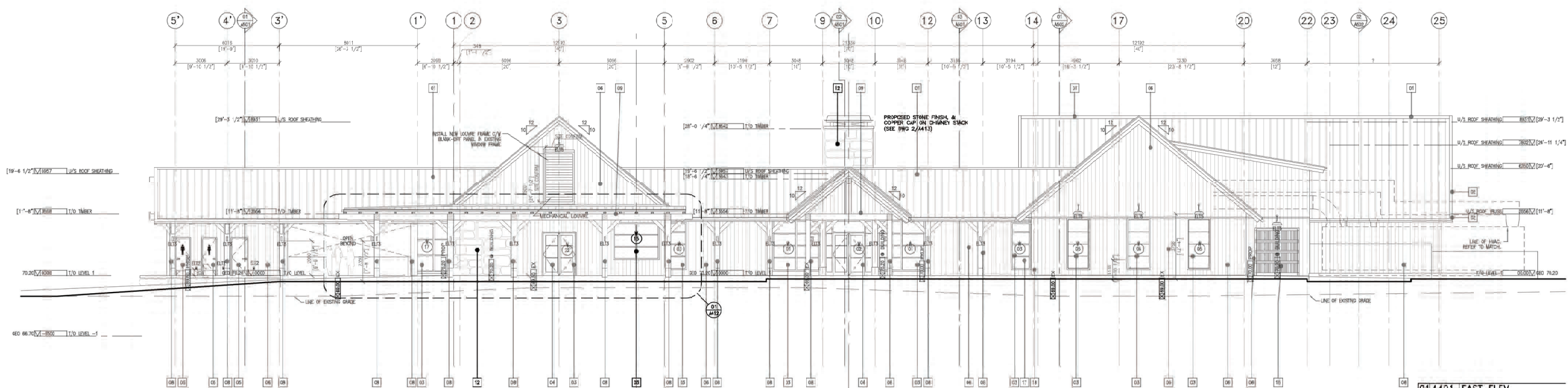
CLIENT
BEARSPAW COUNTRY CLUB
ADDRESS: 10000 100th Ave SE, Unit 100, Calgary, AB T2C 1A2

PROJECT
BEARSPAW COUNTRY CLUB
ADDRESS: 10000 100th Ave SE, Unit 100, Calgary, AB T2C 1A2

DRAWING TITLE
EAST + WEST ELEVATIONS

DRAWING INFORMATION	REVISION
PROJECT NO: 200000	200000
DATE: 2000-01-01	2000-01-01
SCALE: 1"=10'	1"=10'
DATE: 2000-01-01	2000-01-01
REVISION	SHEET
NO	
NO	
NO	
NO	
NO	

A401



EXTERIOR LIGHTING LEGEND					
NO	TYPE	COLOR/FINISH	PRODUCT NAME	PRODUCT NO.	REMARKS
01	WALL	ANTHRACITE GREY	WALL MOUNTED	120-24	
02	WALL	ANTHRACITE GREY	WALL MOUNTED	120-24	
03	WALL	ANTHRACITE GREY	WALL MOUNTED	120-24	
04	WALL	ANTHRACITE GREY	WALL MOUNTED	120-24	
05	WALL	ANTHRACITE GREY	WALL MOUNTED	120-24	
06	WALL	ANTHRACITE GREY	WALL MOUNTED	120-24	
07	WALL	ANTHRACITE GREY	WALL MOUNTED	120-24	
08	WALL	ANTHRACITE GREY	WALL MOUNTED	120-24	
09	WALL	ANTHRACITE GREY	WALL MOUNTED	120-24	
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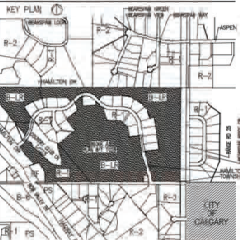
LEGEND	
EX	EXISTING
PROP	PROPOSED
TP	TYPICAL
GENERAL NOTES	
01	ALL EXTERIOR LIGHTING TO BE IN HIDDEN CONDUITS

KEY NOTES	
01	PRE-FINISHED METAL ROOF SYSTEM
02	PRE-FINISHED METAL FLASHING
03	PRE-FINISHED METAL FLASHING
04	PRE-FINISHED METAL FLASHING
05	PRE-FINISHED METAL FLASHING
06	PRE-FINISHED METAL FLASHING
07	PRE-FINISHED METAL FLASHING
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09	PRE-FINISHED METAL FLASHING
10	PRE-FINISHED METAL FLASHING
11	PRE-FINISHED METAL FLASHING
12	PRE-FINISHED METAL FLASHING
13	PRE-FINISHED METAL FLASHING
14	PRE-FINISHED METAL FLASHING
15	PRE-FINISHED METAL FLASHING
16	PRE-FINISHED METAL FLASHING
17	PRE-FINISHED METAL FLASHING

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NOTES
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TITLE	NO	ISSUE	DATE
REVISION	1	REVISION	
REVISION	2	REVISION	
REVISION	3	REVISION	

REVISION	NO	REVISION	DATE
REVISION	1	REVISION	
REVISION	2	REVISION	
REVISION	3	REVISION	

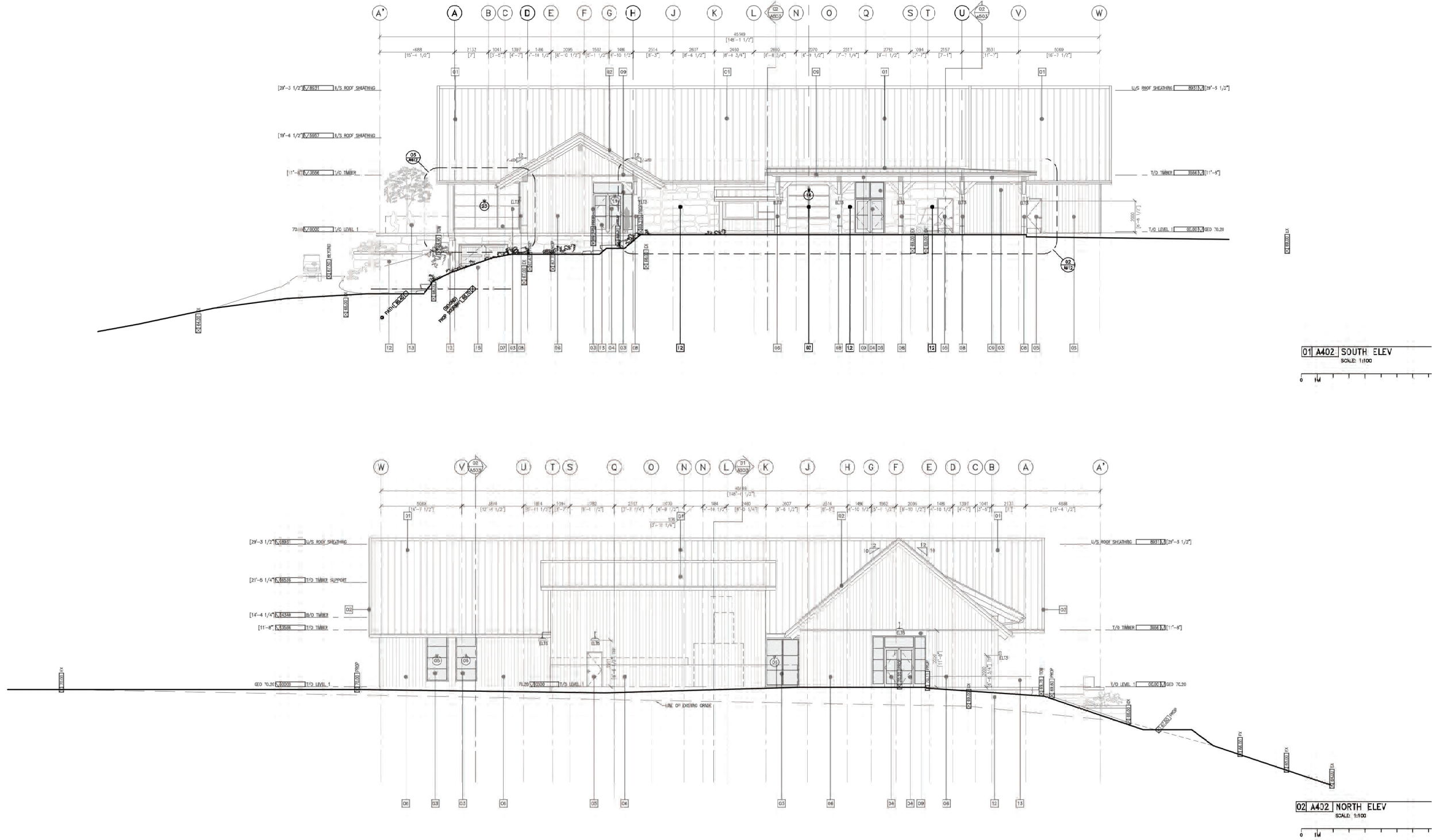
SEAL

CLIENT
BEARSPAW COUNTRY CLUB
ADDRESS: 8800 16th Avenue SE, Calgary, Alberta T2C 1A2

PROJECT
BEARSPAW COUNTRY CLUB
ADDRESS: 8800 16th Avenue SE, Calgary, Alberta T2C 1A2

DRAWING TITLE
SOUTH + NORTH ELEVATIONS

DRAWING INFORMATION
PROJECT NO: 201808
PROJECT NAME: BEARSPAW COUNTRY CLUB
SCALE: 1/4" = 1'-0"
DRAWN: JMM
CHECKED: JMM
REVISION: SHEET: A402



EXTERIOR LIGHTING LEGEND					
ELT	QTY	MANUF	TYPE	COLOR/FINISH	PRODUCT NAME
ELT1	3	SYSTEMALUX	SURFACE	ANTHRACITE GREY	MOORETECHNO
ELT2	6	BETACALDO	RECESSED HAIL MOUNT	ANTHRACITE GREY	SPOT
ELT3	19	SUV	COLUMN MOUNT UP/DOWN	ANTHRACITE	ROX PRO 62.5
ELT4	13	BEGA	CEILING	GRAPHITE	FLOODLIGHT
ELT5	100	STANPRO	DOORSECK	BLACK	SHIN LIGHTS
ELT6	2.5	SYSTEMALUX	LIGHT	ALUMINUM GREY	MINIMAX
ELT7	79	UPHORIA	POLE MOUNTED DOUBLE HEAD	BLACK	KARIO LED
ELT8	79	UPHORIA	POLE MOUNTED SINGLE HEAD	BLACK	KARIO LED
ELT9	14	HOREL	RECESSED TREE	BLACK	MODULAR IN-GRIDE
LEGEND					
EX	EXISTING				
PROP	PROPOSED				
TYP	TYPICAL				
GENERAL NOTES					
01	ALL EXTERIOR LIGHTING TO BE IN HIDDEN CONDUITS				

KEY NOTES	
01	PRE-INSULATED METAL ROOF SYSTEM
02	PRE-INSULATED METAL FLASHING
03	ALL TRIMMED THERMALLY BROKEN WINDOW SYSTEM
04	BLACK TRIPLE GLAZED SEAL UNIT
05	ALL TRIMMED DOOR C/W DOUBLE GLAZED SEALS UNIT
06	VERTICAL ROOF PLANK SYSTEM
07	REFER TO DETAIL 14 IN DETAIL OF HEAVY GAUGE
08	WOOD TRIMMER COLUMN
09	WOOD TRIMMER
10	WOOD TRIMMER
11	PRE-INSULATED METAL DOWNSPOUT TO GO UNDER SIDING
12	DRY-STACKED STONE
13	DRY-STACKED STONE
14	HORIZONTAL WOOD PLANK SYSTEM
15	WOOD TRIMMER
16	WOOD TRIMMER
17	WOOD TRIMMER
18	WOOD TRIMMER
19	PRE-INSULATED METAL ROOF SYSTEM