

PLANNING AND DEVELOPMENT SERVICES

TO: Municipal Planning Commission
DIVISION: 7
SUBJECT: Development Item: Accessory Building
USE: Discretionary use, with Variances

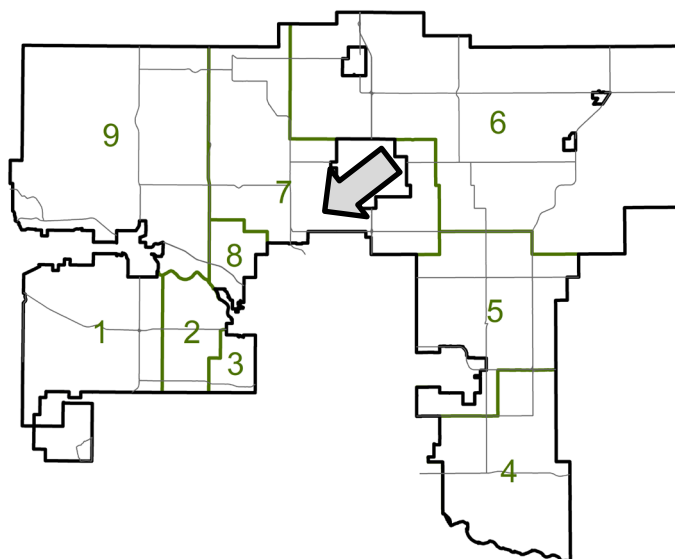
DATE: November 26, 2020
APPLICATION: PRDP20203069

APPLICATION: construction of an accessory building (oversize garage), relaxation of the maximum building height and relaxation of the maximum accessory parcel coverage

GENERAL LOCATION: Located approximately 0.81 km (1/2 mile) west of the city of Airdrie and on the south side of Twp. Rd. 265

LAND USE DESIGNATION: Residential Rural (R-RUR) under Land Use Bylaw C-8000-2020.

ADMINISTRATION RECOMMENDATION:
 Administration recommends Approval in accordance with Option #1.



VARIANCE SUMMARY:

Variance	Requirement	Proposed	Percentage (%)
Maximum Building Area	<190.00 sq. m (2,045.14 sq. ft.)	282.14 sq. m (3,036.92 sq. ft.)	48.49%
Maximum Height	7.00 m (22.96 ft.)	8.04 m (26.37 ft.)	14.86%
Accessory Building Parcel Coverage	285.00 sq. m (3,067.71 sq. ft.)	295.14 sq. m (3,176.86 sq. ft.)	3.55%

OPTIONS:

- Option #1: THAT Development Permit Application PRDP20203069 be approved with the conditions noted in the Development Permit Report, attached.
- Option #2: THAT Development Permit Application PRDP20203069 be refused as per the reasons noted.

AIR PHOTO & DEVELOPMENT CONTEXT





DEVELOPMENT PERMIT REPORT

Application Date: October 2, 2020	File: 06528021
Application: PRDP20203069	Applicant/Owner: Efren Gonzalez
Legal Description: Lot 1 Block 2 Plan 9811574, NE-28-26-01-05; (13089 TWP RD 265)	General Location: Located approximately 0.41 km (1/4 mile) west of Rge. Rd 40 and 0.41 km (1/4 mile) north of Highway 1A
Land Use Designation: Residential, Rural District (R-RUR) under Land Use Bylaw C-8000-2020.	Gross Area: ± 2.01 hectares (± 4.97 acres)
File Manager: Scott Thompson	Division: 7

PROPOSAL:

This application is for the construction of an accessory building (oversize garage), relaxation of the maximum building height and relaxation of the maximum accessory parcel coverage. *Note this application was assessed in accordance with Land Use Bylaw C-8000-2020.*

The proposed accessory building is two storeys that will serve as a garage and storage area on the main floor and an entertainment area on the upper floor. The proposed garage is located just west of the principal dwelling and is 282.14 sq. m (3,036.92 sq. ft.) in size. The Applicant has requested the noted variances to store personal recreational vehicle inside the accessory building. The building complies with all setback requirements

Variance(s) Required

Variance	Requirement	Proposed	Percentage (%)
318 Discretionary Building Area (no maximum)	<190.00 sq. m (2,045.14 sq. ft.)	282.14 sq. m (3,036.92 sq. ft.)	48.49%
321 (a) Maximum Height	7.00 m (22.96 ft.)	8.04 m (26.37 ft.)	14.86%
322 (b) Accessory Building Parcel Coverage	285.00 sq. m (3,067.71 sq. ft.)	295.14 sq. m (3,176.86 sq. ft.)	3.55%

STATUTORY PLANS:

The parcel falls under the Airdrie Intermunicipal Development Plan. The plan gives no guidance on applications of this nature, so the application was evaluated using the Land Use Bylaw (C-8000-2020).

INSPECTORS COMMENTS:

Inspection: September 30, 2020

- Site Staked.



- No construction started.
- Existing large accessory building on an adjacent property.
- No concerns at the inspection.

CIRCULATIONS:

Building Services:

- No objection to Accessory Building, subject to BP.

Development Compliance:

- Development Compliance has no comments or concerns with the attached application.

City of Airdrie:

- The City of Airdrie Planning & Development Department has completed its review of the above mentioned development permit application, in response to your request for comments, recommendations and/or requirements with respect to the application. This development permit proposes the construction of an oversized Accessory Building with variance on height and size.
- The parcel with the proposed development is located within a multi lot residential subdivision approximately 500metres from the City of Airdrie boundary
Given the information provided, Planning & Development is not opposed to the proposed development as the parcel is not directly adjacent to the Airdrie's boundary and will not negatively impact the city.

Rocky View County Operational Services:

General

- The review of this file is based upon the application submitted. These conditions/recommendations may be subjected to change to ensure best practices and procedures.

Geotechnical:

- Based on County GIS, site slopes are less than 15%.
- Engineering have no requirements at this time.

Transportation:

- Access to the subject lot is provided off Township Road 265.
- This is unlikely to increase traffic on local road networks. Traffic Impact Assessment is not required.
- As the proposed development is for the accessory building, Transportation off-site levy will not be applicable in accordance with Transportation Off-site levy bylaw C-8007-2020.
- Engineering have no requirements at this time.

Sanitary/Waste Water:

- No information was provided.
- As per the submitted drawings, it appears that entertainment area is serviced for sewer.



- At this time, the applicant shall confirm how the proposed development will be serviced for sewer.

Water Supply And Waterworks:

- No information was provided.
- As per the submitted, it appears that entertainment area is serviced for water.
- At this time, the applicant shall confirm how the proposed development will be serviced for water.

Storm Water Management:

- The proposed development falls within the nose creek watershed
- Prior to issuance, the applicant shall provide a stormwater memo, prepared by a qualified professional, confirming whether the addition of the proposed building conforms with the overall stormwater management strategy for the subject land or further improvements are required. Should improvements be necessary, the applicant will be required to provide a site specific stormwater management report, prepared by a qualified professional, addressing the necessary improvements to be implemented on the subject land to support the proposed building in accordance with Nose Creek Watershed Water Management Plan and County servicing standards.
- As a permanent condition, the applicant will be required to implement and maintain the approved stormwater management system in perpetuity.

Environmental:

- The proposed development is within riparian area of nose creek tributary.
- Prior to issuance, the applicant shall submit an ESC plan, prepared by a qualified professional showing appropriate ESC measures to be implemented during the construction of the proposed development in accordance with County's servicing standards.
- As a permanent condition, any Alberta environment approval for watercourse disturbance is the sole responsibility of the applicant.

OPTIONS:

Option #1 (this would allow the proposed development)

APPROVAL, subject to the following conditions:

Description:

1. That an accessory building (garage), may be constructed on the subject land in general accordance with the approved Site Plan and submitted application.
 - i. That the maximum building footprint is relaxed from **190.00 sq. m (2,045.14 sq. ft.) to 282.14 sq. m (3,036.92 sq. ft.);**
 - ii. That the maximum building height is relaxed from **7.00 m (22.96 ft.) to 8.04 m(26.37 ft.);**
 - iii. That the maximum accessory building parcel coverage is relaxed from **285.00 sq. m (3,067.71 sq. ft.) to 295.14 sq. m. (3,176.86 sq. ft.).**

Prior to Issuance:

2. That prior to issuance of this permit, the Applicant/Owner shall submit an Erosion and Sediment Control (ESC) plan, prepared by a qualified professional, showing appropriate ESC measures to be implemented during the construction of the proposed development in accordance with County's servicing standards.
3. That prior to issuance of this permit, the Applicant/Owner shall submit a stormwater memo, prepared by a qualified professional, confirming whether the addition of the proposed building conforms with the overall stormwater management strategy for the subject land or further improvements are required.
 - i. Should improvements be necessary, the Applicant/owner shall submit a site-specific stormwater management report, prepared by a qualified professional, addressing the necessary improvements to be implemented on the subject land to support the proposed building in accordance with Nose Creek Watershed Water Management Plan and County's Servicing Standards.

Permanent:

4. That any plan, technical submission, agreement, or other matter submitted and approved as part of the Development Permit application or submitted in response to a Prior to Issuance or Occupancy condition, shall be implemented and adhered to in perpetuity, including any recommendations of the ESC plan or Stormwater technical documents.
5. That the proposed Accessory Building shall not be used for commercial or residential purposes at any time, unless otherwise approved through a Development Permit.
6. That the exterior siding and roofing materials of the Accessory Building shall be similar/cohesive to the existing dwelling, single-detached and/or area.
7. That there shall be no more than 1.00 m (3.28 ft.) of fill placed adjacent to or within 15.00 m (49.21 ft.) of the proposed building under construction, which is used to establish approved final grades unless a Development Permit has been issued for additional fill and topsoil.
8. That if the development authorized by this Development Permit is not commenced with reasonable diligence within 12 months from the date of issue, and completed within 24 months of the issue, the permit is deemed to be null and void, unless an extension to this permit shall first have been granted by the Development Authority.
9. That if this Development Permit is not issued by **June 30, 2021** or an approved extension date, then this approval is null and void and the Development Permit shall not be issued.

Advisory:

10. That any other Federal, Provincial, or County permits, approvals, and/or compliances, are the sole responsibility of the Applicant/Owner.
11. That during construction of the Accessory Building, all construction and building materials shall be maintained on site, in a neat and orderly manner. Any debris or garbage shall be stored/placed in garbage bins and disposed of at an approved disposal facility.
12. That the County's Noise Bylaw C-5772-2003 shall be adhered to at all times.
13. That a Building Permit and sub-trade permits shall be obtained through Building Services, prior to any construction taking place.

Note: The Applicant/Owner shall be responsible for all Alberta Environment & Parks (AEP) approvals/compensation, under the Water Act, if any wetland is impacted/disturbed by proposed development

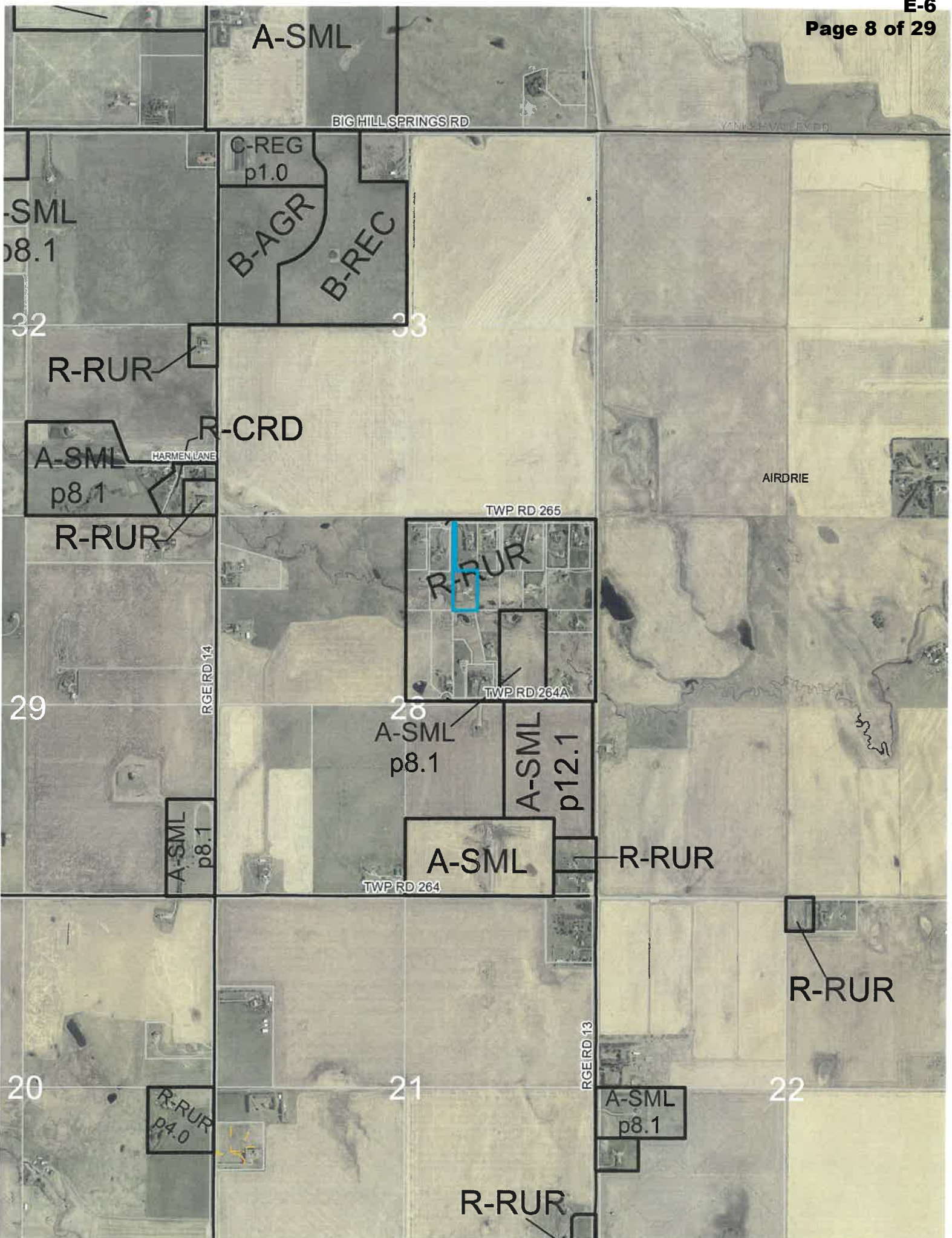


Option #2: (this would not allow the proposed development)

REFUSAL, for the following reasons:

1. That in the opinion of the Municipal Planning Commission, the development unduly interferes with the amenities of the neighbourhood and materially interferes with and affects the use, enjoyment, and value of neighbouring parcels of land.







ROCKY VIEW COUNTY

FOR OFFICE USE ONLY Page 9 of 29

DEVELOPMENT PERMIT APPLICATION

APPLICATION NO.	20203069
ROLL NO.	06528021
RENEWAL OF	
FEES PAID	\$265.00
DATE OF RECEIPT	OCT 2, 2020

APPLICANT/OWNER

Applicant Name: ETREN GONZALEZ

Email: [REDACTED]

Business/Organization Name (if applicable):

Landowner Name(s) per title (if not the Applicant): HEATHER GAIL GOERTZEN

Business/Organization Name (if applicable):

LEGAL LAND DESCRIPTION - Subject site

All/part of: NE ¼ Section: 28 Township: 26 Range: 01 West of: 05 Meridian Division: 7

All parts of Lot(s)/Unit(s): 1 Block: 2 Plan: 9811574 Parcel Size (ac/ha):

Municipal Address: 13089 Twp Rd. 265 Rocky View County Land Use District: R-RUR

APPLICATION FOR - List use and scope of work

Accessory Building

Variance Rationale included: ☒ YES ☐ NO ☐ N/ADP Checklist Included: ☒ YES ☐ NO

SITE INFORMATION

- a. Oil or gas wells present on or within 100 metres of the subject property(s) ☐ YES ☒ NO
- b. Parcel within 1.5 kilometres of a sour gas facility (well, pipeline or plant) ☐ YES ☒ NO
- c. Abandoned oil or gas well or pipeline present on the property ☐ YES ☒ NO
(Well Map Viewer: <https://extmapviewer.aer.ca/AERAbandonedWells/Index.html>)
- d. Subject site has direct access to a developed Municipal Road (accessible public roadway) ☒ YES ☐ NO

AUTHORIZATION

I, ETREN GONZALEZ (Full name in Block Capitals), hereby certify (initial below):

EG That I am the registered owner OR EG That I am authorized to act on the owner's behalf.

EG That the information given on this form and related documents, is full and complete and is, to the best of my knowledge, a true statement of the facts relating to this application.

EG That I provide consent to the public release and disclosure of all information, including supporting documentation, submitted/contained within this application as part of the review process. I acknowledge that the information is collected in accordance with s.33(c) of the Freedom of Information and Protection of Privacy Act.

EG Right of Entry: I authorize/acknowledge that Rocky View County may enter the above parcel(s) of land for purposes of investigation and enforcement related to this application in accordance with Section 542 of the Municipal Government Act.

Applicant Signature

Date OCT 2nd, 2020

Landowner Signature

Date



ROCKY VIEW COUNTY
Cultivating Communities

APPLICATION FOR AN ACCESSORY BUILDING

FOR OFFICE USE ONLY	
Fee Submitted	File Number
Date Received	Receipt #

Name of Applicant EFREN GONZALEZ

Email 

1. DETAILS OF ACCESSORY BUILDING

	Bylaw	Proposed
Accessory building size maximum	285 m ²	341.60m ²
Accessory building height	7.0 m	8.0 m
Number of existing accessory buildings on site	1	1
Total size of all accessory buildings		

Description of Accessory Buildings:

- a) Building materials WOOD
- b) Exterior colour SCOTIA BLUE
- c) Please include why relaxations for buildings are needed (location, storage needs, tidy property, etc.)
BECAUSE ITS GOING TO BE A STORAGE FOR RV, SNOWMOBILE, BOATS.
- d) Date when building permits were issued for existing buildings 2002 EG.
2000-2001
- e) If no permits were issued - list age of buildings _____


2. DESCRIBE THE USE OF THE ACCESSORY BUILDING

ACCESSORY BUILDING TO BE USED AS A GARAGE/STORAGE/ENTERTAINMENT AREA.

3. ADDITIONAL REQUIREMENTS

The following items must be provided in addition to your application:

- ☒ Elevation drawing(s) / floor plan(s)
- ☒ Site plan(s) showing all dimensions and setbacks

Signature of Applicant 

Date: OCT 2ND, 2020



LAND TITLE CERTIFICATE

S

LINC

SHORT LEGAL

TITLE NUMBER

0027 491 380

9811574;2;1

081 349 388

LEGAL DESCRIPTION

PLAN 9811574

BLOCK 2

LOT 1

EXCEPTING THEREOUT ALL MINES AND MINERALS

AREA: 2.01 HECTARES (4.97 ACRES) MORE OR LESS

ESTATE: FEE SIMPLE

ATS REFERENCE: 5;1;26;28;NE

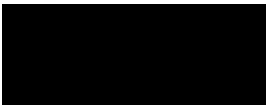
MUNICIPALITY: ROCKY VIEW COUNTY

REFERENCE NUMBER: 001 214 588

REGISTERED OWNER(S)				
REGISTRATION	DATE (DMY)	DOCUMENT TYPE	VALUE	CONSIDERATION
081 349 388	17/09/2008	TRANSFER OF LAND	\$850,000	NOMINAL

OWNERS

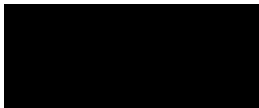
HEATHER GAIL GOERTZEN



ENCUMBRANCES, LIENS & INTERESTS

REGISTRATION

NUMBER	DATE (D/M/Y)	PARTICULARS
751 058 698	13/06/1975	UTILITY RIGHT OF WAY GRANTEE - ROCKYVIEW GAS CO-OP LTD.
001 214 589	02/08/2000	MORTGAGE MORTGAGEE - ALBERTA TREASURY BRANCHES.



(CONTINUED)

ENCUMBRANCES, LIENS & INTERESTS

PAGE 2

081 349 388

REGISTRATION

NUMBER	DATE (D/M/Y)	PARTICULARS
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ORIGINAL PRINCIPAL AMOUNT: \$248,286

011 196 335	13/07/2001	AMENDING AGREEMENT AMOUNT: \$335,000 AFFECTS INSTRUMENT: 001214589
061 011 232	09/01/2006	AMENDING AGREEMENT AMOUNT: \$441,000 AFFECTS INSTRUMENT: 001214589
071 409 130	15/08/2007	AMENDING AGREEMENT AMOUNT: \$595,760 AFFECTS INSTRUMENT: 001214589
131 119 595	24/05/2013	AMENDING AGREEMENT AMOUNT: \$790,000 AFFECTS INSTRUMENT: 001214589

TOTAL INSTRUMENTS: 006

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN
ACCURATE REPRODUCTION OF THE CERTIFICATE OF
TITLE REPRESENTED HEREIN THIS 22 DAY OF
SEPTEMBER, 2020 AT 05:36 P.M.

ORDER NUMBER: 40169645

CUSTOMER FILE NUMBER:



END OF CERTIFICATE

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED
FOR THE SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER,
SUBJECT TO WHAT IS SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM
INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION,
APPRAISAL OR OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS
PART OF THE ORIGINAL PURCHASER APPLYING PROFESSIONAL, CONSULTING
OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT(S).

Friday, 02 October, 2020

Rocky View County
Planning and Development Department
262075 Rocky View Point, AB T4A 0X2

To whom it may concern:

Re: Development Permit Application located at 13089 Township Road 265 M.D. of Rocky View No. 44, Alberta

We are hereby applying for a Development Permit of an accessory building in the property described above. We have included 1 set of drawings (legible hard copies) as well as digital files in PDF format. Also enclosed is a cheque of \$265.00 for this development permit fee application.

We are proposing 1 accessory building to be used as a garage/storage/entertainment area.

The total area of the proposed building is 341.60 m² which includes a 59.47m² second floor. The total height is 8.04m. Therefore we are asking for a relaxation on the building maximum area and maximum height permitted for the property in question which is zoned as R-RUR.

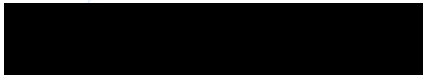
If require any further information, please do not hesitate to contact me directly.

We trust the above information will assist you in processing our application and look forward to the release of the development permit at your earliest convenience.

Regards,



Efrén González



OCTOBER 2018



Welcome to Your New Community Mailbox

Dear Customer,

A **set of keys** to your new Community Mailbox compartment will be delivered to your current mailbox. The **exact location** of the mailbox as well as your assigned **module and compartment numbers** will be indicated on the key pouch label.

The first day of mail delivery to your new Community Mailbox will be on Monday, October 15, 2018. Once you start receiving your mail and parcels in your new Community Mailbox, please discontinue the use of rural route designator (RR #) or site/compartment numbering and **start using your 9-1-1 municipal address as your mailing address**.

Effective October 15, 2018, your **new mailing address** is:

**13089 TWP RD 265
ROCKY VIEW COUNTY AB T4B 5B6**

Starting as early as October 15, 2018, please inform the businesses and individuals that send you mail and parcels of your new mailing address so that they can update their address records. To assist you with this change, **Change of Address cards**, which you can fill out and send to your mailers, are available free of charge from Airdrie Stn Main Post Office located at 2945 Kingsview Blvd SE.

While you notify your mailers of your new mailing address, Canada Post will forward mail bearing your old address to you for a period of one (1) year. This will ensure that none of your mail or parcels are misdelivered or returned to sender during or after the transition.

Please remove all mail and locks from your group mailbox the weekend immediately before October 15 as these boxes will be removed soon after the new community mailboxes are put into service. Any contents left in your old mailbox compartment will be removed and delivered to your new community mailbox compartment.

Holders of an Alberta Driver's license or Identification Card are required by law, to apply for a replacement card within 14 days of the change in address. Please present this letter from Canada Post to any registry agent location to receive a no charge updated license and registration. Note that you will be issued a temporary driver's license followed by an updated card in the mail. As only one letter per address will be provided, ensure that all permit holders in your household receive a copy of the original to be presented to the registry agent of your choice.

Thank you for your cooperation. We are committed to providing you with the best service possible. Should you require additional information, please contact the undersigned.

Malcolm Nevers | Delivery Services | Canada Post | 

OCTOBER 2018



262075 Rocky View Point
Rocky View County, AB, T4A 0X2

403-230-1401
questions@rockyview.ca
www.rockyview.ca

Scott - NW

Inspection Request

Roll #: 06528021 DP #: PRDP20203069

Applicant/Owner: Efran Gonzalez
Legal Description: Lot 1 Block 2 Plan 9811574, NE-28-26-01-05
Municipal Address: 13089 TWP RD 265, Rocky View County AB
Land Use: R-RUR
Reason for Inspection: Construction of an oversized Accessory Building with variances on height and size.

Inspection Report

Please check the visibility of new accessory building area to adjacent neighbours
Location of creek in proximity of building site to creek to the south.
Overall site condition.
Screening to adjacent neighbours, specifically west and south.

Date of Inspection: OCT 16, 2020

Permission granted for entrance? Yes

Observations:

- Site Staked
- No Construction Started
- Existing large accessory building on adjacent property
- No concerns at time of inspection.

Signature: _____

A large, stylized handwritten signature in blue ink, written over a horizontal line.





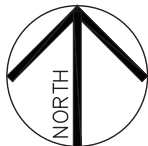








CLIENT SIGN-OFF:



PROJECT INFORMATION:

ZONING

R-2

LEGAL DESCRIPTION

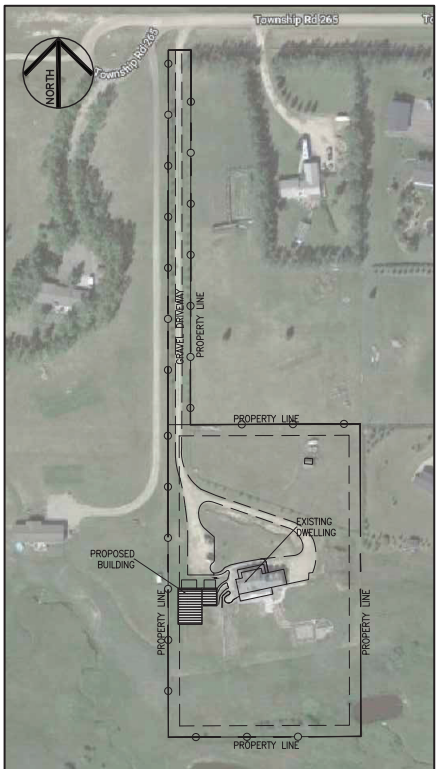
LOT 1, BLOCK 2, PLAN 987 1574

MUNICIPAL ADDRESS

13089, TOWNSHIP ROAD 265
M.D. OF ROCKY VIEW No. 44, ALBERTA

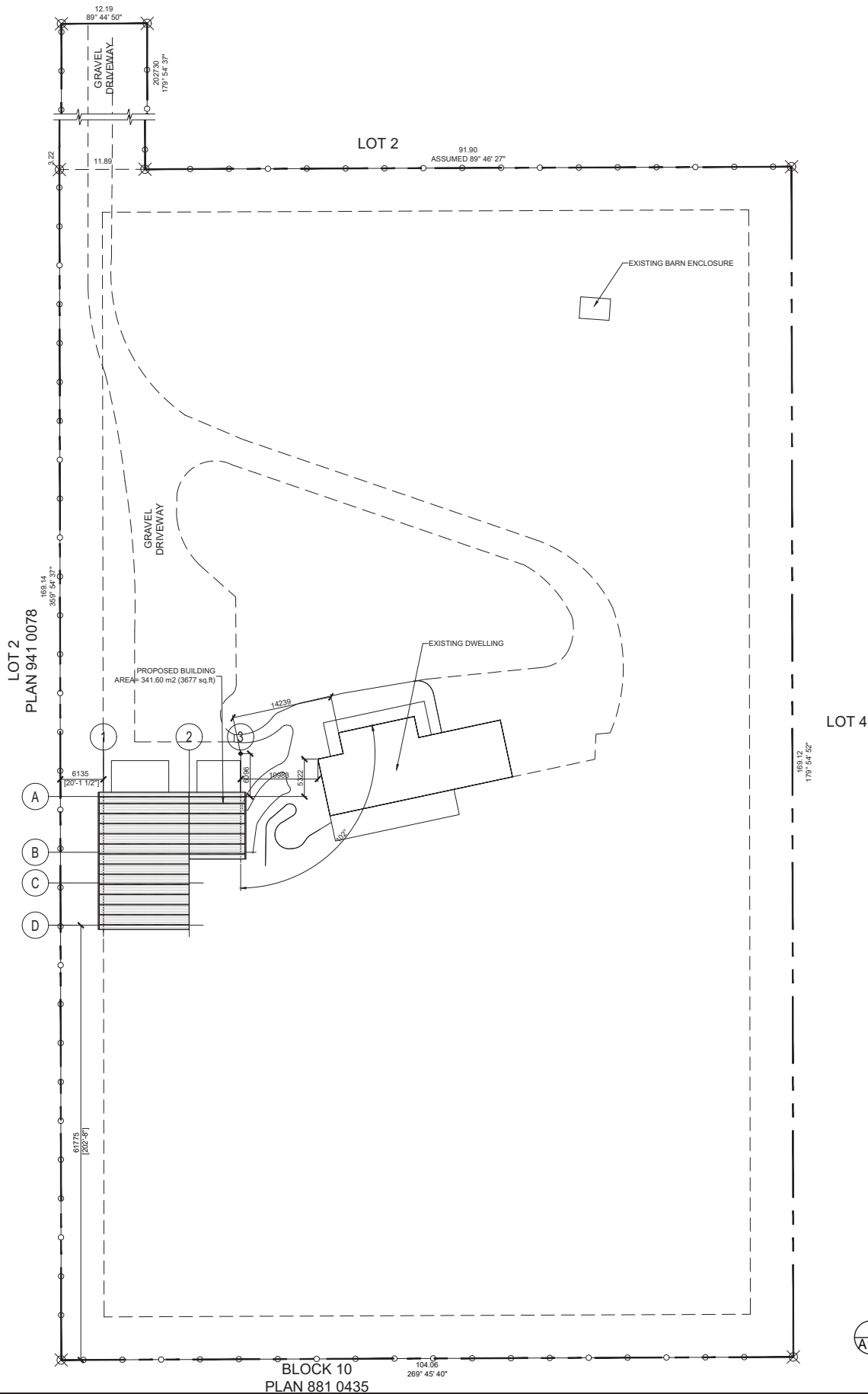
FLOOR AREA CALCULATIONS (GFA)

MAIN FLOOR	282.14 m2
SECOND FLOOR	59.47 m2
TOTAL	341.61 m2



2 KEY PLAN
A1.0 N/A


ISSUED
October 2, 2020



1 SITE PLAN
A1.0 1:300

THESE DRAWINGS ARE PROPRIETARY TO GOERTZEN COMPLETE SERVICES INC., AND ARE NOT TO BE DIVULGED NOR REPRODUCED IN ANY FORM WITHOUT EXPRESS WRITTEN PERMISSION FROM GOERTZEN COMPLETE SERVICES INC.

NOTE: SCALE SHOWN IS APPLICABLE ONLY WHEN PLOTTED ON 30" X 42" SIZED SHEET

	BY		CLIENT	DWG TITLE		NO.		REVISION		BY	DATE	PROJECT NO.
	DRAWN			SITE PLAN								DWG NO. A1.0
	CHECKED											
	PRODUCTION											
	DRAWING SCALE			1:300								
	GOERTZEN FILE NUMBER											
			PROJECT DESCRIPTION	UNIT TYPE		01		ISSUED FOR DEVELOPMENT PERMIT		EG	2020-10-02	

CLIENT SIGN-OFF:



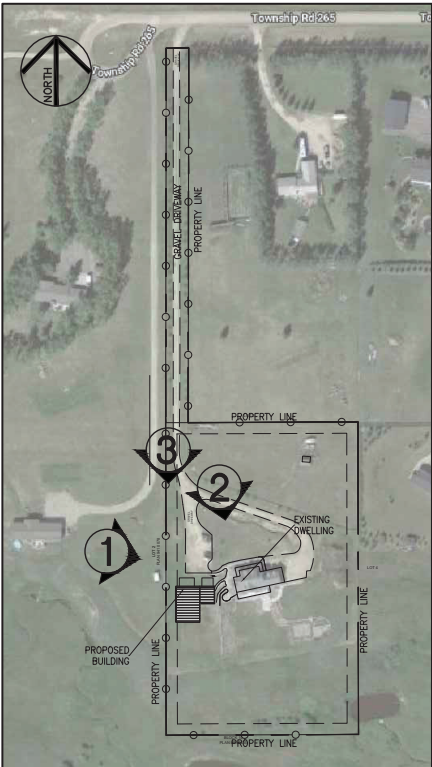
1



2



3



2 KEY PLAN FOR PHOTOS ONLY
A1.0 N/A

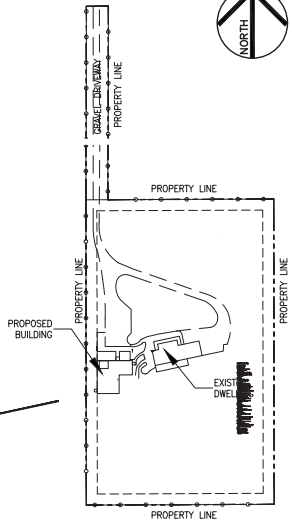
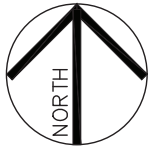
ISSUED
October 2, 2020

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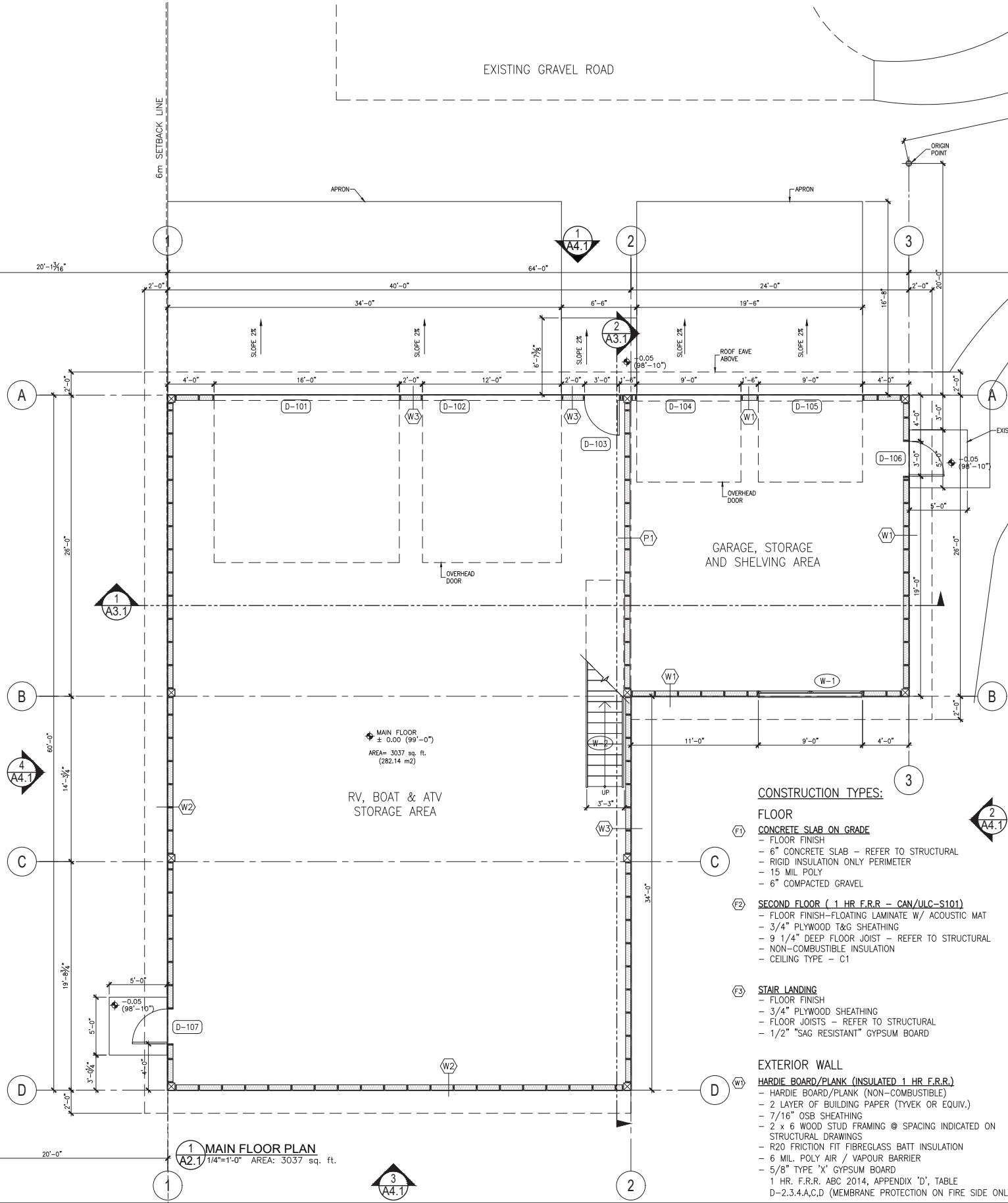
NOTE: SCALE SHOWN IS APPLICABLE ONLY WHEN PLOTTED ON 30" X 42" SIZED SHEET

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	DRAWN			SITE PHOTOS						
	CHECKED									
	PRODUCTION									
	DRAWING SCALE	1:300	PROJECT DESCRIPTION	UNIT TYPE						DWG NO. <div>A1.0a</div>
GOERTZEN FILE NUMBER					01	ISSUED FOR DEVELOPMENT PERMIT			EG	2020-10-02

CLIENT SIGN-OFF:



2 KEY PLAN
A2.1 N/A



1 MAIN FLOOR PLAN
A2.1 1/4"=1'-0" AREA: 3037 sq. ft.



CONSTRUCTION TYPES:

- FLOOR**
- F1 CONCRETE SLAB ON GRADE**
- FLOOR FINISH
 - 6" CONCRETE SLAB - REFER TO STRUCTURAL
 - RIGID INSULATION ONLY PERIMETER
 - 15 MIL POLY
 - 6" COMPACTED GRAVEL
- F2 SECOND FLOOR (1 HR F.R.R - CAN/U/LC-S101)**
- FLOOR FINISH-FLOATING LAMINATE W/ ACOUSTIC MAT
 - 3/4" PLYWOOD T&G SHEATHING
 - 9 1/4" DEEP FLOOR JOIST - REFER TO STRUCTURAL
 - NON-COMBUSTIBLE INSULATION
 - CEILING TYPE - C1
- F3 STAIR LANDING**
- FLOOR FINISH
 - 3/4" PLYWOOD SHEATHING
 - FLOOR JOISTS - REFER TO STRUCTURAL
 - 1/2" "SAG RESISTANT" GYPSUM BOARD
- EXTERIOR WALL**
- W1 HARDIE BOARD/PLANK (INSULATED 1 HR F.R.R.)**
- HARDIE BOARD/PLANK (NON-COMBUSTIBLE)
 - 2 LAYER OF BUILDING PAPER (TYVEK OR EQUIV.)
 - 7/16" OSB SHEATHING
 - 2 x 6 WOOD STUD FRAMING @ SPACING INDICATED ON STRUCTURAL DRAWINGS
 - R20 FRICTION FIT FIBREGLASS BATT INSULATION
 - 6 MIL. POLY AIR / VAPOUR BARRIER
 - 5/8" TYPE 'X' GYPSUM BOARD
 - 1 HR. F.R.R. ABC 2014, APPENDIX 'D', TABLE D-2.3.4.A,C,D (MEMBRANE PROTECTION ON FIRE SIDE ONLY)

CONSTRUCTION TYPES (CONT):

- W2 METAL CLADDING**
- 2 LAYER OF BUILDING PAPER (TYVEK OR EQUIV.)
 - 7/16" OSB SHEATHING
 - 2 x 6 WOOD STUD FRAMING
 - R20 FRICTION FIT FIBRE GLASS BATT INSULATION
 - 6 MIL. POLY AIR / VAPOUR BARRIER
 - METAL CLADDING
- W3 HARDIE BOARD/PLANK (NON COMBUSTIBLE)**
- 2 LAYER OF BUILDING PAPER (TYVEK OR EQUIV.)
 - 7/16" OSB SHEATHING
 - 2 x 6 WOOD STUD FRAMING
 - R20 FRICTION FIT FIBRE GLASS BATT INSULATION
 - 6 MIL. POLY AIR / VAPOUR BARRIER
 - METAL CLADDING
- PARTITIONS**
- P1 2X6 PARTITION**
- 5/8" GYPSUM BOARD
 - 2 x 6 WOOD STUD FRAMING
 - R20 FRICTION FIT FIBRE GLASS BATT INSULATION
 - METAL CLADDING
- P2 2X4 BATH PARTITION**
- 5/8" GYPSUM BOARD (BOTH SIDES)
 - 2 x 4 WOOD STUD FRAMING SPACING INDICATED ON STRUCTURAL DRAWINGS
- P3 2X6 BATH PARTITION**
- 5/8" GYPSUM BOARD
 - 2 x 6 WOOD STUD FRAMING
 - R20 FRICTION FIT FIBRE GLASS BATT INSULATION
 - METAL CLADDING
- CEILING**
- C1 TYPICAL CEILING @ GARAGE, STORAGE AND SHELVING AREA**
- 2 LAYERS 5/8" TYPE 'X' GYPSUM BOARD
 - 1 HR. F.R.R. ABC 2014, APPENDIX 'D', TABLE D-2.3.4.A,C,D (MEMBRANE PROTECTION ON FIRE SIDE ONLY)
- C2 METAL CLADDING**
- 6 MIL. POLY AIR / VAPOUR MEMBRANE BARRIER
 - R40 BLOW IN INSULATION


CONSTRUCTION TYPES (CONT):

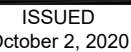
- C3 ENTERTAINMENT AREA CEILING**
- 2 LAYERS 5/8" TYPE 'X' GYPSUM BOARD
 - 1 HR. F.R.R. ABC 2014, APPENDIX 'D', TABLE D-2.3.4.A,C,D (MEMBRANE PROTECTION ON FIRE SIDE ONLY)
 - 6 MIL. POLY AIR / VAPOUR MEMBRANE BARRIER
 - R40 FRICTION FIT FIBRE GLASS BATT INSULATION
- ROOF**
- R1 ASPHALT SHINGLE ROOF (INSULATED)**
- ASPHALT SHINGLES
 - 5/8" OSB SHEATHING c/w "H" CLIPS
 - PRE-ENGINEERED ROOF TRUSSES
 - REFER TO STRUCTURAL
 - R 40 FIBREGLASS BATT INSULATION
 - 6 MIL. POLY AIR / VAPOUR MEMBRANE
 - CEILING TYPE

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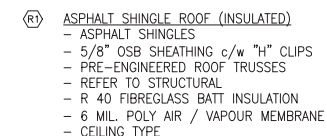
NOTE: SCALE SHOWN IS APPLICABLE ONLY WHEN PLOTTED ON 30" X 42" SIZED SHEET

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	PRODUCTION								
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 GOERTZEN COMPLETE SERVICES INC.	DRAWN	BY	CLIENT	DWG TITLE SECOND FLOOR PLAN	NO.	REVISION	BY	DATE	PROJECT NO.
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 GOERTZEN COMPLETE SERVICES INC.	BY		CLIENT	DWG TITLE ROOF PLAN	NO.		REVISION		BY	DATE	PROJECT NO.	
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					A	ISSUED FOR DEVELOPMENT PERMIT		EG	2020-10-02			

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CONSTRUCTION TYPES:

FLOOR

- (F1) **CONCRETE SLAB ON GRADE**
- FLOOR FINISH
 - 6" CONCRETE SLAB - REFER TO STRUCTURAL
 - RIGID INSULATION ONLY PERIMETER
 - 15 MIL POLY
 - 6" COMPACTED GRAVEL
- (F2) **SECOND FLOOR (1 HR F.R.R - CAN/ULC-S101)**
- FLOOR FINISH-FLOATING LAMINATE W/ ACOUSTIC MAT
 - 3/4" PLYWOOD T&G SHEATHING
 - 9 1/4" DEEP FLOOR JOIST - REFER TO STRUCTURAL
 - NON-COMBUSTIBLE INSULATION
 - CEILING TYPE - C1
- (F3) **STAIR LANDING**
- FLOOR FINISH
 - 3/4" PLYWOOD SHEATHING
 - FLOOR JOISTS - REFER TO STRUCTURAL
 - 1/2" "SAG RESISTANT" GYPSUM BOARD

EXTERIOR WALL

- (W1) **HARDIE BOARD/PLANK (INSULATED 1 HR F.R.R.)**
- HARDIE BOARD/PLANK (NON-COMBUSTIBLE)
 - 2 LAYER OF BUILDING PAPER (TYVEK OR EQUIV.)
 - 7/16" OSB SHEATHING
 - 2 x 6 WOOD STUD FRAMING @ SPACING INDICATED ON STRUCTURAL DRAWINGS
 - R20 FRICTION FIT FIBREGLOSS BATT INSULATION
 - 6 MIL. POLY AIR / VAPOUR BARRIER
 - 5/8" TYPE 'X' GYPSUM BOARD
 - 1 HR. F.R.R. ABC 2014, APPENDIX 'D', TABLE D-2.3.4.A,C,D (MEMBRANE PROTECTION ON FIRE SIDE ONLY)
- (W2) **METAL CLADDING**
- 2 LAYER OF BUILDING PAPER (TYVEK OR EQUIV.)
 - 7/16" OSB SHEATHING
 - 2 x 6 WOOD STUD FRAMING
 - R20 FRICTION FIT FIBRE GLASS BATT INSULATION
 - 6 MIL. POLY AIR / VAPOUR BARRIER
 - METAL CLADDING
- (W3) **HARDIE BOARD/PLANK (NON COMBUSTIBLE)**
- 2 LAYER OF BUILDING PAPER (TYVEK OR EQUIV.)
 - 7/16" OSB SHEATHING
 - 2 x 6 WOOD STUD FRAMING
 - R20 FRICTION FIT FIBRE GLASS BATT INSULATION
 - 6 MIL. POLY AIR / VAPOUR BARRIER
 - METAL CLADDING

PARTITIONS

- (P1) **2X6 PARTITION**
- 5/8" GYPSUM BOARD
 - 2 x 6 WOOD STUD FRAMING
 - R20 FRICTION FIT FIBRE GLASS BATT INSULATION
 - METAL CLADDING
- (P2) **2X4 BATH PARTITION**
- 5/8" GYPSUM BOARD (BOTH SIDES)
 - 2 x 4 WOOD STUD FRAMING SPACING INDICATED ON STRUCTURAL DRAWINGS
- (P3) **2X6 BATH PARTITION**
- 5/8" GYPSUM BOARD
 - 2 x 6 WOOD STUD FRAMING
 - R20 FRICTION FIT FIBRE GLASS BATT INSULATION
 - METAL CLADDING

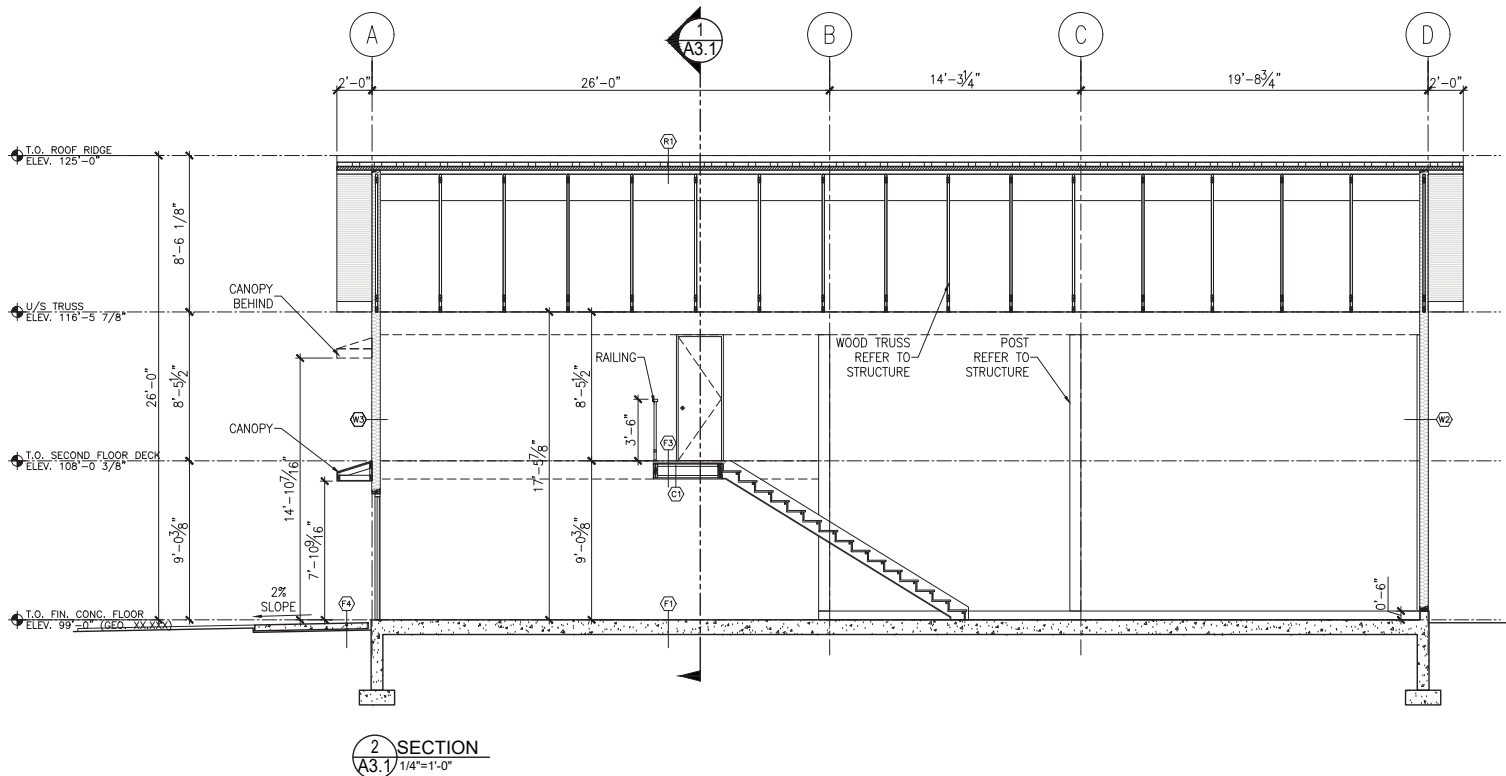
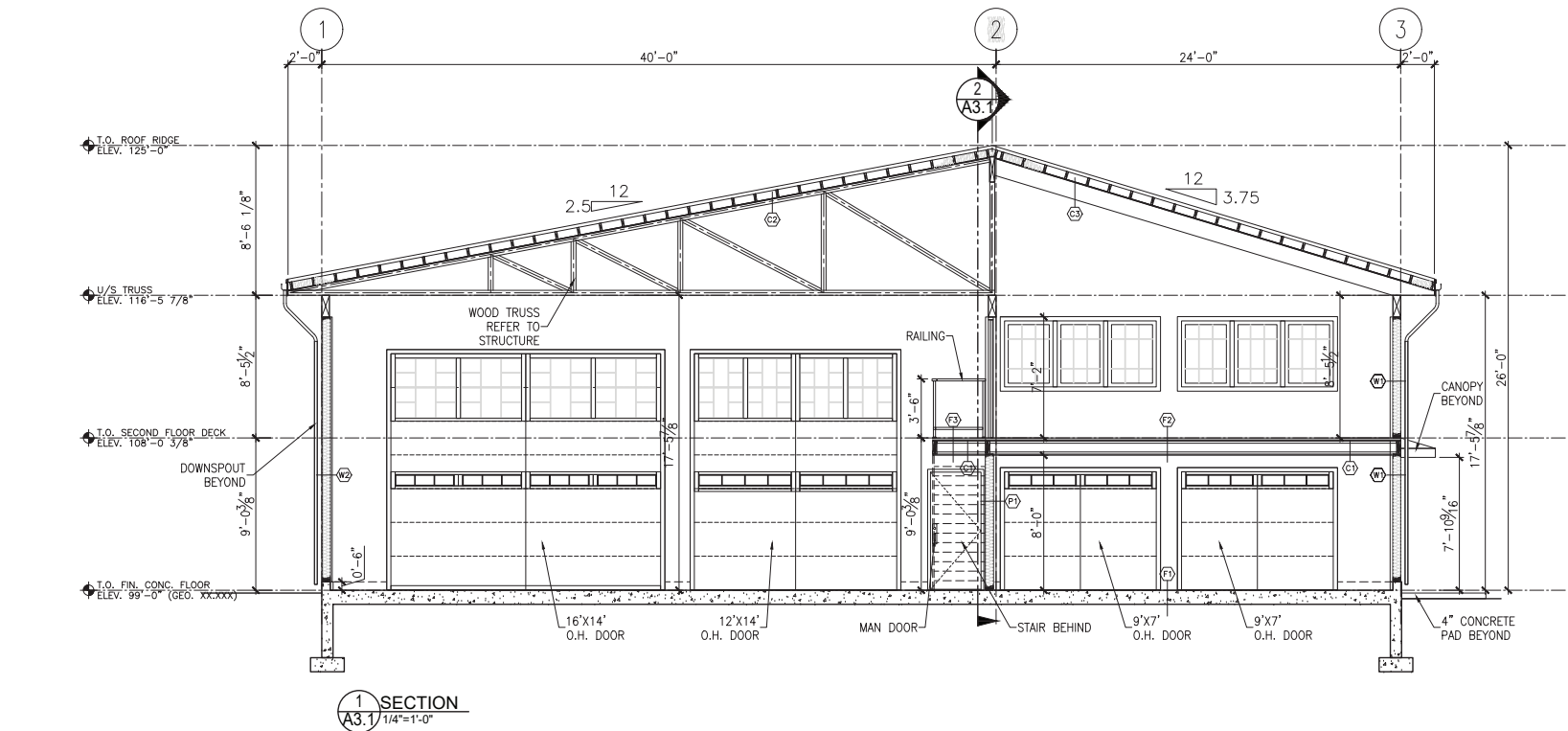
CEILING

- (C1) **TYPICAL CEILING @ GARAGE, STORAGE AND SHELVING AREA**
- 2 LAYERS 5/8" TYPE 'X' GYPSUM BOARD
 - 1 HR. F.R.R. ABC 2014, APPENDIX 'D', TABLE D-2.3.4.A,C,D (MEMBRANE PROTECTION ON FIRE SIDE ONLY)
- (C2) **METAL CLADDING**
- 6 MIL. POLY AIR / VAPOUR MEMBRANE BARRIER
 - R40 BLOW IN INSULATION
- (C3) **ENTERTAINMENT AREA CEILING**
- 2 LAYERS 5/8" TYPE 'X' GYPSUM BOARD
 - 1 HR. F.R.R. ABC 2014, APPENDIX 'D', TABLE D-2.3.4.A,C,D (MEMBRANE PROTECTION ON FIRE SIDE ONLY)
 - 6 MIL. POLY AIR / VAPOUR MEMBRANE BARRIER
 - R40 FRICTION FIT FIBRE GLASS BATT INSULATION

ROOF


- (R1) **ASPHALT SHINGLE ROOF (INSULATED)**
- ASPHALT SHINGLES
 - 5/8" OSB SHEATHING c/w "H" CLIPS
 - PRE-ENGINEERED ROOF TRUSSES
 - REFER TO STRUCTURAL
 - R 40 FIBREGLOSS BATT INSULATION
 - 6 MIL. POLY AIR / VAPOUR MEMBRANE
 - CEILING TYPE

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October 2, 2020



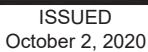
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					A	ISSUED FOR DEVELOPMENT PERMIT		EG	2020-10-02	A3.1




- 1 SIDING MAIBEC CANEXEL (SCOTIA BLUE)
- 2 ASPHALT ROOF SHINGLES (GREY)
- 3 HARDIE TRIM (WHITE)
- 4 METAL CLAD PVC WINDOW FRAMING
W/ LOW-E COATED CLEAR GLASS
- 5 INSULATED STEEL DOOR
- 6 INSULATED O/H STEEL DOOR
- 7 METAL CLADDING

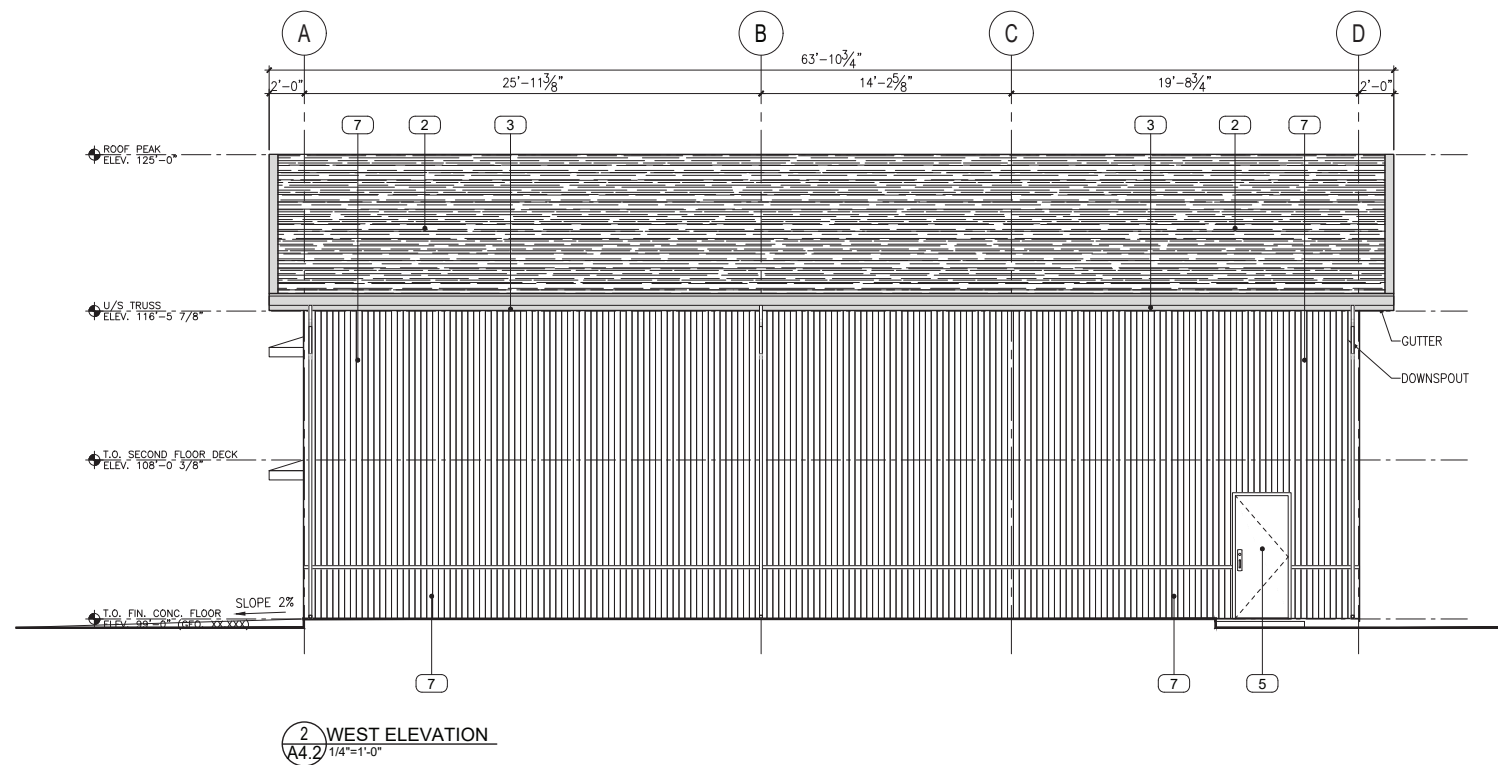
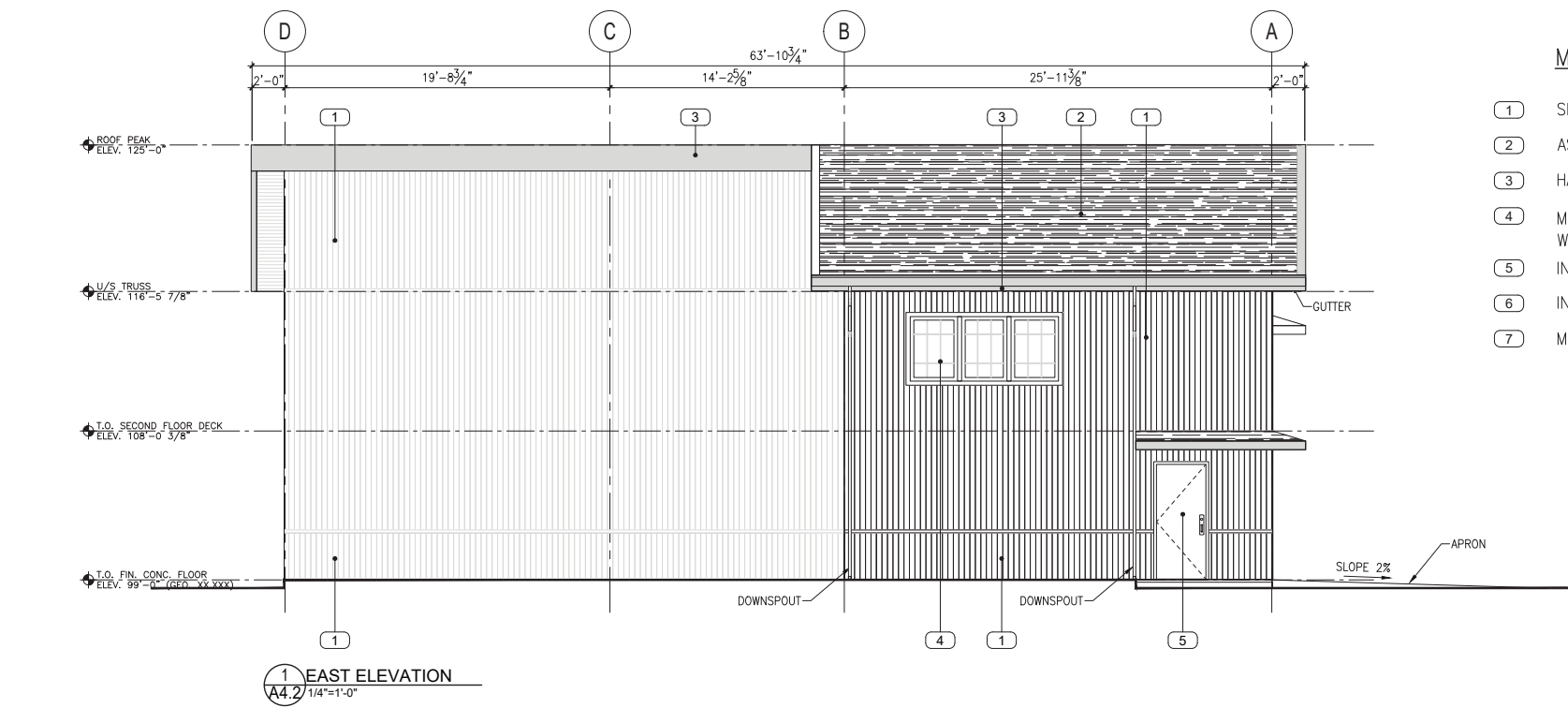


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<div></div> <div>GOERTZEN COMPLETE SERVICES INC.</div>		BY	CLIENT	DWG TITLE	NO.	REVISION	BY	DATE	PROJECT NO.
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