

PLANNING AND DEVELOPMENT SERVICES

TO: Municipal Planning Commission

DATE: November 26, 2020

DIVISION: 4

APPLICATION: PRDP20201822

SUBJECT: Development Item: School, Public or Separate

USE: Discretionary use, with Variances

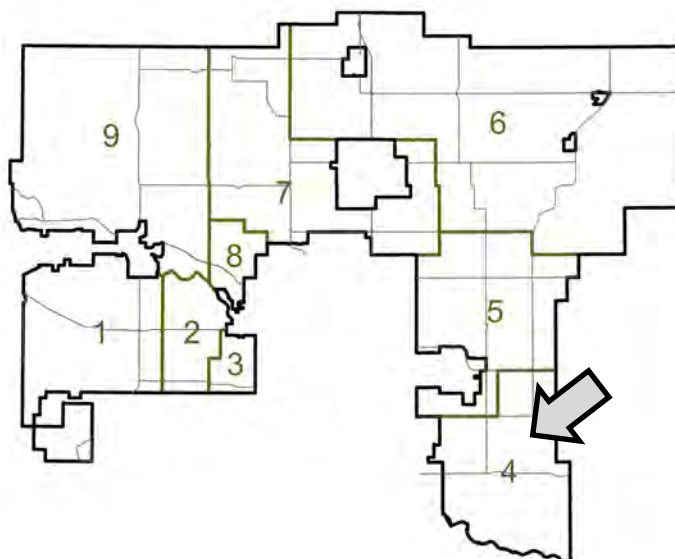
APPLICATION: Construction for a School, Public, relaxation of the maximum height requirement and signage

GENERAL LOCATION: Located in the hamlet of Langdon.

LAND USE DESIGNATION: Public Service District (PS) under Land Use Bylaw C-4841-97.

ADMINISTRATION RECOMMENDATION:
Administration recommends Approval in accordance with Option #1.

VARIANCE SUMMARY:



Variance	Requirement	Proposed	Percentage (%)
Building Height	10.00 m (32.81 ft.)	11.75 m (38.55 ft.)	17.50%

OPTIONS:

Option #1: THAT Development Permit Application PRDP20201822 be approved with the conditions noted in the Development Permit Report, attached.

Option #2: THAT Development Permit Application PRDP20201822 be refused as per the reasons noted.

AIR PHOTO & DEVELOPMENT CONTEXT:



Administration Resources

Althea Panaguiton - Planning and Development Services

DEVELOPMENT PERMIT REPORT

Application Date: July 6, 2020	File: 03222206
Application: PRDP20201822	Applicant/Owner: Chris Woollard/Trent Franson [ONPA Architects]
Legal Description: Lot 3, Block 2, Plan 0813156, SE-22-23-27-04	General Location: Located in the hamlet of Langdon
Land Use Designation: Public Services District (PS) under Land Use Bylaw C-4841-97.	Gross Area: ±17.76 hectares (±43.88 acres)
File Manager: Althea Panaguiton	Division: 4

PROPOSAL:

The proposed development is for a construction of a Public School, Junior / Senior High School for Grades 7 – 12 on the Langdon Joint Use Site, co-owned by Rocky View County and Rocky View Schools. The proposed building is 8,465.00 sq. m. (91,116.50 sq. ft.) in size with an opening day capacity of 1,004 students.

The proposed school building will also include associated parking, internal site vehicle circulation, and landscaping. It will be serviced through existing piped water and waste services, which is subject to payment of connection fees. Access to the site is from Mowat Street, which is paved and appears to have minimal off-site improved required to support the development.

The applicant has also requested variances to the proposal with respect to the maximum height of the building and the number of parking stalls required.

Height:

The maximum height is proposed to be varied to accommodate a requirement by Alberta Education of a minimum clear unobstructed height of 8.00 m (26.24 ft.) in the gymnasium. By combining the minimum clearance height, roof supporting structure, roof structure, and required parapets, results in the current/proposed building height.

- Maximum Required Height: 10.00 m (32.81 ft.)
- Maximum Proposed Height: 11.75 m (38.54 ft.).
- **Proposed Variance: 17.50 %.**

Parking:

The Applicant proposes to relax the parking requirements and states that a recreation centre will be constructed adjacent to the high school in the future with shared parking for both facilities. The applicant has indicated that these parking stalls can be added at a later time to coincide with the development of the future recreation centre. In the interim, additional parking stalls are available directly adjacent to the site on the east side of the property shared with the quad ball diamond facility. Administration does not have any further concerns at this time.

- Required Number of Stalls: 271
- Proposed Number of Stalls: 215

- The existing parking stalls is located on the same property and can accommodate the required stalls. A variance is not required.

SECTION 8 Definitions

SCHOOL, PUBLIC OR SEPARATE means a place of instruction operated with public funds pursuant to the School Act.

The proposed development is consistent with the definition of a school, public or private.

SECTION 19 Applicability

- 19.1 *Within each Section of Part 3: General Regulations, the regulations under the sub-heading of “Business Development” shall apply to the following land use districts: C-PT, C-VC, C-LC, C-RC, B-HF, B-BC, B-IC, I-IA, I-S, B-RD, B-LR, B-AS, C-SC.*

Public Service is not one of the land use districts identified within Section 19.1; therefore, any regulations specified as “business development” will not be applied to the development.

- 19.2 *The General Regulations shall apply to all land and development in the County, unless otherwise exempted in this Part.*

To be applied throughout the report.

SECTION 65 Public Services District (PS)

- 65.1 *Purpose and Intent*

The purpose and intent of this District is to provide for the development of Institutional, Educational and Recreational uses.

The proposed development is consistent with the purpose and intent of the Public Service District, as it is construction of an institutional use (school).

- 65.3 *Uses, Discretionary*

School, Public or Separate

A School, Public or Separate is listed as a discretionary use and requires a development permit.

- 65.5 *Minimum Requirements*

- b) *Yard, Front (on all parcels except those within a Hamlet):*

(iii) 15.00 m (49.21 ft.) from any road, internal subdivision; (Mowat St.)

Proposed: 38.70 m

- c) *Yard, Side (on all parcels except those within a Hamlet):*

v) 6.00 m (19.69 ft.) from all other

Proposed: Lots/Lots

- d) *Yard, Rear: (on all parcels except those within a Hamlet):*

ii) 15.00 m (49.21 ft.) all other

Proposed: Lots

- 65.6 *Maximum Requirements*

- a) *Maximum Height:*

i) 10.00 m (32.81 ft.) - principal building

Proposed: 11.75 m $\{(11.75 \text{ [east]} + 11.75 \text{ [north]} + 11.75 \text{ [west]} + 11.75 \text{ [south]})/4\}$

- Variance required: **17.50%** $\{(11.75-10.00)/10.00\} * 100.00\%$

The proposed height exceeds the permitted height for a principal building by 1.75 m (5.74 ft.).

SECTION 12 Decisions on Development Permit Applications

12.2 Use, Discretionary Applications

65.7 Special Requirements

A minimum of 10% of the site area shall be landscaped.

- Parcel size: 17.72 ha (43.79 ac)
- Required: $\{43.79 \text{ acres} * 0.10 = 4.38 \text{ acres} (17,721.18 \text{ sq. m})\}$
- Proposed: No specific amount is identified; however, the site is a school and at least half of the property is grassed.

SECTION 26 Landscaping, Screening and Outdoor Display Areas

26.1 *The Development Authority may prescribe or approve screening for uses which involve the outdoor storage of goods, machinery, vehicles, motor, building materials, waste materials, and other similar uses, or where other landscaping and screening requirements would be appropriate as determined by the Development Authority.*

Not applicable – no such uses are proposed.

26.2 *The Development Authority, when considering a Development Permit application, may impose conditions requiring the use and maintenance of landscaping, berms, fencing, vegetation, or other screening of a location, length, thickness, type, height, and extent that is considered necessary to buffer the proposed development from adjacent or neighbouring land uses.*

Not required – the site area has been identified as a school site in Langdon. Further, residential development south of the subject lands also proposed green space that will also act as buffer between the parcels.

26.3 *All trees/shrubs and tree/shrub planting required pursuant to this section shall be hardy to the Calgary Region and shall be required to conform to the following:*

- evergreen shrubs shall be at least 40.00 cm (15.70 in.) in height when planted. Deciduous shrubs shall be at least 60.00 cm (23.60 in.) height when planted;*
- the proportion of deciduous to evergreen trees shall be approximately 60:40, unless the Landscaping Plan is designed by a registered professional Landscape Architect; and*
- trees required shall be at least 4.50 cm (1.77 in.) calliper for deciduous trees, and at least 2.00 m (6.56 ft.) in height for evergreen trees.*

The Landscape Plan (L.1) shows the following proposed trees/shrubs:

	Bylaw	Proposed	Amount
Deciduous Tree	4.50 cm (calliper)	6.0 cm	68

Coniferous Tree	2.00 m (height)	2.00 m	48
Coniferous shrubs	40.0 cm (height)	45.0 cm	94
Deciduous Shrub	60.0 cm (height)	60.0 cm	207

Required ratio: 60:40 (70 deciduous: 46 coniferous)

Proposed landscaping:

- Deciduous = 68 trees & 207 shrubs (6 of the 207 deciduous shrubs can be counted as 2 trees to meet the minimum requirement).
- Coniferous (proposed) = 48 trees & 94 shrubs
 - Total = 116 trees and 309 shrubs.
- At least 10% of landscaping is proposed for this development which meets the regulations of Section 26.

26.9 *Potable water should not be used for the irrigation of landscaping plantings and vegetation.*

To be identified as a permanent condition.

26.10 *Plantings should be placed in a minimum of 6 inches' depth of landscaping soil.*

The landscaping detail (L.2) states a minimum of 150 mm depth top soil.

SECTION 27 Lighting of Sites/Developments

27.1 *All outdoor lighting for any development shall be located and arranged so that no direct rays of light are directed at any adjoining properties, interfere with the use and enjoyment of neighbouring lands, or interfere with the effectiveness of any traffic control devices or the vision/safety of motorists.*

The applicant has provided an exterior lighting cutsheets, it was indicated that proposed lighting will include the XTOR crosstour LED and McGraw Edison – gleon galleon LED – both of which are downward directed and fully-shielded.

A lighting plan will be required as prior to issuance condition to confirm location of all lighting.

SECTION 30 Parking and Loading

30.1 *Off-Street Vehicle, Motor Parking*

- a) *Where residential, business, and **institutional** development is proposed, off-street vehicle, motor parking, shall be provided and maintained by the property Owner in accordance with the requirements of this Bylaw.*

Number of Spaces

- b) *The minimum number of off-street vehicle, motor parking stalls required for each use class is specified in the Parking Schedule (Schedule 5). Where the use is not listed in Schedule 5 of this Bylaw, the number of spaces shall be determined by the Development Authority, having regard for similar uses listed in Schedule 5 and the estimated traffic generation and attraction of the proposed use.*

**SCHEDULE 5 Parking Schedule**

Type of Development (Land Use)	Required Parking Spaces
Institutional and Basic Service	
<ul style="list-style-type: none"> School, Junior High 	2.5 per classroom; or 1 per 6 seating spaces (non-fixed) in any gymnasium or auditorium (whichever is greater); plus 2 per classroom for 'flow-through' parking.
<ul style="list-style-type: none"> School, Senior High 	8 per classroom; or 1 per 4 seating spaces (non-fixed) in any gymnasium or auditorium (whichever is greater)

- c) Where calculation of the total number of parking stalls yields a fractional number, the required number of spaces shall be the next highest whole number.
- d) Where more than one calculation of parking stall requirements is specified for a land use, the greater requirement shall be applied.
- h) Parking stall for the disabled:
- (i) shall be provided in accordance with the Alberta Building Code;
 - (ii) shall be designated as parking stall for the disabled using appropriate signage in accordance with Provincial standards; and
 - (iii) shall be included in the calculation of the applicable minimum parking requirement.

ALBERTA BUILDING CODE 2014

3.8.22. (4) A parking stall intended for use by persons using a wheelchair or other mobility shall (a) be designed as a 2.40 m wide parking stall adjacent to a 2.40 m wide access aisle where the access aisle is demarcated to indicate no parking and (c) be clearly marked and identified by (i) a vertically mounted sign, located near the centre line of each designated stall and (ii) the international symbol of access painted on the pavement,

Table 3.8.2.5 – Designated Parking Spaces (Alberta Building Code 2014)	
Number of Parking Stalls Required	Number of Designated Stalls for use by Person with Physical Disabilities
2 – 10	1
11 - 25	2
26 – 50	3
51 – 100	4
For each additional increment of 100 or part thereof	One additional stall



Total # of Seat Spaces	Use	Land Use Bylaw Requirement (Regular)	Required Parking Spaces
445	School, Junior High	1 per 6 seating spaces (non-fixed) in any gymnasium or auditorium	74
668	School, Senior High	1 per 4 seating spaces (non-fixed) in any gymnasium or auditorium	167

PLUS

Total # of Permanent Classrooms	Use	Land Use Bylaw Requirement (Flow-Through)	Required Parking Spaces
15	School, Junior High	2.0 stalls/classroom	30
		TOTAL PARKING REQUIRED	271

Required: 271 parking stalls are required for the proposed development; requiring at least 6 barrier free parking stalls. * Calculations based on gymnasium space of 25.60 m x 32.60 m = 834.56 sq. m. with 0.75 sq. m. per seat; therefore, total of 1,113 seats.

Location

Note that location of parking stalls is only identified for residential use classes, which requires that all off-street parking shall be located on the site of the development serviced by the parking, and shall be subject to all setbacks and yard requirements specified elsewhere in the Bylaw (Section 30.1 (j) (i)).

Size

k) *Each required off-street parking stall shall conform to the following provisions:*

- i) *except as provided in this clause below, each required space shall be a minimum of **2.59 m (8.53 ft.) in width** and a minimum of **5.48 m (18.04 ft.) in length**, exclusive of access driveways, aisles, ramps, columns, or work areas;*

Proposed Parking:

Applicant states that the current breakdown of the school will be 40% junior high and 60% high school students.

Parking Type	Length (m)	Width (m)	Aisle Width/ Access Aisle (m)	Number
Permanent (Perpendicular stalls)	5.48	2.70	≥ 7.00	209
Accessible stalls	5.48	2.70	≥ 2.70	6

Total	-	-	-	215
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Notes:

- The site plan notes approximately 22 drop off stalls (11 - bus drop off, 11 - student drop off) – these stalls do not count towards parking as they are used predominantly for loading.
- The applicant is requesting a variance on the parking requirement, based on the information calculated above, they require additional 56 stalls. On the cover letter provided, the reason for the discrepancy is that they anticipate that the school and the future recreation centre will share a parking lot as identified on the site drawings. Their concern states that should all the stalls be constructed with the school, it will be damaged during the construction of the recreation centre.
 - In the interim, the applicant proposes to mitigate parking requirements through the use of the existing parking lot on the other side of Mowat Road as overflow; this site is part of the Joint Use Lands and of the subject parcel.
 - The recreation centre is not an active project and there is no specific construction date for the facility.
 - It appears that there is sufficient parking on the other side of the street to accommodate the rest of the parking requirement therefore a variance is not required.
 - Maintenance and operation of the parking stalls for the purposes of school us can be finalized during the Joint Use Site Agreement discussions with Rocky View County and Rocky View Schools.

30.2 Off-Street Loading

- a) *Where any business or **institutional** development is proposed, including a new development, change of use of existing development, or substantial enlargement of existing development, off-street loading space shall be provided and maintained by the property Owner in accordance with the requirements of this Bylaw.*

Number of Spaces

- b) *The number of off-street loading spaces required for each use class is specified in the Loading Schedule (Schedule 6). Where the use is not listed in Schedule 6 of this Bylaw, the number of spaces shall be determined by the Development Authority, having regard for similar uses listed in Schedule 6 and the estimated loading needs of the proposed use.*

SCHEDULE 6 Loading Schedule

Type of Development (Land Use)	Required Loading Spaces
▪ Institutional and Basic Services (not listed separately)	1 per 2,800 m ² or fraction thereof

Location

- f) *Off-street loading space shall be provided entirely within the property of the development being served, and shall be subject to all setbacks and yard requirements specified elsewhere in this Bylaw.*

Proposed drop-off area is on the subject lands.

Size and Access

- g) *Each off-street loading space shall be of adequate size and accessibility to accommodate the vehicles, motor expected to load and unload, but in no case shall a loading space be less than **28.00 sq. m (301.39 sq. ft.) in area**, less than **4.00 m (13.12 ft.) in width**, or have less than 3.70 m (12.13 ft.) in overhead clearance.*

Proposed drop-off area meets this requirement.

- h) *Access to any loading area shall be arranged so that no backing or turning movement of vehicles, motor going to or from the site causes undue interference with traffic on the adjoining or abutting streets or lanes.*

Loading Assessment

Total Foot Print (sq. m)	Land Use Bylaw Requirement	Required Parking Spaces
5,805 sq. m.	1 per 2,800 m2 or fraction thereof	2.00

There is no definition of “loading space” in the Land Use Bylaw. For this particular institutional use, loading spaces will be considered as the school bus and student loading at the front entrance of the school and the student drop off area (identified on the site plan sheet no. 110). These spaces are located such that they will not impede with other vehicular movement and will not interfere with traffic flow on adjoining/abutting sites.

	Width (m)	Area (sq. m)	Number
Existing loading space (school bus and student loading zone)	13.00 bus drop off	35.10	22
	5.48 student drop off	14.80	(11 - bus drop off; 11 - student drop off)

30.3 Development Standards

Vehicle, Motor and Vehicle, Recreation Parking, and Loading

- e) *Every off-street parking or loading area which is illuminated shall have all lighting positioned in such a manner that ambient light falling onto abutting properties is minimized.*

The applicant has provided an exterior lighting cutsheets, it was indicated that proposed lighting will include the XTOR crosstour LED and McGraw Edison – gleon galleon LED – both of which are downward directed and fully-shielded.

- f) *Disabled parking shall be located as close to a main building entrance as possible.*



Four of current accessible parking stalls are located at the east building façade and closed to the CTS classroom entrance area. The curbs are also rolled to allow for ease of access to the main administration building.

There is also two designated barrier free stalls dedicated on site in front of the Administration building.

g) Any trash storage or collection area co-existing with any parking or loading area:

- i) shall be clearly delineated as separate and in addition to required parking and loading spaces;*
- ii) shall be located such that collection vehicles can gain access without undue interference with the operation of the parking or loading area;*
- iii) shall have a fenced or landscaped screen (as defined in this Bylaw) of length, thickness, and height sufficient to provide substantial interruption of view from ground elevation to a height of 1.85 m (6.07 ft.).*

Applicant has identified general location of garbage and receptacle area within the parking lot area – specific details were not included. The development permit condition set reflects the requirement of the Land Use Bylaw.

30.4 General Provisions

g) Schools shall be designed to accommodate all buses on-site without reducing the provisions for parking and loading.

The school site has designated on-site loading space for 11 buses.

SECTION 35 SIGN REGULATIONS

35.1 In considering a Development Permit application for signs, or advertising material, the Development Authority may consider such factors as: location of the proposed signage; distance from roadway; size; height; method of illumination; such other considerations as the Development Authority may deem to be relevant.

Façade signage is shown on the drawings that depicts the name and address of the school. Prior to issuance condition requests details on this signage.

Additionally, the site plan shows a pylon sign for the school however, applicant states this signage is not included for this application as it will be applied for separately by the school admin.

SECTION 42 SHELTER BELTS AND FENCES

42.3 No fence higher than 2.00 m (6.56 ft.) shall be erected in any District unless the Development Authority has determined that:

- a) the fence is required as part of the principal use of the site that the fence is to enclose;*
- b) the fence would not interfere with the amenities of the neighbourhood; and*
- c) the fence would not materially interfere with or affect the use, enjoyment, or value of neighbouring properties.*
 - Decorative fencing is proposed no higher than 1.83 m (6.00 ft.)
 - Post and cable fence will surround the parking lot area and along the north property line– height will not exceed 0.90 m (3.00 ft.)

STATUTORY PLANS:

Langdon Area Structure Plan

- The ASP recognizes that the subject parcel as the Langdon Secondary School Site and Park and it is to be developed as Joint Use Site between Rocky View Schools and Rocky View County. The proposal meets the intention of the ASP as it is identified as a future site for a secondary school.

Land Use Bylaw C-4841-97

- As the application was submitted prior to September 8, 2020, the application was assessed in accordance to the regulations of Land Use Bylaw C-4841-97.

INSPECTOR'S COMMENTS:

August 5, 2020

- Site graded and mostly flat. Site has access to a municipal road and there is no signage. Site is screened from Twp Rd 283A by a line of deciduous trees. Some stock piling of fill in the middle site. Fire hydrant on site.

CIRCULATIONS: Requested comments by August 21, 2020

Alberta Transportation

- In reviewing the application, the proposed development does not fall within the control distance of a provincial highway as outlined in the *Highways Development and Protection Act / Regulation*, and will not require a roadside development permit from Alberta Transportation.
- Alberta Transportation expects that the municipality will mitigate the impacts of traffic generated by developments approved on the local road connections to the highway system, pursuant to Policies 8.37, 8.38, and 8.39 of the South Saskatchewan Regional Plan, and Section 622(1) of the *Municipal Government Act*. Specifically, the impacts to the Highway 560/Centre Avenue intersection.
- In order to facilitate the mitigation of these impacts of development on the provincial highway system, the department recommends off-site levies for transportation infrastructure pursuant to Section 648(2)(c.2) of the *Municipal Government Act*. The department further notes willingness to work with the municipality on any requirements of Section 3.1 of the Off Site Levy Regulations for "transportation infrastructure" should the municipality choose to adopt off-site levies for transportation infrastructure.

City of Chestermere

- Location: Located in the Hamlet of Langdon; approximately, 0.20 km (1/8 mile) south of Railway Ave West and west of Centre St. South
- We've reviewed the circulation file and have no concerns.

Building Services Review

- Building Services Comments:
 1. Advisory Condition - Provide 3.2.2 Building Code Classification to Building Services at BP application.
 2. Advisory Condition - Provide Hydrant to Siamese connection/principal entrance dimensions on the site plan.



3. Advisory Condition – Provide Access Routes design as per article 3.2.5.6., including centerline turning radius and clear widths.
4. Advisory Condition – Water supply must conform to Article 3.2.5.7. NBC 2019 AE.

Development Compliance Officer Review

- Development Compliance has no comments or concerns with respect to the attached application.

Planning and Development Services - Engineering Review

General

- Prior to issuance, the applicant will be required to submit a construction management plan addressing noise mitigation measures, traffic accommodation, sedimentation and dust control, management of stormwater during construction, erosion and weed control, construction practices, waste management, firefighting procedures, evacuation plan, hazardous material containment and all other relevant construction management details;
- Prior to issuance, the applicant shall provide a site servicing plan showing the proposed water, wastewater and storm water tie-ins and all other utilities needed to service the site. The applicant shall contact Rocky View Utilities Corp. to schedule inspections at appropriate stages of construction.
- As a permanent condition, the applicant shall dedicate all necessary easements and ROWs for utility line assignments and provide for the installation of all underground shallow utilities with all necessary utility providers to the satisfaction of the County.
 - Power for the site is made available via existing conduits under Mowat St.
 - Gas for the site is available via Railway Ave.
 - Piped Sanitary and Stormwater stubs are available for use for the site.

Geotechnical:

- A Geotechnical Assessment by WSP Canada Inc. dated March 2016 and a Geotech Evaluation by Tetra Tech Canada Inc. dated May 2020 was prepared for this site. As a permanent condition, the applicant is required to adhere to the recommendations in these reports.

Transportation:

- As per GIS review and the submitted plans, the site gains access via Mowat Street, which is a paved county road.
- As per the Joint Use Site Transportation Study 2016 prepared by WATT Consulting the current two lane collector road for Railway Ave and the Access-road to the school is sufficient and the access intersection off Railway Ave will operate as a stop controlled intersection at a satisfactory Level of Service.
- As part of the application, the applicant provided the Langdon 7-12 School Transportation Review and Traffic Impact Assessment dated May 2020 and a supplementary Technical Memo addressing follow-up questions dated October 28, 2020 both by Tetra Tech Canada Inc. As per the memo, addition of north/south stop signs at the intersection of Township Road 233A and Centre Street as well as a stop sign on north bound Mowatt Street to Township Road 233A are recommended. The applicant shall be required to coordinate the installation of these (3) signs with County Road Operations. The report provided an assessment of the Site Plan including the drop off areas and the over all movement through the site. Engineering recommends that the



applicant consider the suggested revisions and/or modifications as prescribed in the memo for the final design of the site.

- Prior to issuance, the Applicant shall submit a Road Approach Application to County Road Operations for the permanent approaches and any required temporary approach during construction before commencement of construction operations. The approaches shall be completed prior to occupancy.
- Prior to issuance, The Applicant shall contact County Road Operations to determine the need for a Road Use Agreement and/or Road data Permits. Agreement and permits shall be obtained before commencement of construction operations.
- Prior to issuance, the Applicant shall contact County Road Operations regarding any utility work within the County road right-of-way. Approval shall be obtained before commencement of construction operations.
- Prior to issuance, the Applicant shall contact County Road Operations regarding any permanent signage to be posted with the County road right-of-way.
 - Should the applicant require off-site signage, the applicant shall have a sign plan prepared and authenticated by a professional engineer. The sign plan shall consider all existing and proposed signs within the subject area.
 - The Applicant will then be permitted to install the signage. It will be the Applicant's responsibility to relocate any County signage as necessary.
- The Transportation Off-site levy has been previously collected for the site prior to the enactment of Section 648 (1.1) of the *Municipal Government Act*

Sanitary/Waste Water:

- Prior to issuance, the applicant shall provide a Demand Analysis by a qualified professional that demonstrates calculations for projected waste water generated for the proposed development. The study shall confirm the servicing capacity required for the development of the proposed parcel and determine if offsite upgrades to the regional system are required. The Applicant/Owner shall enter into a Capacity Allocation Agreement for servicing allocation upon the servicing need identified in the demand analysis.
- Prior to issuance, the applicant will be required to provide payment of the Wastewater Connection fee in accordance with the approved Master Rates Bylaw for connection to the Langdon Wastewater Treatment Plant.
- As per *Municipal Government Act*, Section 648 (1.1), A wastewater levy is not applied as the land is owned by a school board that is proposed to be developed for a school building project.

Water Supply And Waterworks:

- Prior to issuance, the applicant is required to provide confirmation of tie-in to the Langdon Water Works Ltd. water distribution system for the proposed subdivision. The applicant is required to provide:
 - Confirmation from Langdon Water Works that adequate water supply is available for the proposed development; and
 - Documentation showing that the necessary water supply has been purchased for the total development area.



- Prior to issuance, the applicant shall be required to address all fire suppression requirements for the proposed development in accordance with the requirements of NFPA 1142 and all applicable County standards and bylaws.

Storm Water Management:

- A centralized pond located south of the subject lands shall be used to service the proposed development, Langdon (JUS) and Bridges of Langdon development (as per the Stormwater Management Plan Langdon Joint Use Site prepared by R.J. Burnside, December 2016). An existing service stub for storm drainage for the subject lands has been provided along the eastern boundary.
- Prior to issuance, the applicant is required to provide an updated Stormwater Management Plan for the proposed subdivision which shall:
 - Identify all necessary infrastructure required to support the proposed subdivision (to be constructed under the Development Agreement);
 - Identify any necessary easements and/or utility rights-of-way;
 - Identify any necessary approvals from AEP for wetland loss and mitigation; and
 - meet the requirements of the Staged Master Drainage Plan Pond Report for the Bridges of Langdon Development, Stormwater Management Plan Langdon Joint Use Site by RJ Burnside & Associates Ltd. dated December 2016 and County Servicing Standards
- Prior to issuance, the applicant will be required to submit an erosion and sediment control (ESC) plan, prepared by a qualified professional, identifying ESC measures to be taken during construction and to protect the onsite wetlands and municipal infrastructure. The drawings and plans shall be in accordance with the requirements of the County's Servicing Standards and best management practices
- As per *Municipal Government Act*, Section 648 (1.1), A stormwater levy is not applied as the land is owned by a school board that is proposed to be developed for a school building project.

Environmental:

- A Biophysical Impact Assessment (BIA) prepared by HabTech environmental dated November 2009 was prepared for this site. As per the report, the effects of proposed development are minor for habitat loss/alteration, limited for impact on rare plants, minor on vertebrate species at risk, and unlikely to trigger regional cumulative effects on any listed species. A BIA for the Langdon JUS site was also completed by Tannas Conservation Services.
- As part of the land swap process between RVC and 700000 Alberta Ltd., RVC has paid for the wetland compensation.
- Engineering has no requirements at this time.

Fire Services & Emergency Management Review (August 21, 2020)

Having reviewed the circulation, the Fire Service has the following comments:

1. Please ensure that water supplies and hydrants are sufficient for firefighting purposes. Please contact the Fire Service to propose a design for a private hydrant systems if it is required.
2. Dependent on the occupancies, the Fire Service recommends that the buildings be sprinkled, if applicable, as per the National Building Code.



3. Please ensure that access routes are compliant to the designs specified in the National Building Code and the Rocky View County Servicing Standards.
4. Please ensure that there is adequate access throughout all phases of development and that the access complies with the requirements of the National Building Code & NFPA 1141.

There are no further comments at this time.

Recreation, Parks, and Community Support

- The Recreation, Parks and Community Support department have no concerns with this development permit application.

TELUS

- As the building will not be on top of existing URW's TELUS has no objections.

Transportation Services

Transportation Services has the following recommendations/advisories/comments regarding this application:

- Applicant to contact County Road Operations with haul details for materials and equipment needed during construction/site development to confirm if Road Use Agreements will be required for any hauling along the County road system and to confirm the presence of County road ban restrictions.

Utility Services

- The only comments from Utilities Services is that a Utility Servicing Plan for the development should be submitted to RVC. Along with this I recommend an inspection of the tie-in for servicing.

OPTIONS:

Option #1 (this would allow the development to commence)

APPROVAL, subject to the following conditions:

Description:

1. That the development related to construction of a School, Public or Separate, approximately 8,465.00 sq. m. (91,116.50 sq. ft.) in footprint and signage may commence on the subject land in accordance with the drawings prepared by OPNA Architects (Project ID. B8518A-0001) dated October 2, 2020.
 - i. That the maximum height requirement for the school is relaxed from **10.00 m (32.81 ft.)** to **11.75 m (38.55 ft.)**.

Prior to Issuance:

2. That prior to issuance of this permit, the Applicant/Owner shall submit a signage plan, detailing the façade signage information, including location, dimensions, and lighting, to the satisfaction of the County.
3. That prior to issuance of this permit, the Applicant/Owner shall submit revised lighting details of proposed model types for any mounted or freestanding lighting onsite, to the satisfaction of the County. The models shall comply with the County's dark sky regulations.



4. That prior to the issuance the Applicant/Owner shall submit a Construction Management Plan addressing noise mitigation measures, traffic accommodation, sedimentation and dust control, management of stormwater during construction, erosion and weed control, construction practices, waste management, firefighting procedures, evacuation plan, hazardous material containment and all other relevant construction management details.
5. That prior to issuance, the Applicant/Owner shall contact County Road Operations to
 - i. confirm if Road Use Agreements and/or Road Data Permits are required prior to the commencement of construction operation.
 - ii. confirm any utility work within the County road right-of-way. Approval shall be obtained before commencement of construction operations.
 - iii. submit a Road Approach Application for the permanent approaches and any required temporary approach during construction before commencement of construction operations.
 - iv. coordinate the installation of three new stop signs as per the Technical Memo issued by Tetra Tech on October 28, 2020:
 - i. north and south stop signs at the intersection of Township Road 233A and Centre Street
 - ii. stop sign on the north bound of Mowatt Street to Township Road 233A
 - v. confirm any permanent signage to be posted within the County road right-of-way.
 - iii. Should the applicant require off-site signage, the applicant shall have a signage plan prepared and authenticated by a professional engineer and shall consider all existing and proposed signs within the subject area.
 - iv. The signage plan shall be reviewed and approved to the satisfaction of the Development Authority.
 - v. It will be the Applicant's responsibility to install the new signage and relocate any County signage, as necessary.
 - vi. Written confirmation shall be received from County Road Operations confirming the status of this condition. Any required agreement or permits shall be obtained unless otherwise noted by County Road Operations.
6. That prior to issuance of this permit, the Applicant/Owner shall submit a Demand Analysis that demonstrates calculations for projected waste water generated for the proposed development.
 - i. The study shall confirm the servicing capacity required for the development of the proposed parcel and determine if offsite upgrades to the regional system are required.
 - ii. The Applicant/Owner shall enter into a Capacity Allocation Agreement with the County, for servicing allocation upon the servicing need identified in the demand analysis.
7. That prior to issuance of this permit, the Applicant/Owner shall submit payment of the Wastewater Connection fee in accordance with the approved Master Rates Bylaw and the submitted Demand Analysis for connection to the Langdon Wastewater Treatment Plant.
8. That prior to issuance of this permit, the Applicant/Owner shall submit confirmation of tie-in to the Langdon Water Works Ltd. water distribution system for the proposed subdivision. The applicant is required to provide:

- i. Confirmation from Langdon Water Works that adequate water supply is available for the proposed development; and
 - ii. Documentation showing that the necessary water supply has been purchased for the total development area.
9. That prior to issuance of this permit, the Applicant/Owner shall address all fire suppression requirements for the proposed development in accordance with the requirements of NFPA 1142 and all applicable County standards and bylaws.
10. That prior to issuance of this permit, the Applicant/Owner shall submit an updated Stormwater Management Plan for the proposed subdivision which shall:
 - i. Identify all necessary infrastructure required to support the proposed subdivision (to be constructed under the Development Agreement);
 - ii. Identify any necessary easements and/or utility rights-of-way;
 - iii. Identify any necessary approvals from Alberta Environment & Parks (AEP) for wetland loss and mitigation; and
 - iv. meet the requirements of the Staged Master Drainage Plan Pond Report for the Bridges of Langdon Development, Stormwater Management Plan Langdon Joint Use Site by RJ Burnside & Associates Ltd. dated December 2016 and County Servicing Standards
11. That prior to issuance of this permit, the Applicant/Owner shall submit an erosion and sediment control (ESC) plan, prepared by a qualified professional, identifying ESC measures to be taken during construction and to protect the onsite wetlands and municipal infrastructure. The drawings and plans shall be in accordance with the requirements of the County's Servicing Standards and best management practices
12. That prior to issuance of this permit, the Applicant/Owner shall submit a site servicing plan showing the proposed water, wastewater and storm water tie-ins and all other utilities needed to service the site.
 - i. The Applicant shall contact Rocky View Utilities Corporation to schedule inspections at appropriate stages of construction.

Prior to Occupancy:

13. That prior to occupancy of the site, all landscaping and final site surfaces shall be completed.
 - i. That should permission for occupancy of the site and/or buildings be requested during the months of October through May inclusive, occupancy shall be allowed without the required landscaping having been met provided that an Irrevocable Letter of Credit in the amount of 150% of the total cost of completing all the landscaping that is not yet completed, shall be placed with Rocky View County to guarantee the landscaping shall be completed by the 30th day of June immediately thereafter.
14. That prior to occupancy of the site, the road approach construction shall be built and accepted in accordance with County Standards.
 - i. The Applicant/Owner shall contact County Road Operations for a final inspection
15. That prior to occupancy of the site, the Applicant/Owner shall enter into a Customer Service Agreement with the County, for wastewater servicing.
16. That prior to occupancy of the site, the Applicant/Owner shall contact Langdon Waterworks for an inspection of the water service connection and any other related infrastructure, and provide the County with written confirmation of their acceptance.

17. That prior to occupancy of the site, the Applicant/Owner shall submit as-built drawings of the constructed stormwater management facilities and the internal wastewater collection system and tie-ins.

Upon receipt of the as-built drawings, the County shall perform an inspection of the proposed stormwater facilities and wastewater collection system and tie-ins to ensure the proposed facilities were constructed as per the approved designs. **Permanent:**

18. That the Owner shall be responsible to dedicate all necessary easements and right-of-ways for utility line assignments and provide for the installation of all underground shallow utilities with all necessary utility providers to the satisfaction of the County.
19. That any plan, technical submission, agreement, matter or understanding submitted and approved as part of the application or in response to a Prior to Issuance condition shall be implemented and adhered to in perpetuity including:
 - i. Geotechnical Assessment prepared by WSP Canada Inc. dated March 2016
 - ii. Geotechnical Evaluation prepared by Tetra Tech Canada Inc. dated May 2020
 - iii. School Transportation Review and Traffic Impact Assessment dated May 2020 and a supplementary Technical Memo dated October 2020.
20. That compaction testing results shall be prepared and provided by a qualified professional for any areas of the site filled greater than 1.20 m (3.93 ft.) in depth.
21. That all landscaping shall be in accordance with the approved Landscape Plan.
22. That there shall be no potable water used for the irrigation of landscaping plantings and vegetation.
23. That all school or site-related parking shall be located on the subject property and shall not be permitted on the adjacent road network(s) at any time.
24. That a minimum of 271 parking stalls (including 6 accessible stalls) and 1 loading bay shall be maintained on-site at all times.
25. That the entire site shall be maintained in a neat and orderly manner at all times.
26. That the dedicated area for storage of waste and recyclable materials shall be maintained at all times. Waste and recyclable materials shall be confined in weatherproof and animal-proof containers located within the building or adjacent to the side or rear of the building and screened from view from all adjacent properties and public thoroughfares. All waste and recyclable materials shall be regularly removed from the property to prevent any debris from blowing onto adjacent properties or roadways.
27. That all outdoor lighting shall be located and arranged so that no direct rays of light are directed at adjoining properties, interfere with the use and enjoyment of neighbouring lands, or interfere with the effectiveness of any traffic control devices and the vision/safety of motorists.
28. That it is the Applicant/Owner's responsibility to obtain and display a distinct municipal address in accordance with the County Municipal Addressing Bylaw (Bylaw C-7562-2016), for each principal use located on the subject site, to facilitate accurate emergency response.
29. That all signage shall be maintained in a new and tidy condition.

Advisory:

30. That during construction, the site shall be maintained in compliance with County Bylaw C-7690-2017, the "Nuisance and Unsightly Property Bylaw", at all times.

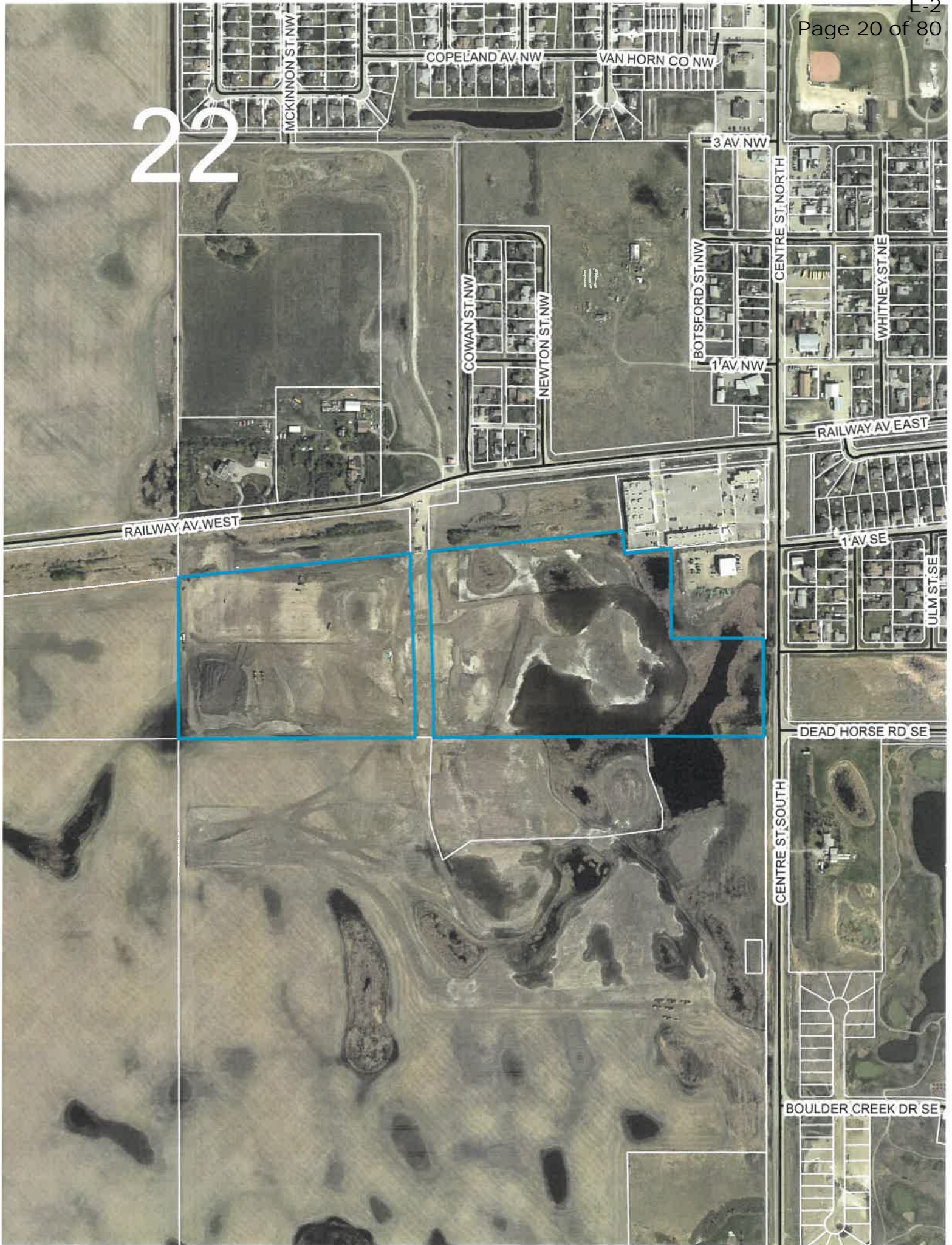
31. That the Applicant/Owner shall arrange for the proper occupancy inspections, to be carried out by the County Fire and Building Services. That any dirt removed from the site during construction shall be hauled off in a covered trailer/truck that will prevent blowing of dust/small rocks onto the road or issues with other vehicles on the road.
32. That any other government permits, approvals, or compliances are the sole responsibility of the Applicant/Owner including any Alberta Transportation requirements.
33. That if this Development Permit is not issued by **JULY 31, 2021** or the approved extension date, then this approval is null and void and the Development Permit shall not be issued.
34. That if the development authorized by this Development Permit is not commenced with reasonable diligence within 12 months from the date of issue, and completed within 24 months of the issue, the permit is deemed to be null and void, unless an extension to this permit shall first have been granted by the Development Authority.

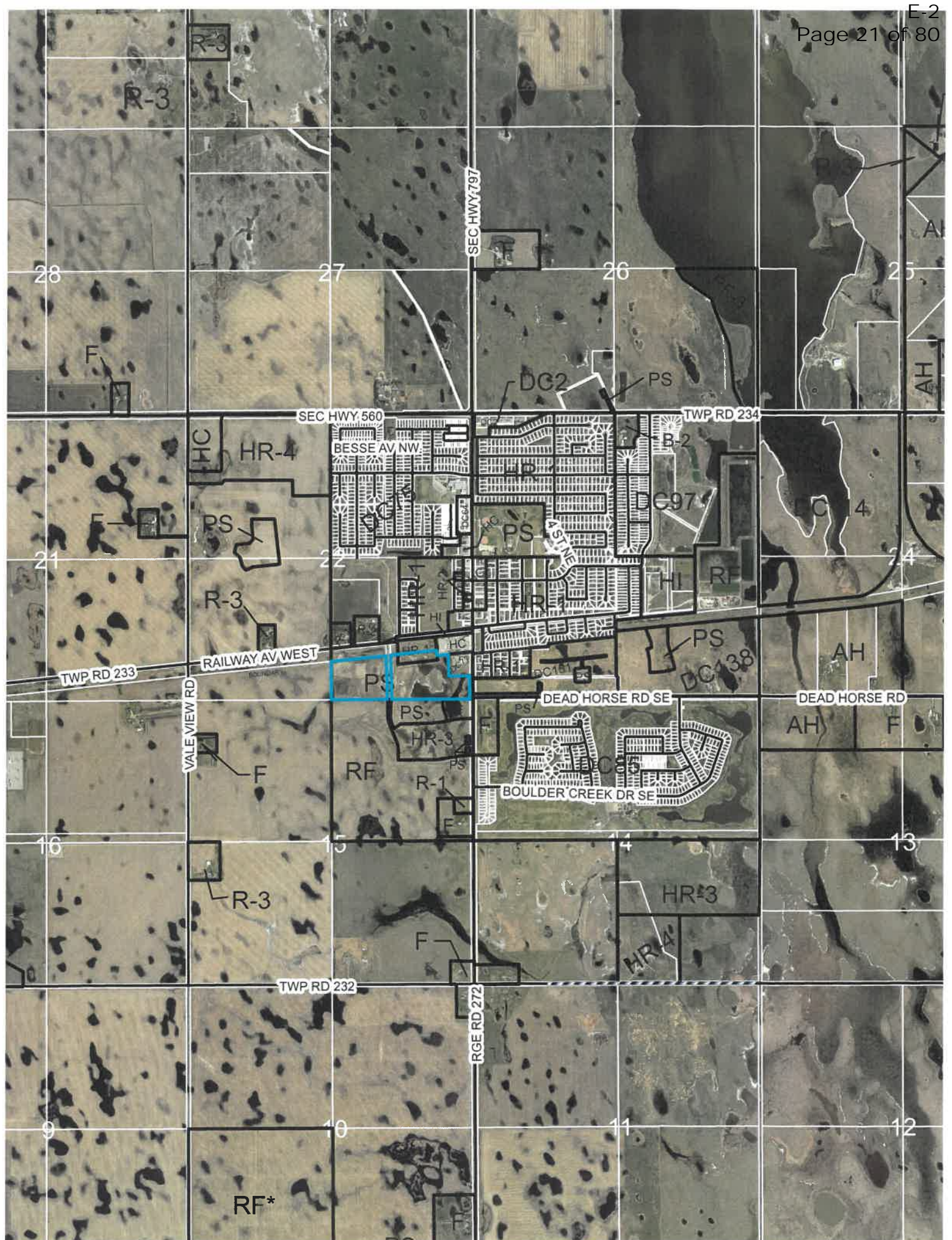
Option #2 (this would not allow the development to commence)

REFUSAL, for the following reasons:

1. That in the opinion of the Municipal Planning Commission, the development unduly interferes with the amenities of the neighbourhood and materially interferes with and affects the use, enjoyment, and value of neighbouring parcels of land.

22







ROCKY VIEW COUNTY
Cultivating Communities

20201822

APPLICATION FOR A DEVELOPMENT PERMIT

FOR OFFICE USE ONLY	
Fee Submitted \$10115.00	File Number 03222206
Date of Receipt	Receipt #

Name of Applicant Trent Franson Email tfranson@onpa.ca

Mailing Address [REDACTED] Postal Code [REDACTED]

Telephone (B) [REDACTED] (H) [REDACTED] Fax [REDACTED]

For Agents please supply Business/Agency/ Organization Name ONPA Architects

Registered Owner (if not applicant) Rocky View Schools

Mailing Address [REDACTED] Postal Code [REDACTED]

Telephone (B) [REDACTED] (H) [REDACTED] Fax [REDACTED]

1. LEGAL DESCRIPTION OF LAND

- a) All / part of the SE $\frac{1}{4}$ Section 22 Township 23 Range 27 West of 04 Meridian
- b) Being all / parts of Lot 3 Block 2 Registered Plan Number 0813156
- c) Municipal Address N/A
- d) Existing Land Use Designation PS - Public Services Parcel Size 43.88 Acres Division 04

2. APPLICATION FOR

Langdon Junior/Senior High School (grade 7-12)

3. ADDITIONAL INFORMATION

- a) Are there any oil or gas wells on or within 100 metres of the subject property(s)? Yes ☐ No ☒
- b) Is the proposed parcel within 1.5 kilometres of a sour gas facility?
(Sour Gas facility means well, pipeline or plant) Yes ☐ No ☒
- c) Is there an abandoned oil or gas well or pipeline on the property? Yes ☐ No ☒
- d) Does the site have direct access to a developed Municipal Road? Yes ☐ No ☒

4. REGISTERED OWNER OR PERSON ACTING ON HIS BEHALF

I TRENT FRANSON hereby certify that ☐ I am the registered owner
(Full Name in Block Capitals)

☒ I am authorized to act on the owner's behalf

and that the information given on this form
is full and complete and is, to the best of my knowledge, a true statement
of the facts relating to this application.

**Affix Corporate Seal
here if owner is listed
as a named or
numbered company**

Applicant's Signature _____
Date July 2, 2020

Owner's Signature _____
Date _____

5. RIGHT OF ENTRY

I hereby authorize Rocky View County to enter the above parcel(s) of land for purposes of investigation and enforcement related to this Development Permit application.

Applicant's/Owner's Signature

Please note that all information provided by the Applicant to the County that is associated with the application, including technical studies, will be treated as public information in the course of the municipality's consideration of the development permit application, pursuant to the Municipal Government Act, R.S.A 2000 Chapter M-26, the Land Use Bylaw and relevant statutory plans. By providing this information, you (Owner/Applicant) are deemed to consent to its public release. Information provided will only be directed to the Public Information Office, 262075 Rocky View Point, Rocky View County, AB, T4A 0X2; Phone: 403-520-8199.

I, Trent Franson, hereby consent to the public release and disclosure of all information contained within this application and supporting documentation as part of the development process.

July 6, 2020

Signature

Date



LAND TITLE CERTIFICATE

S
LINC SHORT LEGAL TITLE NUMBER
0038 640 314 0813156;2;3 201 107 128

LEGAL DESCRIPTION

PLAN 0813156
BLOCK 2
LOT 3
CONTAINING 18.3850 HECTARES (45.43 ACRES) MORE OR LESS
EXCEPTING THEREOUT:

PLAN	NUMBER	HECTARES	(ACRES)	MORE OR LESS
ROAD	1711088	0.626	1.55	
ROAD	2011080	0.037	0.091	

EXCEPTING THEREOUT ALL MINES AND MINERALS

ATS REFERENCE: 4;27;23;22;SE
ESTATE: FEE SIMPLE

MUNICIPALITY: ROCKY VIEW COUNTY

REFERENCE NUMBER: 171 099 262

REGISTERED OWNER(S)
REGISTRATION DATE(DMY) DOCUMENT TYPE VALUE CONSIDERATION

201 107 128 15/06/2020 ROAD PLAN

OWNERS

THE BOARD OF TRUSTEES ROCKY VIEW SCHOOL DIVISION NO 41.

[REDACTED]
[REDACTED]
[REDACTED]

AS TO AN UNDIVIDED 50% INTEREST

ROCKY VIEW COUNTY.

OF 911 - 32ND AVENUE NE

CALGARY

ALBERTA T2E 6X6

AS TO AN UNDIVIDED 50% INTEREST

(CONTINUED)

ENCUMBRANCES, LIENS & INTERESTS

PAGE 2
201 107 128

REGISTRATION

NUMBER	DATE (D/M/Y)	PARTICULARS
991 100 259	15/04/1999	UTILITY RIGHT OF WAY GRANTEE - TELUS COMMUNICATIONS INC. AS TO PORTION OR PLAN:9910317 TAKES PRIORITY OF CAVEAT # 971356609 REGISTERED ON 28TH NOVEMBER, 1997
051 386 493	15/10/2005	CAVEAT RE : RIGHT OF WAY AGREEMENT CAVEATOR - THE MUNICIPAL DISTRICT OF ROCKY VIEW NO. 44. 911-32 AVE NE CALGARY ALBERTA T2E6X6 AGENT - AMBER MUNDY
081 238 802	08/07/2008	CAVEAT RE : DEFERRED RESERVE CAVEATOR - THE MUNICIPAL DISTRICT OF ROCKY VIEW NO. 44. 911-32 AVE NE CALGARY ALBERTA T2E6X6
081 238 803	08/07/2008	EASEMENT OVER AND FOR BENEFIT OF: SEE INSTRUMENT AS TO PORTION DESCRIBED
171 042 799	16/02/2017	CAVEAT RE : UTILITY RIGHT OF WAY CAVEATOR - ROCKY VIEW COUNTY. 911 - 32ND AVENUE NE CALGARY ALBERTA T2E6X6

TOTAL INSTRUMENTS: 005

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN
ACCURATE REPRODUCTION OF THE CERTIFICATE OF
TITLE REPRESENTED HEREIN THIS 6 DAY OF JULY,
2020 AT 09:56 A.M.

ORDER NUMBER: 39637846

CUSTOMER FILE NUMBER: PRDP20201822



END OF CERTIFICATE

(CONTINUED)

PAGE 3

201 107 128

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED FOR THE SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER, SUBJECT TO WHAT IS SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION, APPRAISAL OR OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS PART OF THE ORIGINAL PURCHASER APPLYING PROFESSIONAL, CONSULTING OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT(S) .



ROCKY VIEW COUNTY

262075 Rocky View Point
Rocky View County, AB, T4A 0X2

403-230-1401
questions@rockyview.ca
www.rockyview.ca

LETTER OF AUTHORIZATION

I, (We) Rocky View Schools being the owner (s) of

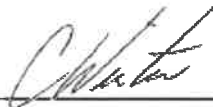
Lot 3 Block 2 Plan 081 3156

Legal:

NW/NE/SE/SW Section _____ Township _____ Range _____ W _____ M

give ONPA ARCHITECTS permission to act on my

(our) behalf in applying for a Development Permit for the above subject property.



Signature

Signature

June 29, 2020

Date



E-12
Page 28 of 810

CORPORATE
Seal

The Board of Trustees

School Division



ONPA architects

Partners **Jason Said** Architect, AAA, SAA, MAA | **Robert Black** A.ScT. | **Chris Woollard** Architect, AAA, SAA, MAA

July 3, 2020
File: 20116

Rocky View County
262075 Rocky View Point
Rocky View County, AB T4A 0X2

**Re: Development Permit Application and
Request for Relaxation
Langdon Junior / Senior High School
Langdon, AB**

Please find attached the completed development permit application and supporting documentation for the construction of a Junior / Senior High School for Grades 7-12 and associated parking, internal site circulation, and landscape work in Langdon, AB.

The school will be located on a 3.63 hectare parcel of land located at the South-West corner of the intersection of Railway Avenue and Mowat Street. The site is zoned Public Services (or PS) with required setbacks and the school will be located on the South-east corner of the site within close proximity to future recreation amenities. The building will open with 8,465m² of permanent space and have an opening day capacity of 1,004 students.

With this application, we are also requesting a relaxation on two items in the Rocky View County Land Use Bylaw C-4841-97:

Item 1 – Article 65.6 of Section 65, Public Services District (PS)

The maximum height of a principal building is listed as 10.0m. The design requirements from Alberta Education require a minimum clear unobstructed height of 8.0m in the gymnasium, including all ceiling mounted items such as retracted basketball stops, divider curtains, and other building components. The combination of the required minimum clear height, roof supporting structure, roof structure, and required parapets results in a building height of 11.8m which is 1.8m (18%) beyond the allowable principal building height in the bylaws.

Item 2 – Schedule 5 of Section 30, Parking and Loading

The total number of parking stalls required by the bylaws is 252, including 6 barrier-free stalls. The number of spaces indicated on the attached site plan is 215 (57 staff / visitor, 6 barrier-free, 145 student, 7 student drop-off).

The reason for the discrepancy is that a future recreation centre is also planned for the site and the additional parking stalls are located adjacent to the recreation centre. The concern is that if the additional 36 stalls were constructed at this time, they would be damaged through the course of construction of the recreation centre. The desire is to keep the parking stalls away from the future recreation centre until construction is complete for that building. As part of the future recreation centre development, an area that can accommodate an additional 100 parking stalls has been indicated.



**Development Permit Application and
Request for Relaxation
Langdon Junior / Senior High School
Langdon, AB
July 02, 2020**

A relaxation of the parking count requirements is being requested due to this future construction as well as because additional overflow parking stalls are available directly adjacent to the site on the East side of Mowat Street due to the surrounding recreation development. It is anticipated that this adjacent parking area of over 157 stalls would be able to service the additional 36 parking stalls for the school during school hours until the recreation centre development is completed.

Please do not hesitate to contact the undersigned should you feel the need to discuss further or require additional information.

Yours truly,

ONPA Architects

Per:



Chris Woollard
Senior Partner
M.Arch., AAA, SAA, MAA, MRAIC



FINAL BRIDGING DOCUMENTS

P3 HIGH SCHOOLS BRIDGING

LANGDON JUNIOR / SENIOR HIGH SCHOOL
Langdon, Alberta
October 2020

PROJECT ID: B8518A-0001



LANGDON JUNIOR / SENIOR HIGH SCHOOL

LANGDON, ALBERTA

PLAN NO:
PROJECT ID: B8518A-0001

ISSUE: BRIDGING DOCUMENTS
DATE: 10/02/20



ARCHITECTURAL



NUMBER	NAME
101	ASSEMBLIES, LEGENDS AND KEYNOTES
110	SITE PLAN
111	OVERALL MAIN FLOOR PLAN
112	OVERALL SECOND FLOOR PLAN
113	OVERALL MAIN FLOOR REFLECTED CEILING PLAN
114	OVERALL 2ND FLOOR REFLECTED CEILING PLAN
115	LIFE SAFETY PLANS
116	OVERALL ROOF PLAN
120a	MAIN FLOOR PLAN - WEST
120b	MAIN FLOOR PLAN - SOUTH
120c	MAIN FLOOR PLAN - EAST
121a	SECOND FLOOR PLAN - WEST
121b	SECOND FLOOR PLAN - SOUTH
121c	SECOND FLOOR PLAN - EAST
125	MAIN FLOOR FINISHES PLAN
126	SECOND FLOOR FINISHES PLAN
130a	MAIN FLOOR REFLECTED CEILING PLAN - WEST
130b	MAIN FLOOR REFLECTED CEILING PLAN - SOUTH
130c	MAIN FLOOR REFLECTED CEILING PLAN - EAST
131a	SECOND FLOOR REFLECTED CEILING PLAN - WEST
131b	SECOND FLOOR REFLECTED CEILING PLAN - EAST
135a	ROOF PLAN - WEST
135b	ROOF PLAN - SOUTH
135c	ROOF PLAN - EAST
140	GAME LINES
141	ENLARGED WASHROOM / SHOWER / CHANGEROOM PLANS
145	EXTERIOR ELEVATIONS
146	EXTERIOR ELEVATIONS
150	3D VIEWS
155	BUILDING SECTIONS
156	BUILDING SECTIONS
160	WALL SECTIONS
170	ENLARGED STAIR AND ELEVATOR PLANS & SECTIONS
180	INTERIOR ELEVATIONS - CLASSROOMS
181	INTERIOR ELEVATIONS - CLASSROOMS
182	INTERIOR ELEVATIONS - WASHROOMS
183	INTERIOR ELEVATIONS - TYPICAL
184	INTERIOR ELEVATIONS
185	INTERIOR ELEVATIONS
186	MILLWORK DETAILS
187	MILLWORK DETAILS
191	DOOR SCHEDULE
192	WINDOW ELEVATIONS

STRUCTURAL



#500, 10410 102 Ave.
EDMONTON, ALBERTA T5J 0E9
Ph: 780-425-5855
Fax: 780-425-7227
info@protostatix.com

NUMBER	NAME
201	3D STRUCTURAL VIEWS
202	TYPICAL NOTES
203	TYPICAL DETAILS
204	TYPICAL DETAILS
205	OVERALL FOUNDATION PLAN
206	OVERALL SECOND FLOOR & LOW ROOF FRAMING PLAN
207	OVERALL ROOF FRAMING (CTS)
208	OVERALL ROOF FRAMING (CLASS)
209	OVERALL ROOF FRAMING (CLEAR)
210	OVERALL ROOF FRAMING (GYM)
211	BUILDING SECTIONS
212	BUILDING SECTIONS
213	BUILDING SECTIONS

MECHANICAL



NUMBER	NAME
301	SITE PLAN - MECHANICAL
302	FOUNDATION PLAN
303	LEVEL 1 - PLUMBING
304	LEVEL 2 - PLUMBING
305	LEVEL 1 - HEATING
306	LEVEL 2 - HEATING
307	LEVEL 1 - VENTILATION
308	LEVEL 2 - VENTILATION
309	MECHANICAL - ROOF PLAN
310	MECHANICAL ROOM
311	MECHANICAL ROOM - SECTIONS
312	LEVEL 1 - FIRE PROTECTION
313	LEVEL 2 - FIRE PROTECTION
314	SCHEMATICS - AIR SYSTEM ZONING - LEVEL 1
315	SCHEMATICS - AIR SYSTEM ZONING - LEVEL 2
316	SCHEMATICS - VAV ZONING - LEVEL 1
317	SCHEMATICS - VAV ZONING - LEVEL 2
318	SCHEMATICS - HEATING & COOLING - 1
319	SCHEMATICS - HEATING & COOLING - 2
320	SCHEMATICS - VENTILATION - AHU-1
321	SCHEMATICS - VENTILATION - AHU-2
322	SCHEMATICS - VENTILATION - AHU-3
323	SCHEMATICS - VENTILATION - MISC-1
324	SCHEMATICS - VENTILATION - MISC-2
325	SCHEMATICS - VENTILATION - MISC-3
326	EQUIPMENT SCHEDULES

ELECTRICAL



NUMBER	NAME
401	SITE ELECTRICAL
402	MAIN FLOOR LIGHTING - WEST
403	MAIN FLOOR LIGHTING - SOUTH
404	MAIN FLOOR LIGHTING - WEST
405	SECOND FLOOR LIGHTING - WEST
406	SECOND FLOOR LIGHTING - EAST
407	MAIN FLOOR POWER & SYSTEMS - WEST
408	MAIN FLOOR POWER & SYSTEMS - SOUTH
409	MAIN FLOOR POWER & SYSTEMS - EAST
410	SECOND FLOOR POWER & SYSTEMS - WEST
411	SECOND FLOOR POWER & SYSTEMS - SOUTH
412	SECOND FLOOR POWER & SYSTEMS - EAST
413	MAIN FLOOR FIRE ALARM & SECURITY - WEST
414	MAIN FLOOR FIRE ALARM & SECURITY - SOUTH
415	MAIN FLOOR FIRE ALARM & SECURITY - EAST
416	SECOND FLOOR FIRE ALARM & SECURITY - WEST
417	SECOND FLOOR FIRE ALARM & SECURITY - SOUTH
418	SECOND FLOOR FIRE ALARM & SECURITY - EAST
419	ELECTRICAL RISER DIAGRAMS & DETAILS

CIVIL



NUMBER	NAME
501	UNDERGROUND SERVICES PLAN
502	GRADING & DRAINAGE PLAN

LANDSCAPE



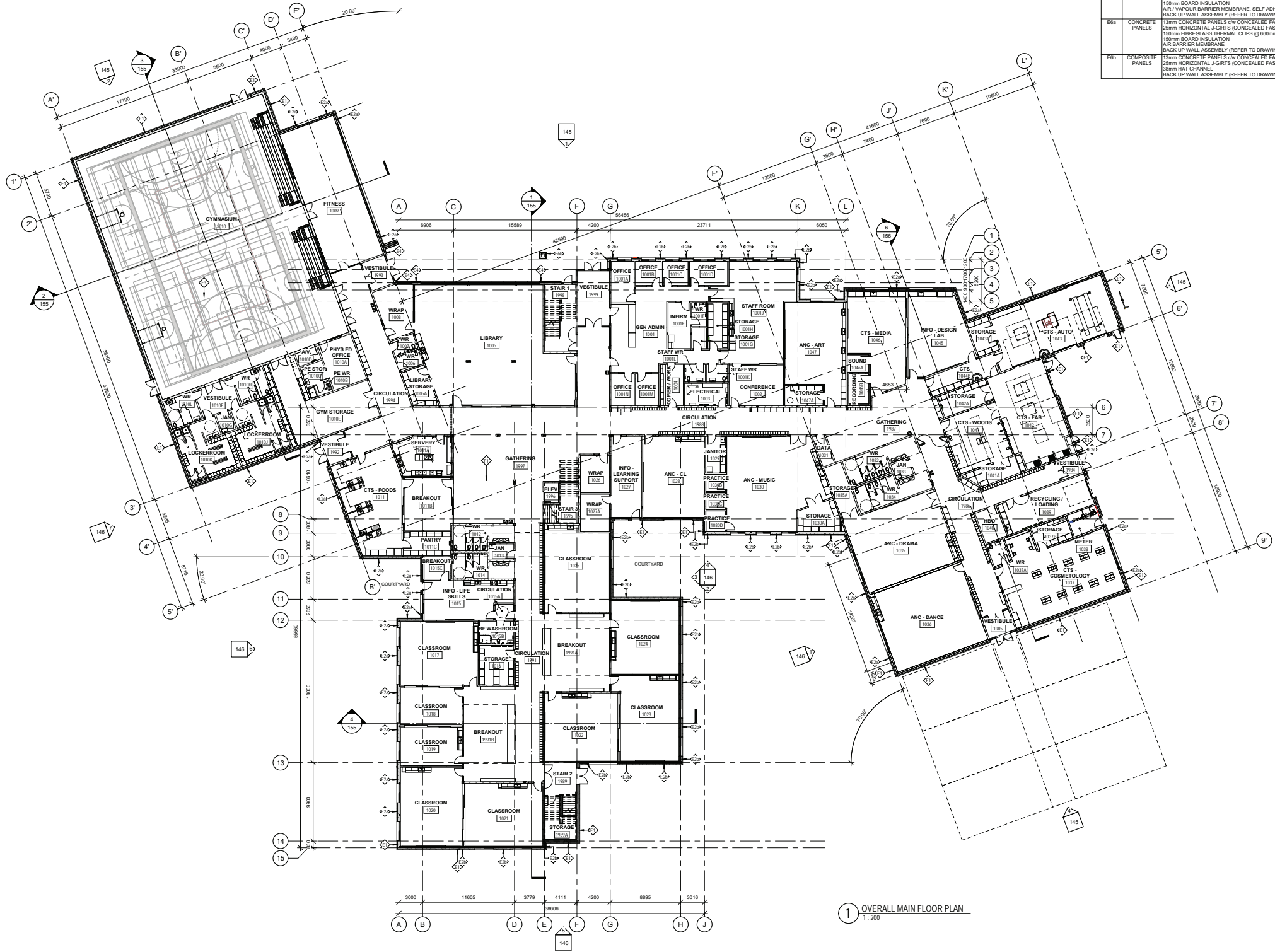
NUMBER	NAME
701	OVERALL LANDSCAPE PLAN
702	DETAILS



KEY PLAN

NOTES

ASSEMBLY - EXTERIOR WALL FINISHES		
Type	Wall Type	Description
E1	SPLIT FACE CONCRETE BLOCK FACADE	90mm SPLIT FACE CONCRETE BLOCK 25mm AIR SPACE 150mm BOARD INSULATION AIR / VAPOUR BARRIER MEMBRANE, SELF ADHERED BACK UP WALL ASSEMBLY (REFER TO DRAWINGS)
E2a	SMOOTH FACE CONCRETE BLOCK FACADE	90mm SMOOTH FACE CONCRETE BLOCK (COLOR A) 25mm AIR SPACE 150mm BOARD INSULATION AIR / VAPOUR BARRIER MEMBRANE, SELF ADHERED BACK UP WALL ASSEMBLY (REFER TO DRAWINGS)
E2b	SMOOTH FACE CONCRETE BLOCK FACADE	90mm SMOOTH FACE CONCRETE BLOCK (COLOR B) 25mm AIR SPACE 150mm BOARD INSULATION AIR / VAPOUR BARRIER MEMBRANE, SELF ADHERED BACK UP WALL ASSEMBLY (REFER TO DRAWINGS)
E3a	PREFINISHED CORRUGATED METAL CLADDING	22mm PREFINISHED CORRUGATED METAL CLADDING w/ EXPOSED FASTENERS (COLOR A) 25mm VERTICAL Z-GIRTS 150mm THERMAL CLIPS AT 600mm VERTICALLY AND 400mm HORIZONTALLY 150mm BOARD INSULATION AIR / VAPOUR BARRIER MEMBRANE, SELF ADHERED BACK UP WALL ASSEMBLY (REFER TO DRAWINGS)
E3b	PREFINISHED CORRUGATED METAL CLADDING	22mm PREFINISHED CORRUGATED METAL CLADDING w/ EXPOSED FASTENERS (COLOR B) 25mm VERTICAL Z-GIRTS 150mm THERMAL CLIPS AT 600mm VERTICALLY AND 400mm HORIZONTALLY 150mm BOARD INSULATION AIR / VAPOUR BARRIER MEMBRANE, SELF ADHERED BACK UP WALL ASSEMBLY (REFER TO DRAWINGS)
E3c	PREFINISHED CORRUGATED METAL CLADDING	22mm PREFINISHED CORRUGATED METAL CLADDING w/ EXPOSED FASTENERS (COLOR A) 25mm VERTICAL Z-GIRTS 150mm HORIZONTAL Z-GIRTS 150mm THERMAL CLIPS AT 600mm VERTICALLY AND 400mm HORIZONTALLY 150mm BOARD INSULATION AIR / VAPOUR BARRIER MEMBRANE, SELF ADHERED BACK UP WALL ASSEMBLY (REFER TO DRAWINGS)
E4	PREFINISHED HORIZONTAL METAL CLADDING	22mm PREFINISHED HORIZONTAL METAL CLADDING w/ EXPOSED FASTENERS (COLOR C) 25mm VERTICAL Z-GIRTS 150mm FIBREGLASS THERMAL CLIPS @ 600mm VERTICALLY & 400mm HORIZONTALLY 150mm BOARD INSULATION AIR BARRIER MEMBRANE BACK UP WALL ASSEMBLY (REFER TO DRAWINGS)
E5	WOOD GRAIN METAL CLADDING	12mm WOOD GRAIN METAL CLADDING (COLOUR B) 25mm VERTICAL Z-GIRTS 150mm FIBREGLASS THERMAL CLIPS AT 600mm VERTICALLY AND 400mm HORIZONTALLY 150mm BOARD INSULATION AIR / VAPOUR BARRIER MEMBRANE, SELF ADHERED BACK UP WALL ASSEMBLY (REFER TO DRAWINGS)
E6a	CONCRETE PANELS	13mm CONCRETE PANELS c/w CONCEALED FASTENERS 25mm HORIZONTAL J-GIRTS (CONCEALED FASTENER RAIL) 150mm FIBREGLASS THERMAL CLIPS @ 600mm VERTICALLY & 400mm HORIZONTALLY 150mm BOARD INSULATION AIR BARRIER MEMBRANE BACK UP WALL ASSEMBLY (REFER TO DRAWINGS)
E6b	COMPOSITE PANELS	13mm CONCRETE PANELS c/w CONCEALED FASTENERS 25mm HORIZONTAL J-GIRTS (CONCEALED FASTENER RAIL) 38mm HAT CHANNEL BACK UP WALL ASSEMBLY (REFER TO DRAWINGS)



1 OVERALL MAIN FLOOR PLAN
1 : 200

DATE	REV.	DESCRIPTION	DRAWN BY	CHECKED BY
10/02/20	2	ISSUED FOR BIDDING DOCUMENTS	ONPA	
07/02/20	1	ISSUED FOR DEVELOPMENT PERMIT	ONPA	

CONSULTANT

THE WORKUN GARRICK PARTNERSHIP
Architecture and Interior Design Inc.
in collaboration with
ONPA architects

Alberta
Infrastructure

PROJECT
LANGDON JUNIOR / SENIOR HIGH SCHOOL

TITLE
OVERALL MAIN FLOOR PLAN

SEAL	DRAWN BY TF/JD	CHECKED BY CW	SCALE 1 : 200
	DATE 10/02/20	SITE ID	BUILDING ID B8518A
	PLAN NO.	PHASE	DISCIPLINE ARCH
	PROJECT ID B8518A-0001	SHEET NO.	111

KEY PLAN

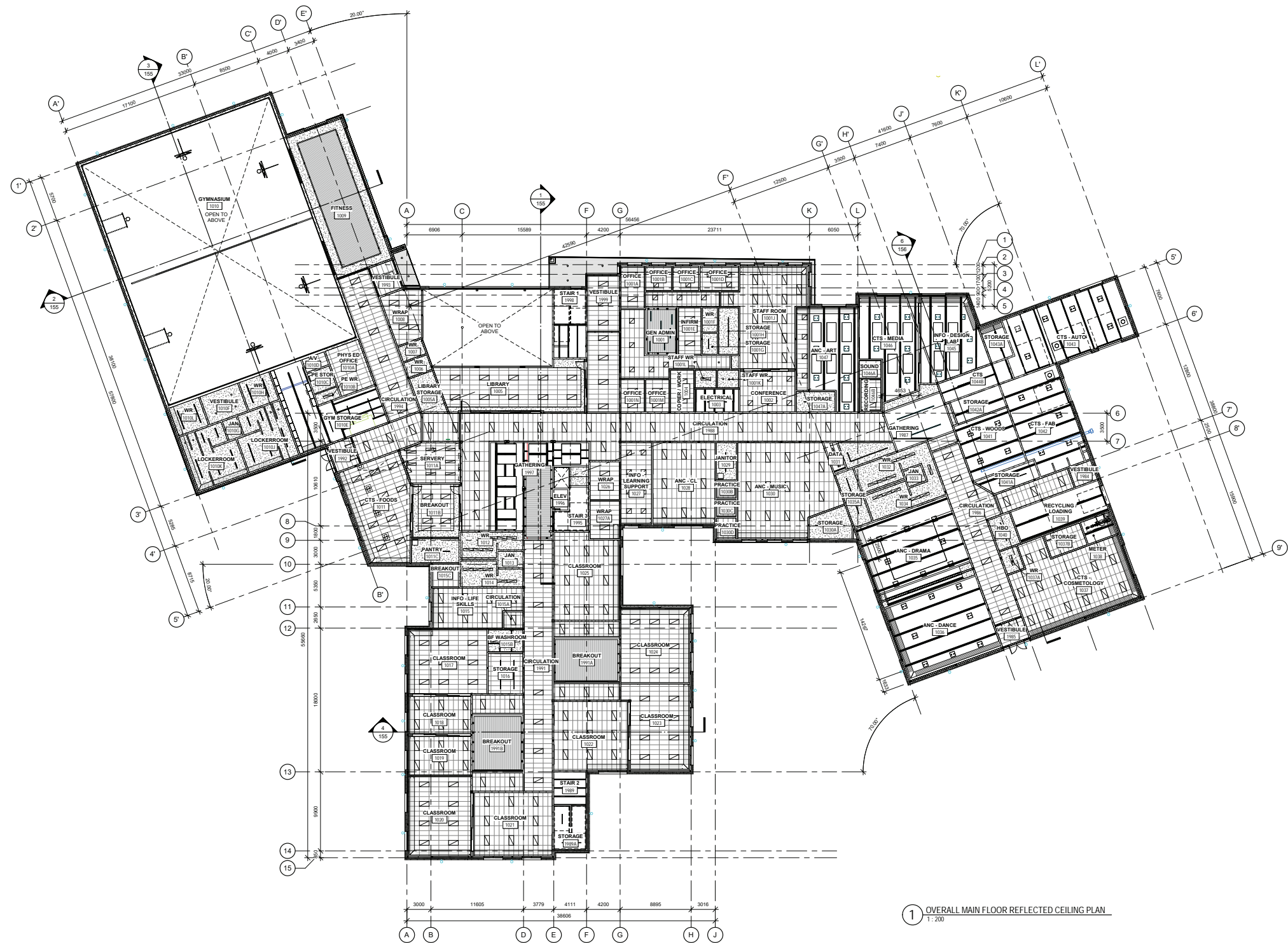
NOTES

ASSEMBLY - EXTERIOR WALL FINISHES		
Type	Wall Type	Description
E1	SPLIT FACE CONCRETE BLOCK FACADE	90mm SPLIT FACE CONCRETE BLOCK 25mm AIR SPACE 150mm BOARD INSULATION AIR / VAPOUR BARRIER MEMBRANE, SELF ADHERED BACK UP WALL ASSEMBLY (REFER TO DRAWINGS)
E2a	SMOOTH FACE CONCRETE BLOCK FACADE	90mm SMOOTH FACE CONCRETE BLOCK (COLOR A) 25mm AIR SPACE 150mm BOARD INSULATION AIR / VAPOUR BARRIER MEMBRANE, SELF ADHERED BACK UP WALL ASSEMBLY (REFER TO DRAWINGS)
E2b	SMOOTH FACE CONCRETE BLOCK FACADE	90mm SMOOTH FACE CONCRETE BLOCK (COLOR B) 25mm AIR SPACE 150mm BOARD INSULATION AIR / VAPOUR BARRIER MEMBRANE, SELF ADHERED BACK UP WALL ASSEMBLY (REFER TO DRAWINGS)
E3a	PREFINISHED CORRUGATED METAL CLADDING	22mm PREFINISHED CORRUGATED METAL CLADDING w/ EXPOSED FASTENERS (COLOR A) 25mm VERTICAL Z-GIRTS 150mm THERMAL CLIPS AT 600mm VERTICALLY AND 400mm HORIZONTALLY 150mm BOARD INSULATION AIR / VAPOUR BARRIER MEMBRANE, SELF ADHERED BACK UP WALL ASSEMBLY (REFER TO DRAWINGS)
E3b	PREFINISHED CORRUGATED METAL CLADDING	22mm PREFINISHED CORRUGATED METAL CLADDING w/ EXPOSED FASTENERS (COLOR B) 25mm VERTICAL Z-GIRTS 150mm THERMAL CLIPS AT 600mm VERTICALLY AND 400mm HORIZONTALLY 150mm BOARD INSULATION AIR / VAPOUR BARRIER MEMBRANE, SELF ADHERED BACK UP WALL ASSEMBLY (REFER TO DRAWINGS)
E3c	PREFINISHED CORRUGATED METAL CLADDING	22mm PREFINISHED CORRUGATED METAL CLADDING w/ EXPOSED FASTENERS (COLOR A) 25mm VERTICAL Z-GIRTS 150mm HORIZONTAL Z-GIRTS 150mm THERMAL CLIPS AT 600mm VERTICALLY AND 400mm HORIZONTALLY 150mm BOARD INSULATION AIR / VAPOUR BARRIER MEMBRANE, SELF ADHERED BACK UP WALL ASSEMBLY (REFER TO DRAWINGS)
E4	PREFINISHED HORIZONTAL METAL CLADDING	22mm PREFINISHED HORIZONTAL METAL CLADDING w/ EXPOSED FASTENERS (COLOR C) 25mm VERTICAL Z-GIRTS 150mm FIBREGLASS THERMAL CLIPS @ 600mm VERTICALLY & 400mm HORIZONTALLY 150mm BOARD INSULATION AIR BARRIER MEMBRANE BACK UP WALL ASSEMBLY (REFER TO DRAWINGS)
E5	WOOD GRAIN METAL CLADDING	22mm WOOD GRAIN METAL CLADDING (COLOR B) 25mm VERTICAL Z-GIRTS 150mm FIBREGLASS THERMAL CLIPS AT 600mm VERTICALLY AND 400mm HORIZONTALLY 150mm BOARD INSULATION AIR / VAPOUR BARRIER MEMBRANE, SELF ADHERED BACK UP WALL ASSEMBLY (REFER TO DRAWINGS)
E6a	CONCRETE PANELS	150mm CONCRETE PANELS c/w CONCEALED FASTENERS 150mm HORIZONTAL J-GIRTS (CONCEALED FASTENER RAIL) 150mm FIBREGLASS THERMAL CLIPS @ 600mm VERTICALLY & 400mm HORIZONTALLY 150mm BOARD INSULATION AIR BARRIER MEMBRANE BACK UP WALL ASSEMBLY (REFER TO DRAWINGS)
E6b	COMPOSITE PANELS	150mm CONCRETE PANELS c/w CONCEALED FASTENERS 25mm HORIZONTAL J-GIRTS (CONCEALED FASTENER RAIL) 38mm HAT CHANNEL BACK UP WALL ASSEMBLY (REFER TO DRAWINGS)

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1 OVERALL SECOND FLOOR PLAN
1 : 200





1 OVERALL MAIN FLOOR REFLECTED CEILING PLAN
1:200

KEY PLAN

NOTES

CEILING TYPE LEGEND

- C1 - SUSPENDED T-BAR CEILING
MUST MEET A MINIMUM 0.70 NRC RATING
- C2 - GYPSUM BOARD CEILING
- C3 - SUSPENDED T-BAR CEILING - WASHABLE TILES
- C4 - WOOD GRILLE CEILING
MUST MEET A MINIMUM 0.70 NRC RATING
- C5 - ACOUSTIC CLOUDS
MUST MEET A MINIMUM 0.70 NRC RATING
- C6 - ACOUSTIC BAFFLES
MUST MEET A MINIMUM 0.70 NRC RATING
- C7 - EXPOSED STRUCTURE - PAINTED

DATE	REV.	DESCRIPTION	DRAWN BY	CHECKED BY
10/02/20	2	ISSUED FOR BIDDING DOCUMENTS	ONPA	
07/02/20	1	ISSUED FOR DEVELOPMENT PERMIT	ONPA	

CONSULTANT



PROJECT
LANGDON JUNIOR / SENIOR HIGH SCHOOL

TITLE
OVERALL MAIN FLOOR REFLECTED CEILING PLAN

SEAL	DRAWN BY TF/JD	CHECKED BY CW	SCALE As indicated
	DATE 10/02/20	SITE ID	BUILDING ID B8518A
	PLAN NO.	PHASE	DISCIPLINE ARCH
	PROJECT ID B8518A-0001	SHEET NO.	113

DOCUMENT CODE

20116-113



CEILING TYPE LEGEND

C1 - SUSPENDED T-BAR CEILING
MUST MEET A MINIMUM 0.70 NRC RATING

C2 - GYPSUM BOARD CEILING

C3 - SUSPENDED T-BAR CEILING - WASHABLE TILES

C4 - WOOD GRILLE CEILING
MUST MEET A MINIMUM 0.70 NRC RATING

C5 - ACOUSTIC CLOUDS
MUST MEET A MINIMUM 0.70 NRC RATING

C6 - ACOUSTIC BAFFLES
MUST MEET A MINIMUM 0.70 NRC RATING

C7 - EXPOSED STRUCTURE - PAINTED

10/02/2020	2	ISSUED FOR BREEDING DOCUMENTS		ONPA	
07/03/2020	1	ISSUED FOR DEVELOPMENT PERMIT		ONPA	
DATE	REV.	DESCRIPTION		DRAWN BY	CHECKED BY

 THE WORKUN GARRICK PARTNERSHIP
Architecture and Interior Design Inc.
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ONPA architects

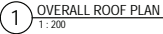
Alberta
Infrastructure

LANGDON JUNIOR / SENIOR HIGH SCHOOL

TITLE	OVERALL 2ND FLOOR REFLECTED CEILING PLAN
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SEAL	DRAWN BY TFJD	CHECKED BY CW	SCALE As indicated
	DATE 10/02/20	SITE ID	BUILDING ID B8518A
	PLAN NO.	PHASE	DISCIPLINE ARCH
	PROJECT ID B8518A-0001		SHEET NO. 114

20116 -114



KEY PLAN

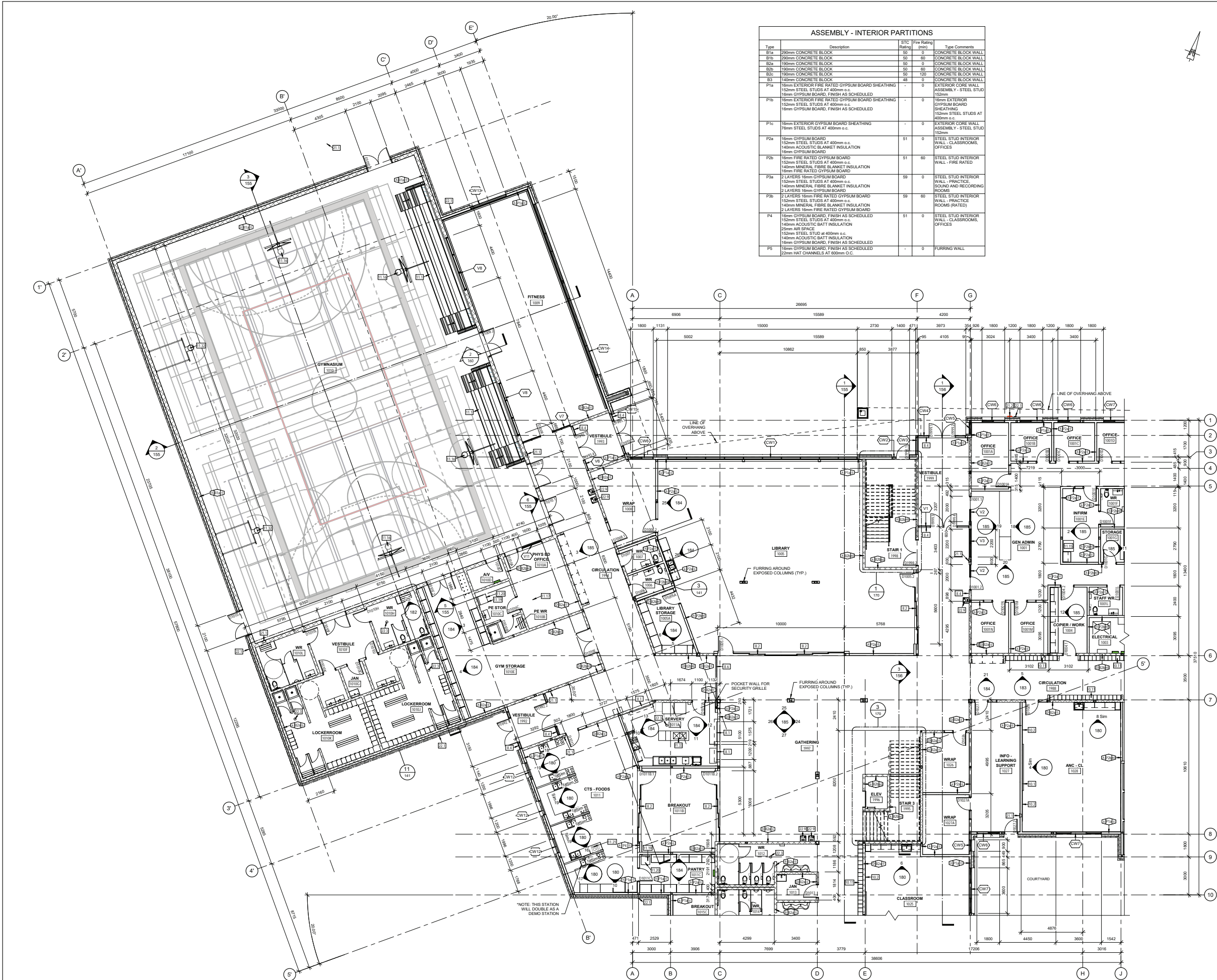
10/02/2020	2	ISSUED FOR BRIDGING DOCUMENTS	ONPA	
07/03/2020	1	ISSUED FOR DEVELOPMENT PERMIT	ONPA	
DATE	REV.	DESCRIPTION	DRAWN BY	CHECKED BY



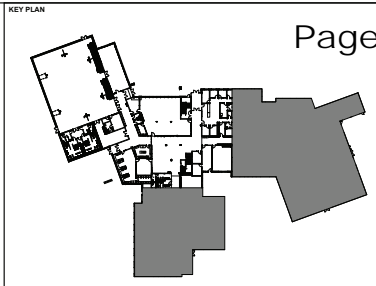
LANGDON JUNIOR / SENIOR HIGH SCHOOL

OVERALL ROOF PLAN

SEAL	DRAWN BY TFJD	CHECKED BY CW	SCALE 1 : 200
	DATE 10/02/20	SITE ID	BUILDING ID B8518A
	PLAN NO.	PHASE	DISCIPLINE ARCH
	PROJECT ID B8518A-0001		SHEET NO. 116



ASSEMBLY - INTERIOR PARTITIONS				
Type	Description	STC Rating	Fire Rating (hrs)	Type Comments
B1a	200mm CONCRETE BLOCK	50	0	CONCRETE BLOCK WALL
B1b	200mm CONCRETE BLOCK	50	0	CONCRETE BLOCK WALL
B2a	100mm CONCRETE BLOCK	50	0	CONCRETE BLOCK WALL
B2b	100mm CONCRETE BLOCK	50	0	CONCRETE BLOCK WALL
B2c	100mm CONCRETE BLOCK	50	0	CONCRETE BLOCK WALL
B3	140mm CONCRETE BLOCK	45	0	CONCRETE BLOCK WALL
P1a	16mm EXTERIOR FIRE RATED GYPSUM BOARD SHEATHING 150mm STEEL STUDS AT 400mm o.c. 16mm GYPSUM BOARD, FINISH AS SCHEDULED	-	0	EXTERIOR CORE WALL ASSEMBLY - STEEL STUD 150mm
P1b	16mm EXTERIOR FIRE RATED GYPSUM BOARD SHEATHING 150mm STEEL STUDS AT 400mm o.c. 16mm GYPSUM BOARD, FINISH AS SCHEDULED	-	0	16mm EXTERIOR GYPSUM BOARD SHEATHING 150mm STEEL STUDS AT 400mm o.c.
P1c	16mm EXTERIOR GYPSUM BOARD SHEATHING 150mm STEEL STUDS AT 400mm o.c.	-	0	EXTERIOR CORE WALL ASSEMBLY - STEEL STUD 150mm
P2a	16mm GYPSUM BOARD 150mm STEEL STUDS AT 400mm o.c. 140mm ACOUSTIC BLANKET INSULATION 16mm GYPSUM BOARD	51	0	STEEL STUD INTERIOR WALL - CLASSROOMS, OFFICES
P2b	16mm FIRE RATED GYPSUM BOARD 150mm STEEL STUDS AT 400mm o.c. 140mm MINERAL FIBRE BLANKET INSULATION 16mm FIRE RATED GYPSUM BOARD	51	60	STEEL STUD INTERIOR WALL - FIRE RATED
P3a	2 LAYERS 16mm GYPSUM BOARD 150mm STEEL STUDS AT 400mm o.c. 140mm MINERAL FIBRE BLANKET INSULATION 16mm FIRE RATED GYPSUM BOARD	59	0	STEEL STUD INTERIOR WALL - PRACTICE SOUND AND RECORDING ROOMS
P3b	2 LAYERS 16mm FIRE RATED GYPSUM BOARD 150mm STEEL STUDS AT 400mm o.c. 140mm MINERAL FIBRE BLANKET INSULATION 2 LAYERS 16mm FIRE RATED GYPSUM BOARD	59	60	STEEL STUD INTERIOR WALL - PRACTICE ROOMS (FIRE RATED)
P4	16mm GYPSUM BOARD, FINISH AS SCHEDULED 150mm STEEL STUDS AT 400mm o.c. 140mm ACOUSTIC BATT INSULATION 25mm AIR SPACE 140mm ACOUSTIC BATT INSULATION 16mm GYPSUM BOARD, FINISH AS SCHEDULED 22mm HAT CHANNELS AT 600mm O.C.	51	0	STEEL STUD INTERIOR WALL - CLASSROOMS, OFFICES
P5	16mm GYPSUM BOARD, FINISH AS SCHEDULED 22mm HAT CHANNELS AT 600mm O.C.	-	0	FURRING WALL



NOTES	
PARTITION TYPE LEGEND:	
H -	INDICATES PARTITION HEIGHT
PP -	INDICATES PARTITION TYPE
R -	INDICATES PARTITION FIRE RESISTANCE (HOURS)
PARTITION HEIGHTS:	
A -	EXTEND TO UNDERSIDE OF STRUCTURAL DECK ABOVE
B -	EXTEND TO 100mm ABOVE FINISHED CEILING HEIGHT, OR 200mm TO KEEP CONCRETE BLOCK WALLS AT A NOMINAL BLOCK HEIGHT
C -	EXTEND 200mm ABOVE FINISHED FLOOR (LOCKER ENDS)
D -	B2a/B2b/B2c TO 3800MM A.F.F. WITH P2a/P2b/P2c ABOVE TO UIS DECK
Key Value	Keynote Text
B.1	ROLLING SHUTTER
B.2	SLIDING ALUMINUM-FRAMED GLASS OPERABLE PARTITION, GLASS PANELS TO BE LAMINATED WITH FROSTED INTERLAYER
B.4	BARRIER-FREE DOOR OPERATORS ON INTERIOR & EXTERIOR SIDES OF DOOR
B.8	SIDE-FOLDING ALUMINUM SECURITY GRILLES
B.10	3660mm x 1220mm WHITEBOARD
B.12	2440mm x 1220mm TACKBOARD
B.11	LOCKERS - DOUBLE TIER
B.11.1	BLEACHERS (N.I.C.)
B.11.15	FREEZER (N.I.C.)
B.11.16	CEILING MOUNTED
B.11.17	GAME POST SOCKETS
B.11.18	DRYER (N.I.C.)
B.11.20	WASHER (N.I.C.)
B.11.21	COOKTOP & RANGE HOOD (N.I.C.)
B.11.30	WALL MOUNTED BASKETBALL BACKSTOP
B.11.33	SERVING PREP TABLE AND SINK
B.11.7	FIRE EXTINGUISHER, AS PER MECHANICAL
B.11.2	FIRE DEPARTMENT CONNECTION, AS PER MECHANICAL
B.2.1	HOSE BIB, AS PER MECHANICAL
B.2.3	FLOOR DRAIN, AS PER MECHANICAL
B.2.9	BARRIER FREE DRINKING FOUNTAIN w/ BOTTLE FILLING OPTION, AS PER MECHANICAL

DATE	REV.	DESCRIPTION	DRAWN BY	CHECKED BY
10/02/20	2	ISSUED FOR BIDDING DOCUMENTS	ONPA	
07/02/20	1	ISSUED FOR DEVELOPMENT PERMIT	ONPA	

CONSULTANT

THE WORKUN GARRICK PARTNERSHIP
Architecture and Interior Design INC.

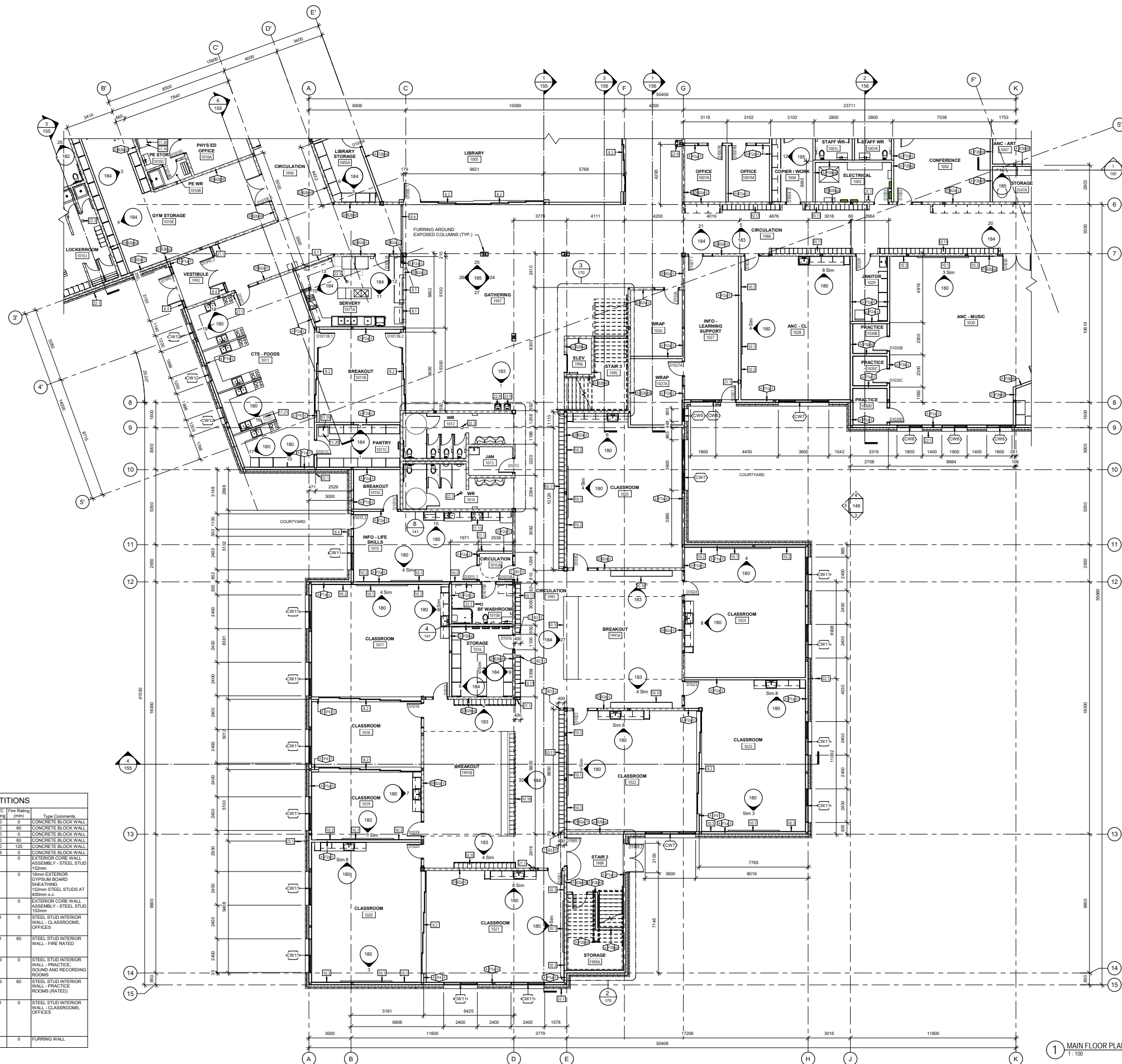
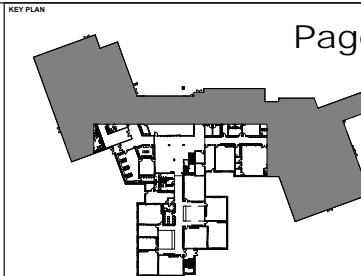
ONPA architects



PROJECT: LANGDON JUNIOR / SENIOR HIGH SCHOOL

TITLE: MAIN FLOOR PLAN - WEST

SEAL	DRAWN BY TF/JD	CHECKED BY CW	SCALE As indicated
	DATE 10/02/20	SITE ID	BUILDING ID B8518A
	PLAN NO.	PHASE	DISCIPLINE ARCH
	PROJECT ID B8518A-0001	SHEET NO.	120a



ASSEMBLY - INTERIOR PARTITIONS				
Type	Description	STC Rating	Fire Rating (min)	Typical Comments
B1a	250mm CONCRETE BLOCK	50	0	CONCRETE BLOCK WALL
B1b	250mm CONCRETE BLOCK	50	60	CONCRETE BLOCK WALL
B2a	190mm CONCRETE BLOCK	50	0	CONCRETE BLOCK WALL
B2b	190mm CONCRETE BLOCK	50	60	CONCRETE BLOCK WALL
B2c	190mm CONCRETE BLOCK	50	120	CONCRETE BLOCK WALL
B3	140mm CONCRETE BLOCK	50	0	CONCRETE BLOCK WALL
P1a	16mm EXTERIOR FIRE RATED GYPSUM BOARD SHEATHING 152mm STEEL STUDS AT 400mm c/c 16mm GYPSUM BOARD, FINISH AS SCHEDULED	0	0	EXTERIOR CORE WALL ASSEMBLY - STEEL STUDS 152mm
P1b	16mm EXTERIOR FIRE RATED GYPSUM BOARD SHEATHING 152mm STEEL STUDS AT 400mm c/c 16mm GYPSUM BOARD, FINISH AS SCHEDULED	0	0	16mm EXTERIOR GYPSUM BOARD SHEATHING 152mm STEEL STUDS AT 400mm c/c
P1c	16mm EXTERIOR GYPSUM BOARD SHEATHING 76mm STEEL STUDS AT 400mm c/c	0	0	EXTERIOR CORE WALL ASSEMBLY - STEEL STUDS 152mm
P2a	16mm GYPSUM BOARD 152mm STEEL STUDS AT 400mm c/c 16mm STEEL STUDS AT 400mm c/c 16mm FIRE RATED GYPSUM BOARD	51	0	STEEL STUD INTERIOR WALL - CLASSROOMS, OFFICES
P2b	16mm FIRE RATED GYPSUM BOARD 152mm STEEL STUDS AT 400mm c/c 140mm MINERAL FIBRE BLANKET INSULATION 16mm FIRE RATED GYPSUM BOARD	51	60	STEEL STUD INTERIOR WALL - FIRE RATED
P3a	2 LAYERS 15mm GYPSUM BOARD 152mm STEEL STUDS AT 400mm c/c 140mm MINERAL FIBRE BLANKET INSULATION 2 LAYERS 15mm GYPSUM BOARD	59	0	STEEL STUD INTERIOR WALL - PRACTICE SOUND AND RECORDING ROOMS
P3b	2 LAYERS 15mm GYPSUM BOARD 152mm STEEL STUDS AT 400mm c/c 140mm MINERAL FIBRE BLANKET INSULATION 2 LAYERS 15mm FIRE RATED GYPSUM BOARD	59	60	STEEL STUD INTERIOR WALL - PRACTICE ROOMS (RATED)
P4	16mm GYPSUM BOARD, FINISH AS SCHEDULED 152mm STEEL STUDS AT 400mm c/c 140mm ACoustic BATT INSULATION 25mm AIR SPACE 152mm STEEL STUD AT 400mm c/c 140mm ACoustic BATT INSULATION 16mm GYPSUM BOARD, FINISH AS SCHEDULED	51	0	STEEL STUD INTERIOR WALL - CLASSROOMS, OFFICES
P5	16mm GYPSUM BOARD, FINISH AS SCHEDULED 152mm STEEL STUDS AT 600mm c/c	0	0	FURRING WALL

1 MAIN FLOOR PLAN - SOUTH
1:100

NOTES

PARTITION TYPE LEGEND

H - INDICATES PARTITION HEIGHT
PP - INDICATES PARTITION TYPE
R - INDICATES PARTITION FIRE RESISTANCE (HOURS)

PARTITION HEIGHTS:

- A - EXTEND TO UNDERSIDE OF STRUCTURAL DECK ABOVE
B - EXTEND TO 100mm ABOVE FINISHED CEILING HEIGHT, OF
200mm TO KEEP CONCRETE BLOCK WALLS AT A NOMINAL
BLOCK HEIGHT
C - EXTEND 2200mm ABOVE FINISHED FLOOR (LOCKER END)
D - B2a/B2b/B2c TO 3800MM A.F.F. WITH
P2a/P2b/P2c ABOVE TO U/S DECK

Key Value	Keynote Test
8.1	ROLLING SHUTTER
8.2	SLIDING ALUMINUM-FRAMED GLASS OPERABLE PARTITION, GLASS PANELS BE LAMINATED BY PROTECTED INTER-LAYER
8.4	BARRIER-FREE DOOR OPERATORS (ON INTERIOR & EXTERIOR SIDES OF DOOR)
8.8	240 aluminum ALUMINUM SECURITY GRILLES
9	360mm x 120mm TACKBOARD
10	240mm x 120mm TACKBOARD
13	183mm x 120mm TACKBOARD
14	LOCKERS - SINGLE TIER
10-11	LOCKERS - DOUBLE TIER
11-13	STOVE & RANGE HOOD (N.I.C.)
11-18	DRYER (N.I.C.)
12-20	WASHER (N.I.C.)
11-21	COOKTOP & RANGE HOOD (N.I.C.)
21.1	FIRE EXTINGUISHER (AS PER MECHANICAL)
22.1	HOSE ROLL, AS PER MECHANICAL
23.3	FLUID DRAIN, AS PER MECHANICAL
22.9	BARRIER FREE DRINKING FOUNTAIN w/ BOTTLE FILLING OPTION, AS PER MECHANICAL

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10/02/2020	2	ISSUED FOR BRIDGING DOCUMENTS	ONPA	
07/03/2020	1	ISSUED FOR DEVELOPMENT PERMIT	ONPA	
DATE	REV.	DESCRIPTION	DRAWN BY	CHECK BY

CONSULTANT



ONPA architects

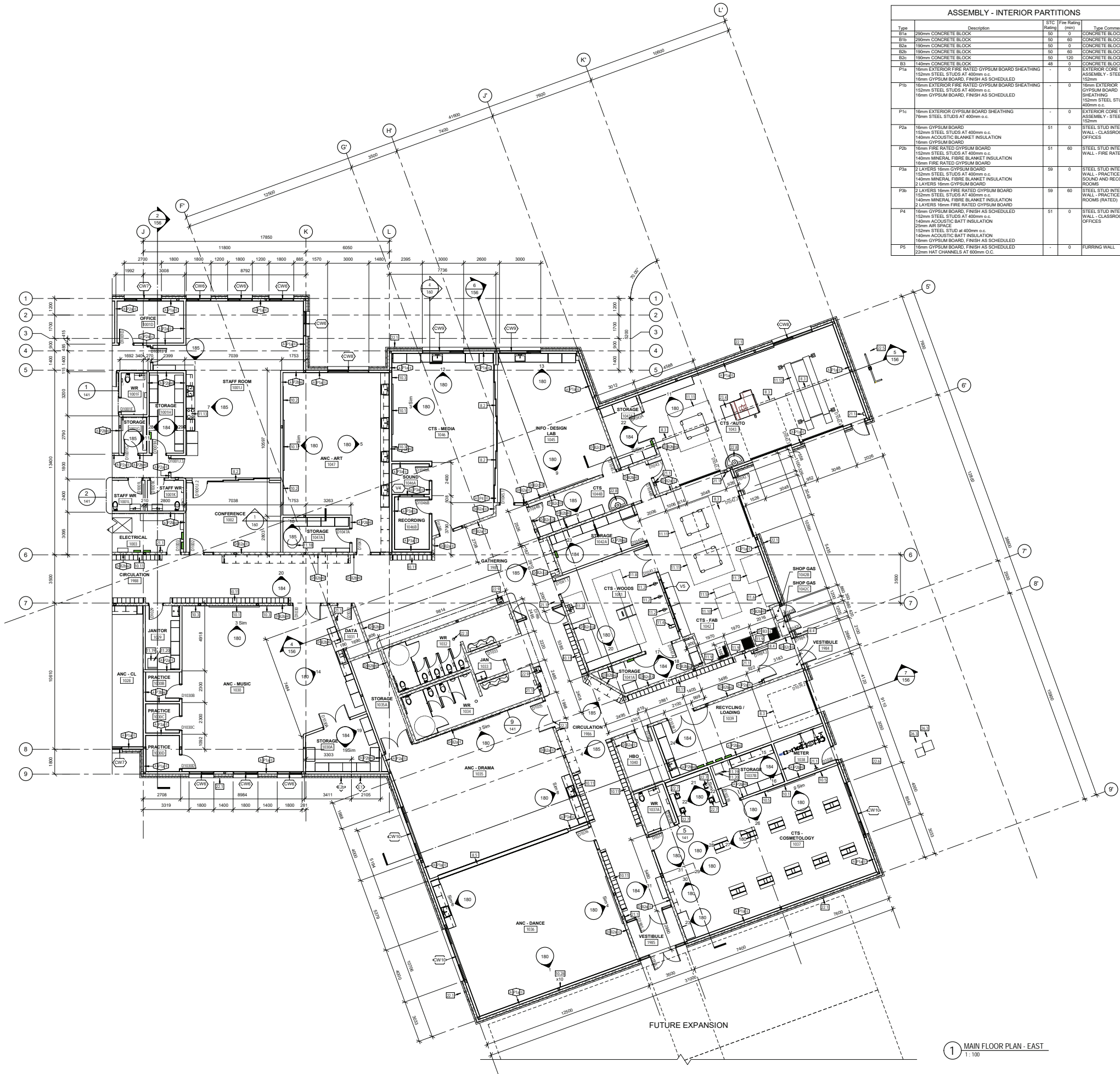
Alberta
Infrastructure

PROJECT	LANGDON JUNIOR / SENIOR HIGH SCHOOL
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TITLE	MAIN FLOOR PLAN - SOUTH
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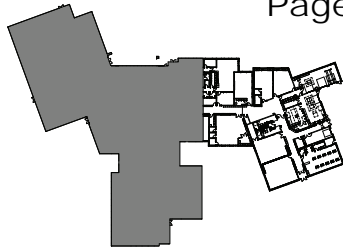
SEAL	DRAWN BY TF/JD	CHECKED BY CW	SCALE As indicated
	DATE 10/02/20	SITE ID	BUILDING ID B8518A
	PLAN NO.	PHASE	DISCIPLINE ARCH
	PROJECT ID B8518A-0001		SHEET NO. 1201

DOCUMENT CODE



ASSEMBLY - INTERIOR PARTITIONS			
Type	Description	STC Rating	Fire Rating (mm)
B1a	250mm CONCRETE BLOCK	50	0
B1b	250mm CONCRETE BLOCK	50	60
B2a	190mm CONCRETE BLOCK	50	0
B2b	190mm CONCRETE BLOCK	50	60
B2c	190mm CONCRETE BLOCK	50	120
B3	140mm CONCRETE BLOCK	45	0
P1a	16mm EXTERIOR FIRE RATED GYPSUM BOARD SHEATHING 152mm STEEL STUDS AT 400mm o.c. 16mm GYPSUM BOARD, FINISH AS SCHEDULED	-	0
P1b	16mm EXTERIOR FIRE RATED GYPSUM BOARD SHEATHING 152mm STEEL STUDS AT 400mm o.c. 16mm GYPSUM BOARD, FINISH AS SCHEDULED	-	0
P1c	16mm EXTERIOR GYPSUM BOARD SHEATHING 76mm STEEL STUDS AT 400mm o.c.	-	0
P2a	16mm GYPSUM BOARD 152mm STEEL STUDS AT 400mm o.c. 140mm ACOUSTIC BLANKET INSULATION 16mm GYPSUM BOARD	51	0
P2b	16mm FIRE RATED GYPSUM BOARD 152mm STEEL STUDS AT 400mm o.c. 140mm MINERAL FIBRE BLANKET INSULATION 16mm FIRE RATED GYPSUM BOARD	51	60
P3a	2 LAYERS 16mm GYPSUM BOARD 152mm STEEL STUDS AT 400mm o.c. 140mm MINERAL FIBRE BLANKET INSULATION 2 LAYERS 16mm GYPSUM BOARD	59	0
P3b	2 LAYERS 16mm FIRE RATED GYPSUM BOARD 152mm STEEL STUDS AT 400mm o.c. 140mm MINERAL FIBRE BLANKET INSULATION 2 LAYERS 16mm FIRE RATED GYPSUM BOARD	59	60
P4	16mm GYPSUM BOARD, FINISH AS SCHEDULED 152mm STEEL STUDS AT 400mm o.c. 140mm ACOUSTIC BATT INSULATION 25mm AIR SPACE 152mm STEEL STUD AT 400mm o.c. 16mm GYPSUM BOARD, FINISH AS SCHEDULED	51	0
P5	16mm GYPSUM BOARD, FINISH AS SCHEDULED 22mm HAT CHANNELS AT 600mm O.C.	-	0

KEY PLAN



NOTES

PARTITION TYPE LEGEND:

H - INDICATES PARTITION HEIGHT
PP - INDICATES PARTITION TYPE
R - INDICATES PARTITION FIRE RESISTANCE (HOURS)

PARTITION HEIGHTS:

- A - EXTEND TO UNDERSIDE OF STRUCTURAL DECK ABOVE
- B - EXTEND TO 100mm ABOVE FINISHED CEILING HEIGHT, OR 200mm TO KEEP CONCRETE BLOCK WALLS AT A NOMINAL BLOCK HEIGHT
- C - EXTEND 200mm ABOVE FINISHED FLOOR (LOOKER ENDS)
- D - B2a/B2b/B2c TO 3800MM A.F.F. WITH P2a/P2b/P2c ABOVE TO UIS DECK

Key Value	Keynote Text
B.2	SLIDING ALUMINUM FRAMED GLASS OPERABLE PARTITION, GLASS PANELS TO BE LAMINATED WITH PROTECTED INTERLAYER
B.3	OVERHEAD SECTIONAL DOOR
B.4	BARRIER FREE DOOR OPERATORS ON INTERIOR & EXTERIOR SIDES OF DOOR
B.5	AUTOMATIC VERTICALLY RETRACTABLE ACOUSTICAL WALL
B.6	3660mm x 1220mm WHITEBOARD
B.7	2440mm x 1220mm TACKBOARD
B.8	1830mm x 1220mm TACKBOARD
B.9	915mm x 1220mm TACKBOARD
B.10	LOCKERS - DOUBLE DECK
B.11	FRAMELESS MIRROR 1200mm X 3400mm
B.12	SCROLL SAW (N.I.C.)
B.13	SAND SAW (N.I.C.)
B.14	DRILL PRESS (N.I.C.)
B.15	METAL BAND SAW (N.I.C.)
B.16	METAL LATHE (N.I.C.)
B.17	PLASMA CUTTER (N.I.C.)
B.18	TABLE SAW (N.I.C.)
B.19	WELDING COUNTER (N.I.C.)
B.20	MILLING MACHINE (N.I.C.)
B.21	WORKBENCH (N.I.C.)
B.22	4 POST LIFT (N.I.C.)
B.23	STOVE & RANGE HOOD (N.I.C.)
B.24	KILN (N.I.C.)
B.25	DRYER (N.I.C.)
B.26	WASHER (N.I.C.)
B.27	FIRE EXTINGUISHER, AS PER MECHANICAL
B.28	HOSE BIB, AS PER MECHANICAL
B.29	FLOOR DRAIN, AS PER MECHANICAL
B.30	GAS METER, AS PER MECHANICAL
B.31	WATER METER, AS PER MECHANICAL
B.32	HANDWASH SINK, AS PER MECHANICAL
B.33	WASHCOUNTER, AS PER MECHANICAL
B.34	MECHANICAL
B.35	MECHANICAL
B.36	MECHANICAL
B.37	MECHANICAL
B.38	MECHANICAL
B.39	MECHANICAL
B.40	MECHANICAL
B.41	MECHANICAL
B.42	MECHANICAL
B.43	MECHANICAL
B.44	MECHANICAL
B.45	MECHANICAL
B.46	MECHANICAL
B.47	MECHANICAL
B.48	MECHANICAL
B.49	MECHANICAL
B.50	MECHANICAL
B.51	MECHANICAL
B.52	MECHANICAL
B.53	MECHANICAL
B.54	MECHANICAL
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B.56	MECHANICAL
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B.64	MECHANICAL
B.65	MECHANICAL
B.66	MECHANICAL
B.67	MECHANICAL
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B.69	MECHANICAL
B.70	MECHANICAL
B.71	MECHANICAL
B.72	MECHANICAL
B.73	MECHANICAL
B.74	MECHANICAL
B.75	MECHANICAL
B.76	MECHANICAL
B.77	MECHANICAL
B.78	MECHANICAL
B.79	MECHANICAL
B.80	MECHANICAL
B.81	MECHANICAL
B.82	MECHANICAL
B.83	MECHANICAL
B.84	MECHANICAL
B.85	MECHANICAL
B.86	MECHANICAL
B.87	MECHANICAL
B.88	MECHANICAL
B.89	MECHANICAL
B.90	MECHANICAL
B.91	MECHANICAL
B.92	MECHANICAL
B.93	MECHANICAL
B.94	MECHANICAL
B.95	MECHANICAL
B.96	MECHANICAL
B.97	MECHANICAL
B.98	MECHANICAL
B.99	MECHANICAL
B.100	MECHANICAL

DATE	REV.	DESCRIPTION	DRAWN BY	CHECKED BY
10/02/20	2	ISSUED FOR BIDDING DOCUMENTS	ONPA	
10/02/20	1	ISSUED FOR DEVELOPMENT PERMIT	ONPA	

CONSULTANT

THE WORKUN GARRICK PARTNERSHIP
Architects and Interiors Design Inc.
in collaboration with
ONPA architects

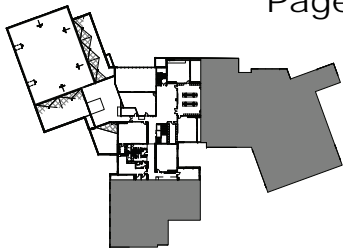
Alberta
Infrastructure

PROJECT: LANGDON JUNIOR / SENIOR HIGH SCHOOL

TITLE: MAIN FLOOR PLAN - EAST

SEAL	DRAWN BY TF/JD	CHECKED BY CW	SCALE As indicated
	DATE 10/02/20	SITE ID	BUILDING ID B8518A
	PLAN NO.	PHASE	DISCIPLINE ARCH
	PROJECT ID B8518A-0001	SHEET NO.	120c

KEY PLAN



NOTES

PARTITION TYPE LEGEND:

H - INDICATES PARTITION HEIGHT
PP - INDICATES PARTITION TYPE
R - INDICATES PARTITION FIRE RESISTANCE (HOURS)

PARTITION HEIGHTS:

A - EXTEND TO UNDERSIDE OF STRUCTURAL DECK ABOVE
B - EXTEND TO 150mm ABOVE FINISHED CEILING HEIGHT, OR
200mm TO KEEP CONCRETE BLOCK WALLS AT A NOMINAL
BLOCK HEIGHT
C - EXTEND 200mm ABOVE FINISHED FLOOR (LOCKER ENDS)
D - B2a/B2b/B2c TO 3800MM A.F.F. WITH
P2a/P2b/P2c ABOVE TO UIS DECK

Key Value	Keynote Text
B.2	SLIDING ALUMINUM-FRAMED GLASS OPERABLE PARTITION, GLASS PANELS TO BE LAMINATED WITH PROTECTED INTERLAYER
B.7	LAMINATED SAFETY GLASS RAILING SYSTEM, c/w PRIVACY FILM
10.1	950mm x 1200mm WHITEBOARD
10.2	2440mm x 1220mm TACKBOARD
10.3	1830mm x 1220mm TACKBOARD
10.10	LOCKERS - SINGLE TIER
10.11	LOCKERS - DOUBLE TIER
11.14	FRODOE (N.I.C.)
11.16	CEILING MOUNTED
11.32	WALL MOUNTED BASKETBALL BACKSTOP
21.1	FIRE EXTINGUISHER, AS PER MECHANICAL
22.3	FLOOR DRAIN, AS PER MECHANICAL
22.9	BARRIER FREE DRINKING FOUNTAIN w BOTTLE FILLING OPTION, AS PER MECHANICAL
22.10	HEIGHT ADJUSTABLE SINK, AS PER MECHANICAL
23.4	MAKE-UP AIR UNIT, AS PER MECHANICAL

ASSEMBLY - INTERIOR PARTITIONS				
Type	Description	STC Rating	Fire Rating (hr)	Type Comments
B1a	250mm CONCRETE BLOCK	50	0	CONCRETE BLOCK WALL
B1b	250mm CONCRETE BLOCK	50	60	CONCRETE BLOCK WALL
B2a	190mm CONCRETE BLOCK	50	0	CONCRETE BLOCK WALL
B2b	190mm CONCRETE BLOCK	50	60	CONCRETE BLOCK WALL
B2c	190mm CONCRETE BLOCK	50	120	CONCRETE BLOCK WALL
B3	140mm CONCRETE BLOCK	45	0	CONCRETE BLOCK WALL
P1a	16mm EXTERIOR FIRE RATED GYPSUM BOARD SHEATHING 152mm STEEL STUDS AT 400mm o.c. 16mm GYPSUM BOARD, FINISH AS SCHEDULED	-	0	EXTERIOR CORE WALL ASSEMBLY - STEEL STUD 152mm
P1b	16mm EXTERIOR FIRE RATED GYPSUM BOARD SHEATHING 152mm STEEL STUDS AT 400mm o.c. 16mm GYPSUM BOARD, FINISH AS SCHEDULED	-	0	EXTERIOR CORE WALL ASSEMBLY - STEEL STUD 152mm
P1c	16mm EXTERIOR GYPSUM BOARD SHEATHING 76mm STEEL STUDS AT 400mm o.c.	-	0	EXTERIOR CORE WALL ASSEMBLY - STEEL STUD 152mm
P2a	16mm GYPSUM BOARD 152mm STEEL STUDS AT 400mm o.c. 140mm ACOUSTIC BLANKET INSULATION 16mm GYPSUM BOARD	51	0	STEEL STUD INTERIOR WALL - CLASSROOMS, OFFICES
P2b	16mm FIRE RATED GYPSUM BOARD 152mm STEEL STUDS AT 400mm o.c. 140mm MINERAL FIBRE BLANKET INSULATION 16mm FIRE RATED GYPSUM BOARD	51	60	STEEL STUD INTERIOR WALL - FIRE RATED
P3a	2 LAYERS 16mm GYPSUM BOARD 152mm STEEL STUDS AT 400mm o.c. 140mm MINERAL FIBRE BLANKET INSULATION 2 LAYERS 16mm GYPSUM BOARD	58	0	STEEL STUD INTERIOR WALL - PRACTICE SOUND AND RECORDING ROOMS
P3b	2 LAYERS 16mm FIRE RATED GYPSUM BOARD 152mm STEEL STUDS AT 400mm o.c. 140mm MINERAL FIBRE BLANKET INSULATION 2 LAYERS 16mm FIRE RATED GYPSUM BOARD	58	60	STEEL STUD INTERIOR WALL - PRACTICE ROOMS (RATED)
P4	16mm GYPSUM BOARD, FINISH AS SCHEDULED 152mm STEEL STUDS AT 400mm o.c. 140mm ACOUSTIC BATT INSULATION 25mm AIR SPACE 152mm STEEL STUD AT 400mm o.c. 140mm ACOUSTIC BATT INSULATION 16mm GYPSUM BOARD, FINISH AS SCHEDULED 22mm HAT CHANNELS AT 600mm O.C.	51	0	STEEL STUD INTERIOR WALL - CLASSROOMS, OFFICES
P5	16mm GYPSUM BOARD, FINISH AS SCHEDULED 22mm HAT CHANNELS AT 600mm O.C.	-	0	FURRING WALL

1 SECOND FLOOR PLAN - WEST
1:100

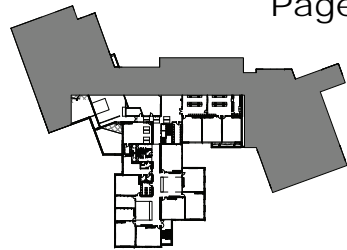
PROJECT
LANGDON JUNIOR / SENIOR HIGH SCHOOL

TITLE
SECOND FLOOR PLAN - WEST

SEAL	DRAWN BY TF/JD	CHECKED BY CW	SCALE As indicated
	DATE 10/02/20	SITE ID B8518A	BUILDING ID B8518A
	PLAN NO.	PHASE	DISCIPLINE ARCH
	PROJECT ID B8518A-0001	SHEET NO. 121a	

DOCUMENT CODE
201116 -121a

KEY PLAN



NOTES

PARTITION TYPE LEGEND:

H - INDICATES PARTITION HEIGHT
PP - INDICATES PARTITION TYPE
R - INDICATES PARTITION FIRE RESISTANCE (HOURS)

PARTITION HEIGHTS:

A - EXTEND TO UNDERSIDE OF STRUCTURAL DECK ABOVE
B - EXTEND TO 100mm ABOVE FINISHED CEILING HEIGHT, OR
20mm TO KEEP CONCRETE BLOCK WALLS AT A NOMINAL
BLOCK HEIGHT
C - EXTEND 200mm ABOVE FINISHED FLOOR (LOOKER ENDS)
D - B2a/B2b/B2c TO 3800MM A.F.F. WITH
P2a/P2b/P2c ABOVE TO UIS DECK

Key Value	Keynote Text
B.1	ROLLING SHUTTER
B.2	SLIDING ALUMINUM-FRAMED GLASS OPERABLE PARTITION, GLASS PANELS TO BE LAMINATED WITH FROSTED INTERLAYER
B.7	LAMINATED SAFETY GLASS RAILING SYSTEM, c/w PRIVACY FILM
B.10.1	3650mm x 1220mm WHITEBOARD
B.10.2	2440mm x 1220mm TACKBOARD
B.10.3	1830mm x 1220mm TACKBOARD
B.10.10	LOCKERS - SINGLE TIER
B.10.11	LOCKERS - DOUBLE TIER
B.11.4	FREEZER (N.I.C.)
B.11.15	FREEZER (N.I.C.)
B.21.1	FIRE EXTINGUISHER, AS PER MECHANICAL
B.22.3	FLOOR DRAIN, AS PER MECHANICAL
B.22.9	BARRIER FREE DRINKING FOUNTAIN w BOTTLE FILLING OPTION, AS PER MECHANICAL
B.23.4	MAKE-UP AIR UNIT, AS PER MECHANICAL

10/02/2020	2	ISSUED FOR BIDDING DOCUMENTS	ONPA	
07/02/2020	1	ISSUED FOR DEVELOPMENT PERMIT	ONPA	
DATE	REV.	DESCRIPTION	DRAWN BY	CHECKED BY

CONSULTANT



ONPA architects

Alberta
Infrastructure

PROJECT LANGDON JUNIOR / SENIOR HIGH SCHOOL

TITLE
SECOND FLOOR PLAN - SOUTH

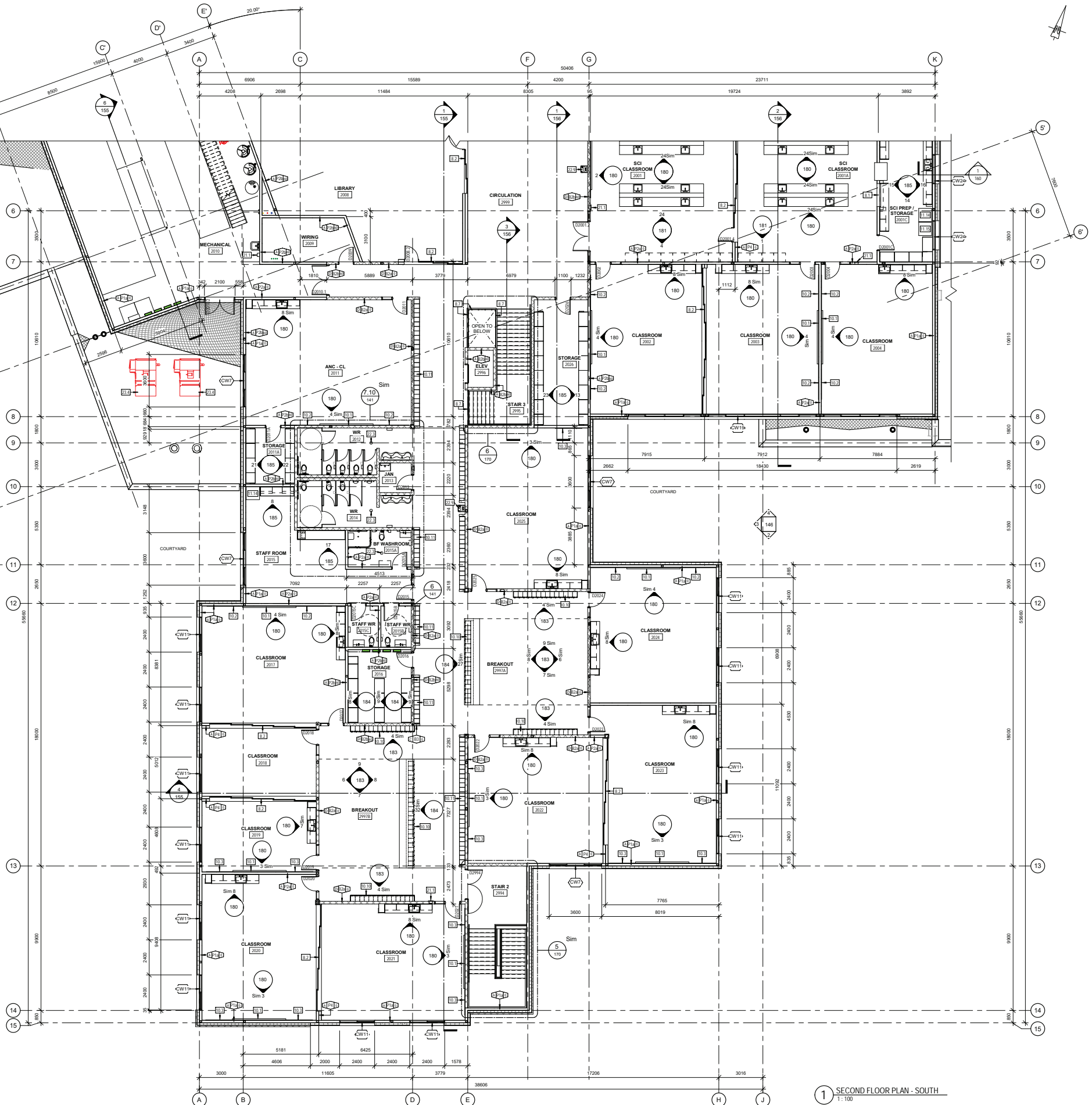
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DRAWN BY TF/JD	CHECKED BY CW	SCALE As indicated
DATE 10/02/20	SITE ID	BUILDING ID B8518A
PLAN NO.	PHASE	DISCIPLINE ARCH
PROJECT ID B8518A-0001	SHEET NO.	121b

DOCUMENT CODE

20116-121b

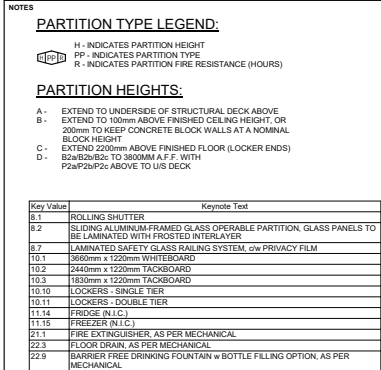
ASSEMBLY - INTERIOR PARTITIONS				
Type	Description	STC Rating (min)	Fire Rating (min)	Type Comments
B1a	250mm CONCRETE BLOCK	50	0	CONCRETE BLOCK WALL
B1b	250mm CONCRETE BLOCK	50	60	CONCRETE BLOCK WALL
B2a	190mm CONCRETE BLOCK	50	0	CONCRETE BLOCK WALL
B2b	190mm CONCRETE BLOCK	50	60	CONCRETE BLOCK WALL
B2c	190mm CONCRETE BLOCK	50	120	CONCRETE BLOCK WALL
B3	140mm CONCRETE BLOCK	48	0	CONCRETE BLOCK WALL
P1a	16mm EXTERIOR FIRE RATED GYPSUM BOARD SHEATHING 152mm STEEL STUDS AT 400mm o.c. 16mm GYPSUM BOARD, FINISH AS SCHEDULED	-	0	EXTERIOR CORE WALL ASSEMBLY - STEEL STUD 152mm
P1b	16mm EXTERIOR FIRE RATED GYPSUM BOARD SHEATHING 152mm STEEL STUDS AT 400mm o.c. 16mm GYPSUM BOARD, FINISH AS SCHEDULED	-	0	EXTERIOR CORE WALL ASSEMBLY - STEEL STUD 152mm
P1c	16mm EXTERIOR GYPSUM BOARD SHEATHING 76mm STEEL STUDS AT 400mm o.c.	-	0	EXTERIOR CORE WALL ASSEMBLY - STEEL STUD 152mm
P2a	16mm GYPSUM BOARD 152mm STEEL STUDS AT 400mm o.c. 140mm ACOUSTIC BLANKET INSULATION 16mm GYPSUM BOARD	51	0	STEEL STUD INTERIOR WALL - CLASSROOMS, OFFICES
P2b	16mm FIRE RATED GYPSUM BOARD 152mm STEEL STUDS AT 400mm o.c. 140mm MINERAL FIBRE BLANKET INSULATION 16mm FIRE RATED GYPSUM BOARD	51	60	STEEL STUD INTERIOR WALL - FIRE RATED
P3a	2 LAYERS 16mm GYPSUM BOARD 152mm STEEL STUDS AT 400mm o.c. 140mm MINERAL FIBRE BLANKET INSULATION 2 LAYERS 16mm GYPSUM BOARD	59	0	STEEL STUD INTERIOR WALL - PRACTICE, BOARD AND RECORDING ROOMS
P3b	2 LAYERS 16mm FIRE RATED GYPSUM BOARD 152mm STEEL STUDS AT 400mm o.c. 140mm MINERAL FIBRE BLANKET INSULATION 2 LAYERS 16mm FIRE RATED GYPSUM BOARD	59	60	STEEL STUD INTERIOR WALL - PRACTICE ROOMS (RATED)
P4	16mm GYPSUM BOARD, FINISH AS SCHEDULED 152mm STEEL STUDS AT 400mm o.c. 140mm ACOUSTIC BATT INSULATION 25mm AIR SPACE 152mm STEEL STUD AT 400mm o.c. 16mm GYPSUM BOARD, FINISH AS SCHEDULED	51	0	STEEL STUD INTERIOR WALL - CLASSROOMS, OFFICES
P5	16mm GYPSUM BOARD, FINISH AS SCHEDULED 22mm HAT CHANNELS AT 800mm O.C.	-	0	FURRING WALL

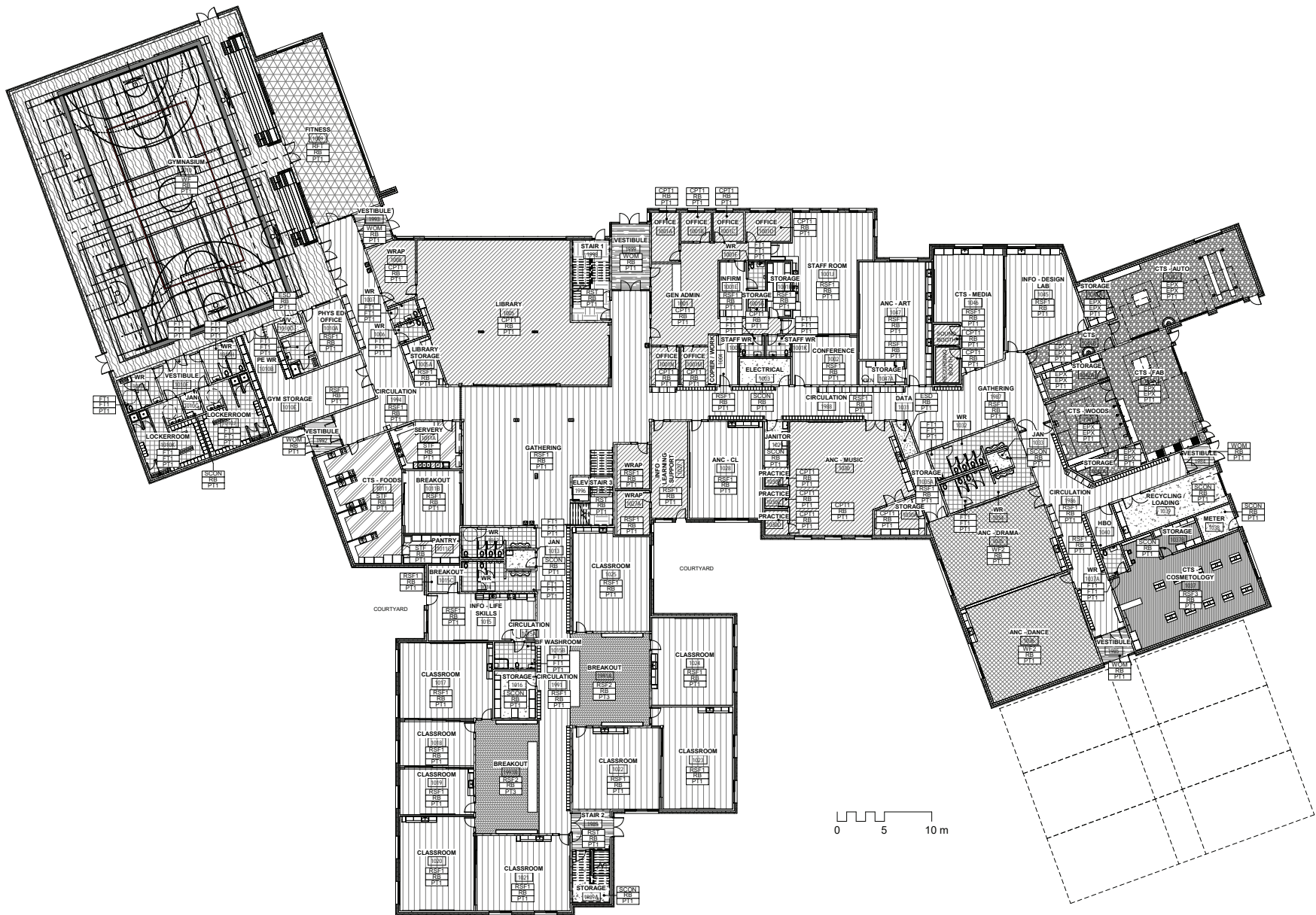


1 SECOND FLOOR PLAN - SOUTH
1:100

This architectural floor plan depicts the second floor, east wing, of a building. The plan is oriented with North at the top. It features a central corridor (CIRCULATION 2009) and a courtyard (COURTYARD) at the bottom. The layout includes several classrooms (e.g., SCI CLASSROOM 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 2074, 2075, 2076, 2077, 2078, 2079, 2080, 2081, 2082, 2083, 2084, 2085, 2086, 2087, 2088, 2089, 2090, 2091, 2092, 2093, 2094, 2095, 2096, 2097, 2098, 2099, 2100, 2101, 2102, 2103, 2104, 2105, 2106, 2107, 2108, 2109, 2110, 2111, 2112, 2113, 2114, 2115, 2116, 2117, 2118, 2119, 2120, 2121, 2122, 2123, 2124, 2125, 2126, 2127, 2128, 2129, 2130, 2131, 2132, 2133, 2134, 2135, 2136, 2137, 2138, 2139, 2140, 2141, 2142, 2143, 2144, 2145, 2146, 2147, 2148, 2149, 2150, 2151, 2152, 2153, 2154, 2155, 2156, 2157, 2158, 2159, 2160, 2161, 2162, 2163, 2164, 2165, 2166, 2167, 2168, 2169, 2170, 2171, 2172, 2173, 2174, 2175, 2176, 2177, 2178, 2179, 2180, 2181, 2182, 2183, 2184, 2185, 2186, 2187, 2188, 2189, 2190, 2191, 2192, 2193, 2194, 2195, 2196, 2197, 2198, 2199, 2200, 2201, 2202, 2203, 2204, 2205, 2206, 2207, 2208, 2209, 2210, 2211, 2212, 2213, 2214, 2215, 2216, 2217, 2218, 2219, 2220, 2221, 2222, 2223, 2224, 2225, 2226, 2227, 2228, 2229, 2230, 2231, 2232, 2233, 2234, 2235, 2236, 2237, 2238, 2239, 2240, 2241, 2242, 2243, 2244, 2245, 2246, 2247, 2248, 2249, 2250, 2251, 2252, 2253, 2254, 2255, 2256, 2257, 2258, 2259, 2260, 2261, 2262, 2263, 2264, 2265, 2266, 2267, 2268, 2269, 2270, 2271, 2272, 2273, 2274, 2275, 2276, 2277, 2278, 2279, 2280, 2281, 2282, 2283, 2284, 2285, 2286, 2287, 2288, 2289, 2290, 2291, 2292, 2293, 2294, 2295, 2296, 2297, 2298, 2299, 2300, 2301, 2302, 2303, 2304, 2305, 2306, 2307, 2308, 2309, 2310, 2311, 2312, 2313, 2314, 2315, 2316, 2317, 2318, 2319, 2320, 2321, 2322, 2323, 2324, 2325, 2326, 2327, 2328, 2329, 2330, 2331, 2332, 2333, 2334, 2335, 2336, 2337, 2338, 2339, 2340, 2341, 2342, 2343, 2344, 2345, 2346, 2347, 2348, 2349, 2350, 2351, 2352, 2353, 2354, 2355, 2356, 2357, 2358, 2359, 2360, 2361, 2362, 2363, 2364, 2365, 2366, 2367, 2368, 2369, 2370, 2371, 2372, 2373, 2374, 2375, 2376, 2377, 2378, 2379, 2380, 2381, 2382, 2383, 2384, 2385, 2386, 2387, 2388, 2389, 2390, 2391, 2392, 2393, 2394, 2395, 2396, 2397, 2398, 2399, 2400, 2401, 2402, 2403, 2404, 2405, 2406, 2407, 2408, 2409, 2410, 2411, 2412, 2413, 2414, 2415, 2416, 2417, 2418, 2419, 2420, 2421, 2422, 2423, 2424, 2425, 2426, 2427, 2428, 2429, 2430, 2431, 2432, 2433, 2434, 2435, 2436, 2437, 2438, 2439, 2440, 2441, 2442, 2443, 2444, 2445, 2446, 2447, 2448, 2449, 2450, 2451, 2452, 2453, 2454, 2455, 2456, 2457, 2458, 2459, 2460, 2461, 2462, 2463, 2464, 2465, 2466, 2467, 2468, 2469, 2470, 2471, 2472, 2473, 2474, 2475, 2476, 2477, 2478, 2479, 2480, 2481, 2482, 2483, 2484, 2485, 2486, 2487, 2488, 2489, 2490, 2491, 2492, 2493, 2494, 2495, 2496, 2497, 2498, 2499, 2500, 2501, 2502, 2503, 2504, 2505, 2506, 2507, 2508, 2509, 2510, 2511, 2512, 2513, 2514, 2515, 2516, 2517, 2518, 2519, 2520, 2521, 2522, 2523, 2524, 2525, 2526, 2527, 2528, 2529, 2530, 2531, 2532, 2533, 2534, 2535, 2536, 2537, 2538, 2539, 2540, 2541, 2542, 2543, 2544, 2545, 2546, 2547, 2548, 2549, 2550, 2551, 2552, 2553, 2554, 2555, 2556, 2557, 2558, 2559, 2560, 2561, 2562, 2563, 2564, 2565, 2566, 2567, 2568, 2569, 2570, 2571, 2572, 2573, 2574, 2575, 2576, 2577, 2578, 2579, 2580, 2581, 2582, 2583, 2584, 2585, 2586, 2587, 2588, 2589, 2590, 2591, 2592, 2593, 2594, 2595, 2596, 2597, 2598, 2599, 2600, 2601, 2602, 2603, 2604, 2605, 2606, 2607, 2608, 2609, 2610, 2611, 2612, 2613, 2614, 2615, 2616, 2617, 2618, 2619, 2620, 2621, 2622, 2623, 2624, 2625, 2626, 2627, 2628, 2629, 2630, 2631, 2632, 2633, 2634, 2635, 2636, 2637, 2638, 2639, 2640, 2641, 2642, 2643, 2644, 2645, 2646, 2647, 2648, 2649, 2650, 2651, 2652, 2653, 2654, 2655, 2656, 2657, 2658, 2659, 2660, 2661, 2662, 2663, 2664, 2665, 2666, 2667, 2668, 2669, 2670, 2671, 2672, 26

1 SECOND FLOOR PLAN - EAST
1:100

[illegible]



1 FINISHES PLAN - OVERALL MAIN FLOOR PLAN
1:200

Material Legend				
Tag	Description	Manufacturer	Product Specification	Comments
AWP	09-CONC (no surface pattern)	CONCRETE, SEALED	SEE SPECIFICATIONS	
AWP1	09-ACOUSTIC WALL PANEL - AWP1	ACOUSTIC WALL PANEL	TO BE DETERMINED	225mm x 610mm, CUT TO FIT AS REQUIRED, ALLOW FOR 4 DIFFERENT COLOURS
CPT1	09-CARPET TILE - CPT1	CARPET TILE	TO BE DETERMINED	
EPX	09-EPOXY FLOORING - EPX	EPOXY FLOORING	TO BE DETERMINED	COATING TO GO 100mm UP WALL
ESD	09-ELECTROSTATIC DISSIPATIVE FLOORING - ESD	ELECTROSTATIC DISSIPATIVE FLOORING	TO BE DETERMINED	
PT1	09-PORCELAIN FLOOR TILE - PT1	PORCELAIN FLOOR TILE	TO BE DETERMINED	
PL1	09-PLASTIC LAMINATE - PL1	PLASTIC LAMINATE	TO BE DETERMINED	
PT1	09-FIELD PAINT - PT1	PAINT - FIELD COLOUR	TO BE DETERMINED	ALL WALLS TO BE PAINTED PT1 UNLESS OTHERWISE NOTED
PT2	09-PAINT - PT2	ACCENT PAINT	TO BE DETERMINED	ALLOW FOR 3 ACCENT COLOURS, LOCATIONS TBD
PT3	09-PAINT - PT3	ACCENT PAINT	TO BE DETERMINED	METAL DOORS AND FRAMES, ALLOW FOR 2 COLOURS
PW11	09-PORCELAIN WALL TILE - PW11	PORCELAIN WALL TILE	TO BE DETERMINED	ALL WASHROOM WALLS TO RECEIVE TILE UNLESS OTHERWISE NOTED
PW12	09-PORCELAIN WALL TILE - PW12	PORCELAIN WALL TILE	TO BE DETERMINED	ALLOW FOR 3 ACCENT TILES, LOCATIONS TBD
RB1	09-RUBBER BASE - RB1	100mm RUBBER BASE	TO BE DETERMINED	
RSF1	09-RESILIENT SHEET FLOORING - RSF1	RESILIENT SHEET FLOORING	TO BE DETERMINED	
RSF2	09-RESILIENT SHEET FLOORING - RSF2	RESILIENT SHEET FLOORING	TO BE DETERMINED	ALLOW FOR 3 ACCENT COLOURS, LOCATIONS TBD
RSF3	09-RESILIENT SHEET FLOORING - RSF3	NON-SLIP ACID AND CHEMICAL RESISTANT RESILIENT SHEET FLOORING	TO BE DETERMINED	NON-SLIP ACID AND CHEMICAL RESISTANT
RST	09-RUBBER STAIR TREAD - RST	RUBBER STAIR TREAD	TO BE DETERMINED	
RST1	09-RUBBER SPORTS TILE - RST1	RUBBER SPORTS TILE	TO BE DETERMINED	
SCON	09-SEALED CONCRETE - SCON	SEALED CONCRETE	TO BE DETERMINED	
SS1	09-SOLID SURFACE - SS1	SOLID SURFACE	TO BE DETERMINED	
ST1	09-STAINLESS STEEL - ST1	STAINLESS STEEL	TO BE DETERMINED	COUNTERTOPS AS INDICATED
STF1	09-SAFETY SHEET FLOORING - STF1	SAFETY SHEET FLOORING	TO BE DETERMINED	
WF1	09-WOOD FLOOR - WF1	WOOD FLOOR	TO BE DETERMINED	SPRUNG WOOD FLOOR CONSTRUCTION, DARK STAINED HARDWOOD FINISH
WF2	09-SPRUNG WOOD FLOOR - WF2	SPRUNG WOOD FLOOR	TO BE DETERMINED	WOOD VENEER ON CLEAR FINISH FOR THEATER STAIR SEAT LANDINGS, TREADS & RISERS, SAFETY STRIP ON EDGES
WM2	09-WM2	WOOD MAPLE	TO BE DETERMINED	
WOM	09-WALK OFF MAT - WOM	WALK OFF MAT	TO BE DETERMINED	
WSC	09-WOOD SLAT CEILING	WOOD SLAT CEILING	TO BE DETERMINED	
WV1	09-WOOD VENEER - WV1	WOOD VENEER	CLEAR BIRCH WOOD VENEER	TYPICAL MILLWORK CABINETS

Floor Finishes Legend

	RSF1 - RESILIENT SHEET FLOORING 1		RFT - RUBBER SPORTS TILE
	RSF2 - RESILIENT SHEET FLOORING 2		RST - RUBBER STAIR TREADS
	RSF3 - RESILIENT SHEET FLOORING 3		WF1 - WOOD FLOOR
	CPT - CARPET TILE		WF2 - SPRUNG WOOD FLOOR
	SCON - SEALED CONCRETE		WOM - WALK OFF MAT
	PFT - PORCELAIN FLOOR TILE		EPX - EPOXY FLOORING
	STF - SAFETY SHEET FLOORING		ESD - ELECTROSTATIC DISSIPATIVE FLOORING

KEY PLAN

NOTES

10/02/2020	2	ISSUED FOR BIDDING DOCUMENTS	ONPA
07/03/2020	1	ISSUED FOR DEVELOPMENT PERMIT	ONPA
DATE	REV.	DESCRIPTION	DRAWN BY CHECKED BY

CONSULTANT



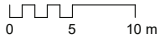
PROJECT
LANGDON JUNIOR / SENIOR HIGH SCHOOL

TITLE
MAIN FLOOR FINISHES PLAN

SEAL

DRAWN BY AS	CHECKED BY CW	SCALE 1 : 200
DATE 10/02/20	SITE ID	BUILDING ID B8518A
PLAN NO.	PHASE	DISCIPLINE ARCH
PROJECT ID B8518A-0001	SHEET NO.	125

DOCUMENT CODE
20116 -125



①

Floor Finishes Legend

	RSF1 - RESILIENT SHEET FLOORING 1		RFT - RUBBER SPORTS TILE
	RSF2 - RESILIENT SHEET FLOORING 2		RST - RUBBER STAR TREADS
	RSF3 - RESILIENT SHEET FLOORING 3		WF1 - WOOD FLOOR
	CPT - CARPET TILE		WF2 - STRUNG WOOD FLOOR
	SCON - SEALED CONCRETE		WOM - WALK OFF MAT
	PFT - PORCELAIN FLOOR TILE		EPX - EPOXY FLOORING
	STF - SAFETY SHEET FLOORING		ESD - ELECTROSTATIC DISSIPATIVE FLOORING

KEY PLAN

NOTES[illegible]

10/02/2020	2	ISSUED FOR BRIDGING DOCUMENTS	ONPA	
07/03/2020	1	ISSUED FOR DEVELOPMENT PERMIT	ONPA	
DATE	REV.	DESCRIPTION	DRAWN BY	CHECKED BY

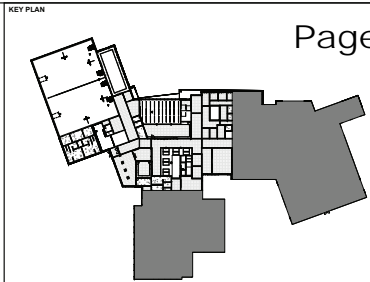


PROJECT
LANGDON JUNIOR / SENIOR HIGH SCHOOL

TITLE

SECOND FLOOR FINISHES PLAN

SEAL	DRAWN BY AS	CHECKED BY CW	SCALE 1 : 200
	DATE 10/02/20	SITE ID	BUILDING ID B8518A
	PLAN NO.	PHASE	DISCIPLINE ARCH
	PROJECT ID B8518A-0001		SHEET NO. 126



NOTES

CEILING TYPE LEGEND

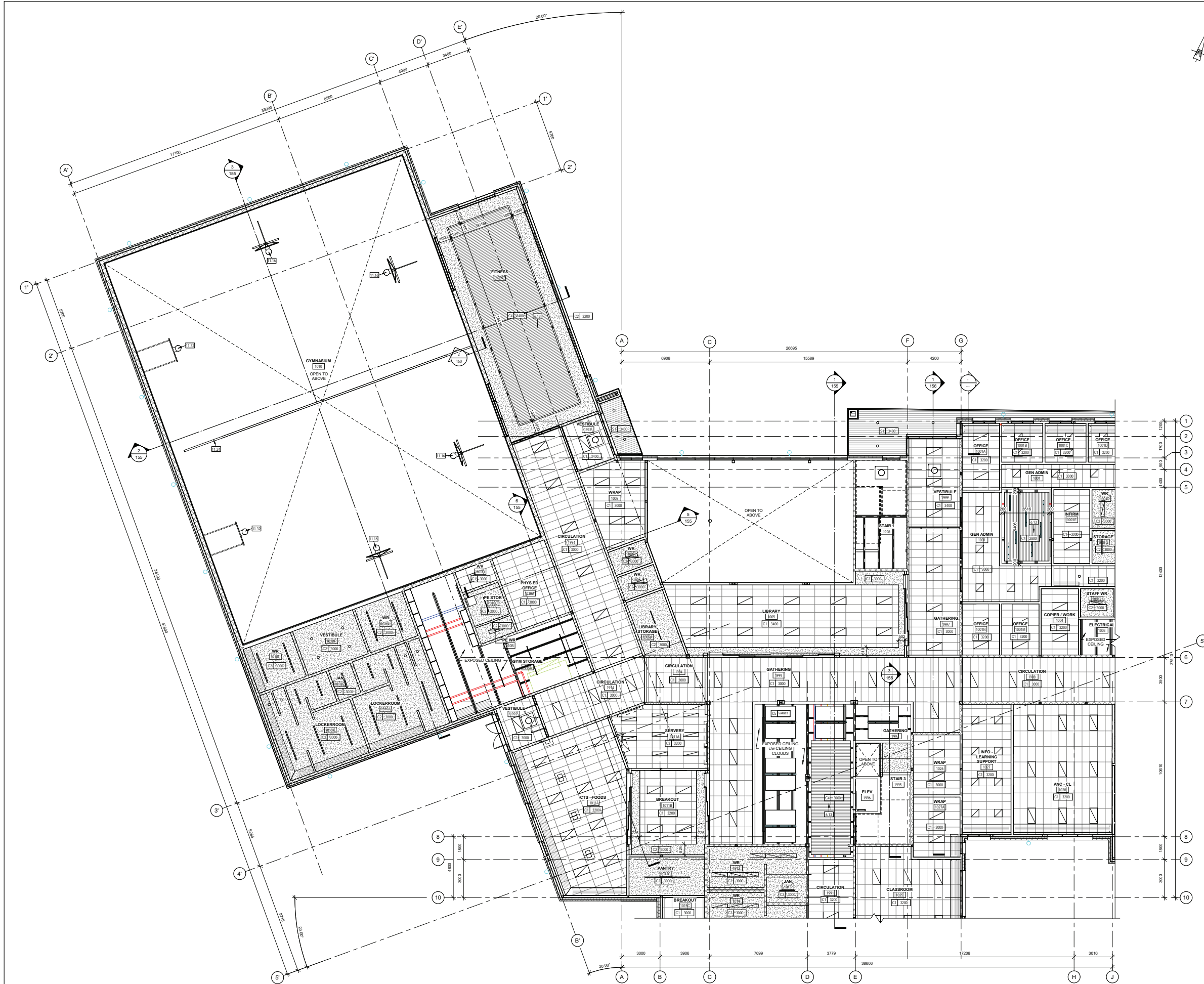
	C1 - SUSPENDED T-BAR CEILING MUST MEET A MINIMUM 0.70 NRC RATING
	C2 - GYPSUM BOARD CEILING
	C3 - SUSPENDED T-BAR CEILING - WASHABLE TILES
	C4 - WOOD GRILLE CEILING MUST MEET A MINIMUM 0.70 NRC RATING
	C5 - ACOUSTIC CLOUDS MUST MEET A MINIMUM 0.70 NRC RATING
	C6 - ACOUSTIC BAFFLES MUST MEET A MINIMUM 0.70 NRC RATING
	C7 - EXPOSED STRUCTURE - PAINTED

CEILING ASSEMBLIES

TYPE	DESCRIPTION
C1	610mm x 1220mm SUSPENDED ACOUSTIC T-BAR SYSTEM
C2	18mm SUSPENDED STEEL STUDS @ 400mm o.c.
C3	18mm GYPSUM BOARD
C4	610mm X 1220mm SUSPENDED ACOUSTIC T-BAR SYSTEM - WASHABLE TILES
C5	SUSPENDED ACOUSTIC CLOUDS
C6	SUSPENDED ACOUSTIC BAFFLES
C7	EXPOSED PAINTED STRUCTURE

Key Value

Key Value	Keynote Text
R.13	WOOD GRILLE CEILING - COORDINATE REMOVEABLE INSTALL ACCESS POINTS FOR SERVING
T1.16	CEILING MOUNTED
T1.24	GYMNASIUM CURTAIN DIVIDER
T1.32	WALL MOUNTED BASKETBALL BACKSTOP



1 MAIN FLOOR REFLECTED CEILING PLAN - WEST
1:100

10/02/2020	2	ISSUED FOR BIDDING DOCUMENTS	ONPA	
07/02/2020	1	ISSUED FOR DEVELOPMENT PERMIT	ONPA	
DATE	REV.	DESCRIPTION	DRAWN BY	CHECKED BY

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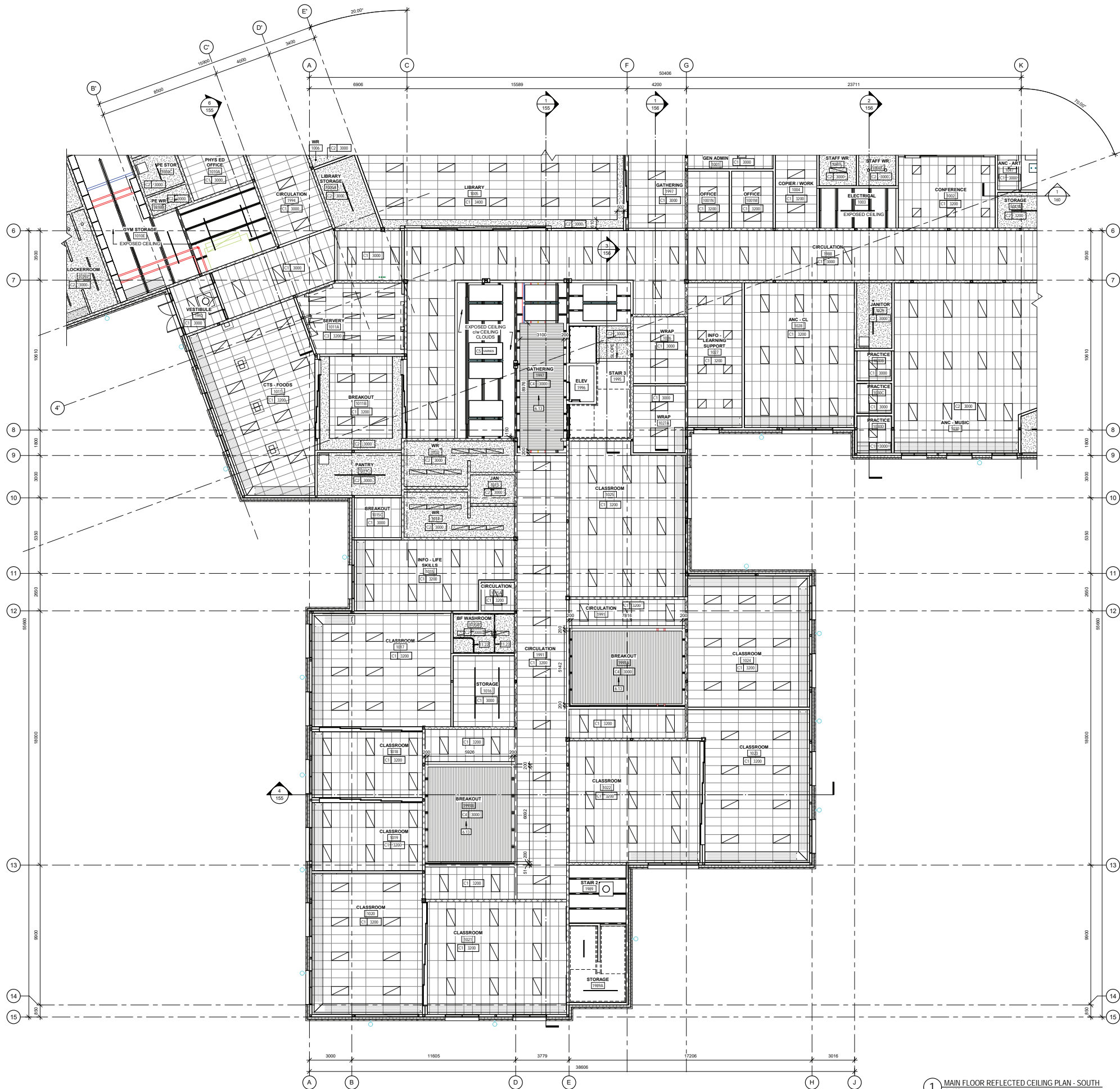
ONPA architects
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PROJECT
LANGDON JUNIOR / SENIOR HIGH SCHOOL

TITLE
MAIN FLOOR REFLECTED CEILING PLAN - WEST

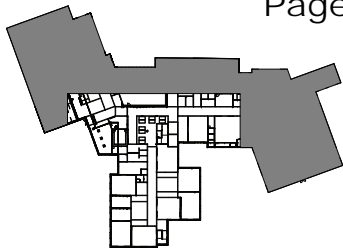
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	DATE 10/02/20	SITE ID	BUILDING ID B8518A
	PLAN NO.	PHASE	DISCIPLINE ARCH
	PROJECT ID B8518A-0001	SHEET NO.	130a

DOCUMENT CODE
20116 - 130a



1 MAIN FLOOR REFLECTED CEILING PLAN - SOUTH
1:100

KEY PLAN



NOTES

CEILING TYPE LEGEND

	C1 - SUSPENDED T-BAR CEILING MUST MEET A MINIMUM 0.70 NRC RATING
	C2 - GYPSUM BOARD CEILING
	C3 - SUSPENDED T-BAR CEILING - WASHABLE TILES
	C4 - WOOD GRILLE CEILING MUST MEET A MINIMUM 0.70 NRC RATING
	C5 - ACOUSTIC CLOUDS MUST MEET A MINIMUM 0.70 NRC RATING
	C6 - ACOUSTIC BAFFLES MUST MEET A MINIMUM 0.70 NRC RATING
	C7 - EXPOSED STRUCTURE - PAINTED

CEILING ASSEMBLIES

TYPE	DESCRIPTION
C1	610mm x 1220mm SUSPENDED ACOUSTIC T-BAR SYSTEM
C2	610mm SUSPENDED STEEL STUDS @ 400mm o.c. 18mm GYPSUM BOARD
C3	610mm x 1220mm SUSPENDED ACOUSTIC T-BAR SYSTEM - WASHABLE TILES
C4	SUSPENDED ACOUSTIC WOOD GRILLE CEILING
C5	SUSPENDED ACOUSTIC CLOUDS
C6	SUSPENDED ACOUSTIC BAFFLES
C7	EXPOSED PAINTED STRUCTURE

Key Value	Keynote Text
R.13	WOOD GRILLE CEILING - COORDINATE REMOVEABLE INSTALL ACCESS POINTS FOR SERVING
T1.22	S-SHAPED SHOWER ROD CURTAIN TRACK
T1.23	CEILING TRACK HOIST SYSTEM

10/02/2020	2	ISSUED FOR BIDDING DOCUMENTS	ONPA
07/02/2020	1	ISSUED FOR DEVELOPMENT PERMIT	ONPA
DATE	REV.	DESCRIPTION	DRAWN BY CHECKED BY

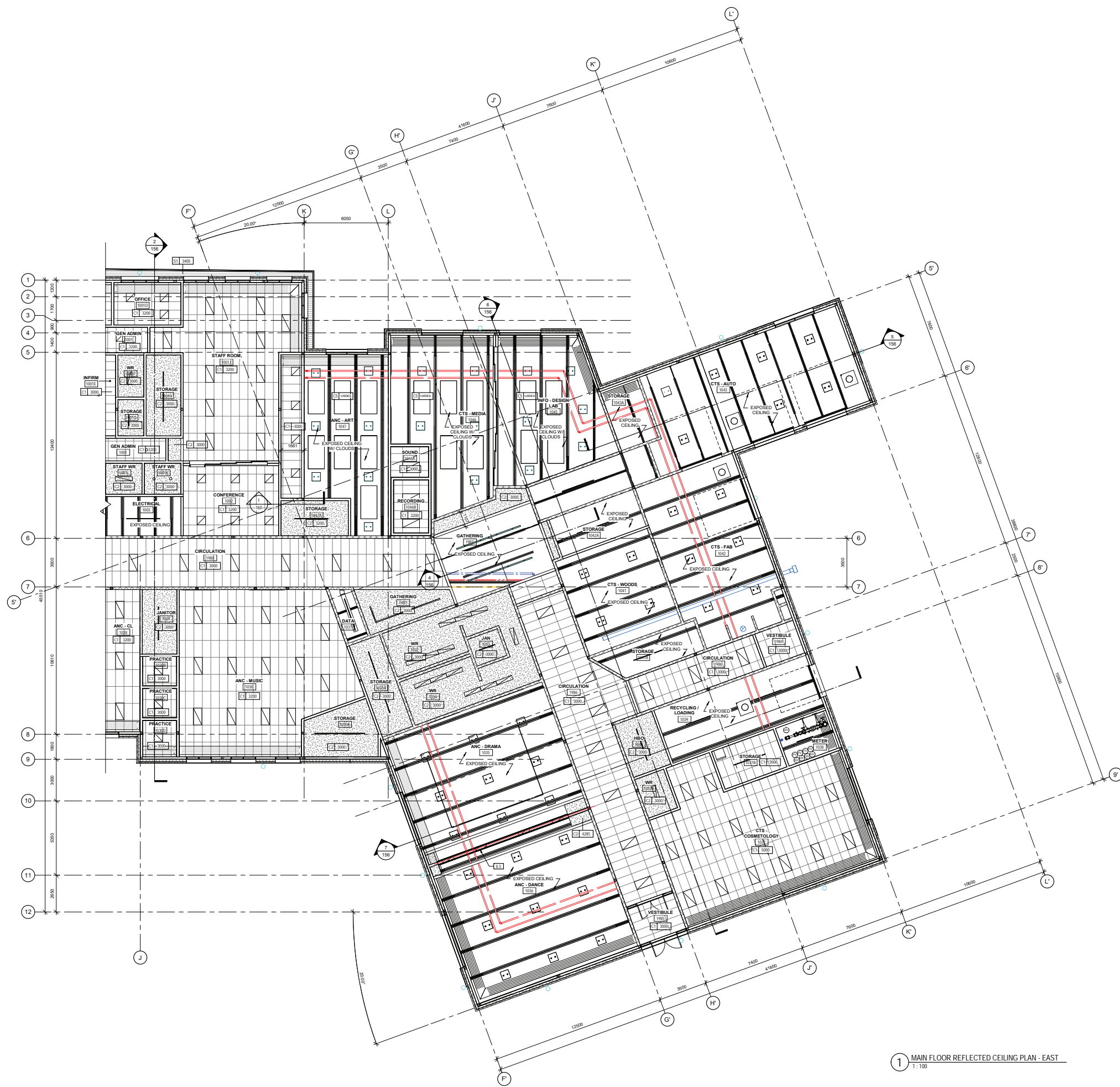
CONSULTANT

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PROJECT
LANGDON JUNIOR / SENIOR HIGH SCHOOL

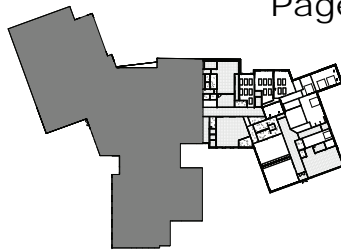
TITLE
MAIN FLOOR REFLECTED CEILING PLAN - SOUTH

SEAL	DRAWN BY TF/JD	CHECKED BY CW	SCALE As indicated
	DATE 10/02/20	SITE ID	BUILDING ID B8518A
	PLAN NO.	PHASE	DISCIPLINE ARCH
	PROJECT ID B8518A-0001	SHEET NO.	130b



1 MAIN FLOOR REFLECTED CEILING PLAN - EAST
1:100

KEY PLAN



NOTES

CEILING TYPE LEGEND

	C1 - SUSPENDED T-BAR CEILING MUST MEET A MINIMUM 0.70 NRC RATING
	C2 - GYPSUM BOARD CEILING
	C3 - SUSPENDED T-BAR CEILING - WASHABLE TILES
	C4 - WOOD GRILLE CEILING MUST MEET A MINIMUM 0.70 NRC RATING
	C5 - ACOUSTIC CLOUDS MUST MEET A MINIMUM 0.70 NRC RATING
	C6 - ACOUSTIC BAFFLES MUST MEET A MINIMUM 0.70 NRC RATING
	C7 - EXPOSED STRUCTURE - PAINTED

CEILING ASSEMBLIES

TYPE	DESCRIPTION
C1	610mm x 1220mm SUSPENDED ACOUSTIC T-BAR SYSTEM
C2	18mm GYPSUM BOARD
C3	610mm x 1220mm SUSPENDED ACOUSTIC T-BAR SYSTEM - WASHABLE TILES
C4	SUSPENDED ACOUSTIC WOOD GRILLE CEILING
C5	SUSPENDED ACOUSTIC CLOUDS
C6	SUSPENDED ACOUSTIC BAFFLES
C7	EXPOSED PAINTED STRUCTURE

Key Value	Keynote Text
B.5	AUTOMATIC VERTICALLY RETRACTABLE ACOUSTICAL WALL

10/02/20	2	ISSUED FOR BIDDING DOCUMENTS	ONPA
07/02/20	1	ISSUED FOR DEVELOPMENT PERMIT	ONPA

DATE	REV.	DESCRIPTION	DRAWN BY	CHECKED BY
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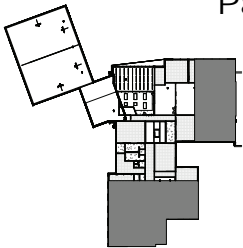
PROJECT
LANGDON JUNIOR / SENIOR HIGH SCHOOL

TITLE
MAIN FLOOR REFLECTED CEILING PLAN - EAST

SEAL	DRAWN BY TF/JD	CHECKED BY CW	SCALE As indicated
	DATE 10/02/20	SITE ID	BUILDING ID B8518A
	PLAN NO.	PHASE	DISCIPLINE ARCH
	PROJECT ID B8518A-0001	SHEET NO.	130c

DOCUMENT CODE
20116 - 130c

KEY PLAN



NOTES

CEILING TYPE LEGEND

	C1 - SUSPENDED T-BAR CEILING MUST MEET A MINIMUM 0.70 NRC RATING
	C2 - GYPSUM BOARD CEILING
	C3 - SUSPENDED T-BAR CEILING - WASHABLE TILES
	C4 - WOOD GRILLE CEILING MUST MEET A MINIMUM 0.70 NRC RATING
	C5 - ACOUSTIC CLOUDS MUST MEET A MINIMUM 0.70 NRC RATING
	C6 - ACOUSTIC BAFFLES MUST MEET A MINIMUM 0.70 NRC RATING
	C7 - EXPOSED STRUCTURE - PAINTED

CEILING ASSEMBLIES

TYPE	DESCRIPTION
C1	610mm x 1220mm SUSPENDED ACOUSTIC T-BAR SYSTEM
C2	18mm GYPSUM BOARD
C3	610mm X 1220mm SUSPENDED ACOUSTIC T-BAR SYSTEM - WASHABLE TILES
C4	SUSPENDED ACOUSTIC WOOD GRILLE CEILING
C5	SUSPENDED ACOUSTIC CLOUDS
C6	SUSPENDED ACOUSTIC BAFFLES
C7	EXPOSED PAINTED STRUCTURE

Key Value	Keynote Text
R.13	WOOD GRILLE CEILING - COORDINATE REMOVEABLE INSTALL ACCESS POINTS FOR SERVING
T1.22	X-SHAPED SHOWER ROD CURTAIN TRACK
T1.23	CEILING TRACK HOIST SYSTEM

DATE	REV.	DESCRIPTION	DRAWN BY	CHECKED BY
10/02/20	2	ISSUED FOR BIDDING DOCUMENTS	ONPA	
07/02/20	1	ISSUED FOR DEVELOPMENT PERMIT	ONPA	

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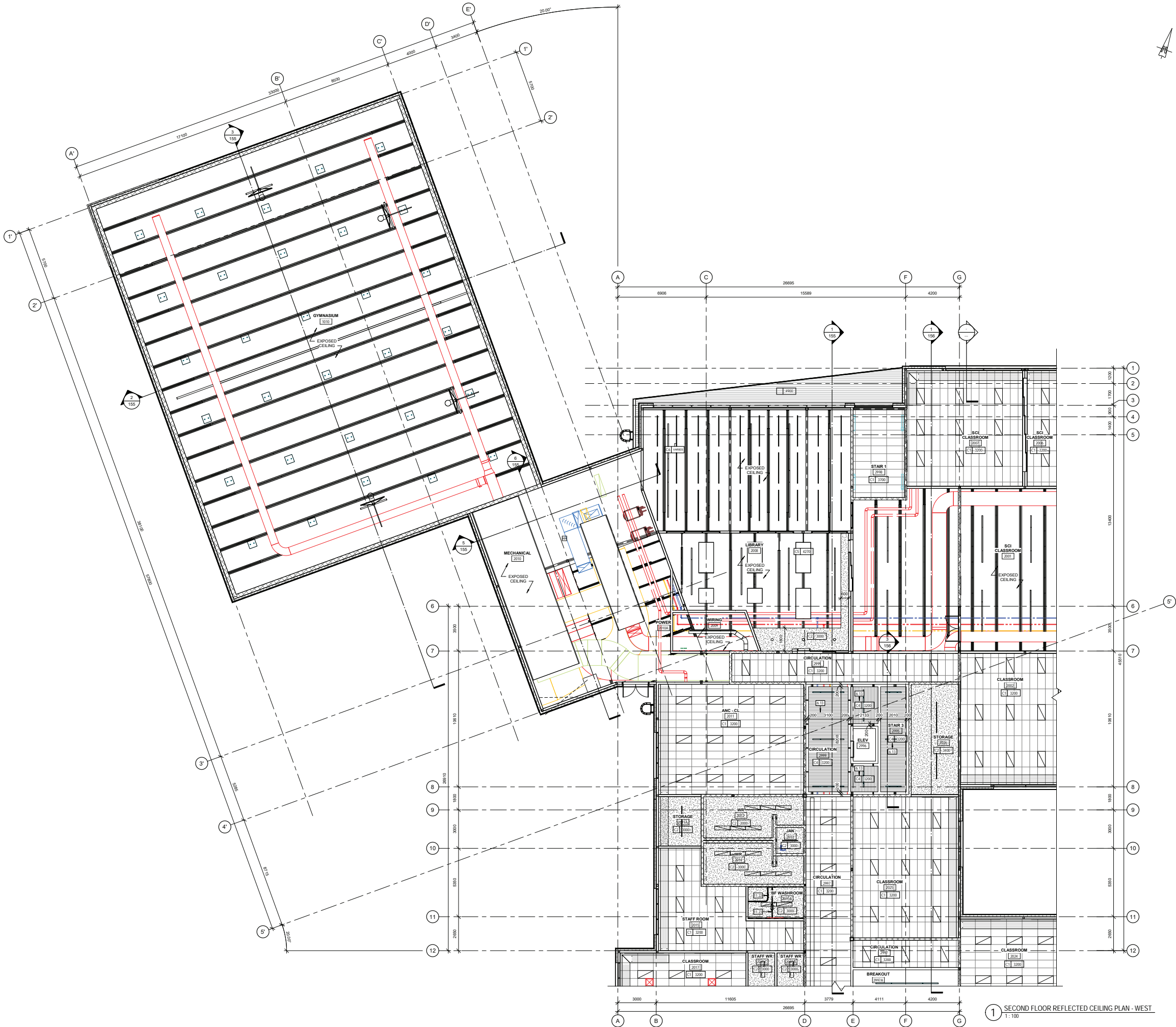
Architecture and Interior Design Inc.
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ONPA architects

PROJECT
LANGDON JUNIOR / SENIOR HIGH SCHOOL

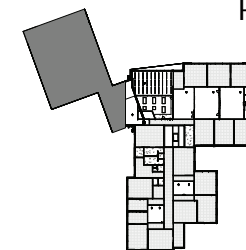
TITLE
SECOND FLOOR REFLECTED CEILING PLAN - WEST

SEAL	DRAWN BY TFJ/D	CHECKED BY CW	SCALE As indicated
	DATE 10/02/20	SITE ID B8518A	BUILDING ID B8518A
	PLAN NO.	PHASE	DISCIPLINE ARCH
	PROJECT ID B8518A-0001	SHEET NO. 131a	

DOCUMENT CODE
20116 -131a



1 SECOND FLOOR REFLECTED CEILING PLAN - WEST
1:100



CEILING TYPE LEGEND

FIGURE 1 Examples of ceiling types

C1 - SUSPENDED T-BAR CEILING
MUST MEET A MINIMUM 0.70 NRC RATING

C2 - GYPSUM BOARD CEILING

C3 - SUSPENDED T-BAR CEILING - WASHABLE TILES

C4 - WOOD GRILLE CEILING
MUST MEET A MINIMUM 0.70 NRC RATING

C5 - ACOUSTIC CLOUDS
MUST MEET A MINIMUM 0.70 NRC RATING

C6 - ACOUSTIC BAFFLES
MUST MEET A MINIMUM 0.70 NRC RATING

C7 - EXPOSED STRUCTURE - PAINTED

CEILING ASSEMBLIES

TYPE	DESCRIPTION
C1	610mm x 1220mm SUSPENDED ACOUSTIC T-BAR SYSTEM
C2	92mm SUSPENDED STEEL STUDS @ 400mm o.c. 16mm GYPSUM BOARD
C3	1010mm x 1220mm SUSPENDED ACOUSTIC T-BAR SYSTEM - WASHABLE TILES
C4	SUSPENDED ACOUSTIC WOOD GRILL CEILING
C5	SUSPENDED ACOUSTIC CLOUDS
C6	SUSPENDED ACOUSTIC BAFFLES
C7	EXPOSED PAINTED STRUCTURE

Key Value	Keynote Text
6.13	WOOD GRILLE CEILING - COORDINATE REMOVEABLE INSTALL ACCESS POINT FOR SERVICING
11.22	L-SHAPED SHOWER ROD CURTAIN TRACK
11.23	CEILING TRACK HOIST SYSTEM

10/02/2020	2	ISSUED FOR BRIDGING DOCUMENTS	ONPA
07/03/2020	1	ISSUED FOR DEVELOPMENT PERMIT	ONPA
DATE	REV.	DESCRIPTION	DRAWN BY

CONSULTANT



PROJECT	LANGDON JUNIOR / SENIOR HIGH SCHOOL
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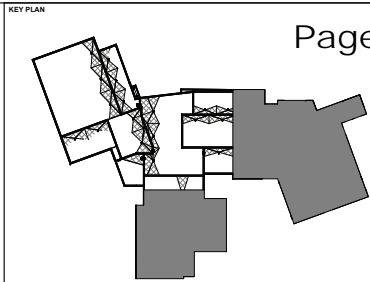
TITLE

SECOND FLOOR REFLECTED CEILING PLAN - EAST

SEAL	DRAIN BY TF/ID	CHECKED BY CW	SCALE As indicated
	DATE 10/02/20	SITE ID	BUILDING ID B518A
	PLAN NO.	PHASE	DISCIPLINE ARCH
	PROJECT ID B518A-0001		SHEET NO. 131b

DOCUMENT CODE

20116 -131b



Key Value		Keynote Text
1	1	WALL MOUNTED FIXED LADDER TO PIP FORNS STANDARDS AND ASSOCIATED COMPONENTS
22.4	22.4	ROOF DRAIN, AS PER MECHANICAL
23.1	23.1	EXHAUST FAN, AS PER MECHANICAL
23.2	23.2	CONDENSING UNIT, AS PER MECHANICAL
23.3	23.3	ROOF HOOK, AS PER MECHANICAL
23.4	23.4	MAKE-UP AIR UNIT, AS PER MECHANICAL

NOTES

1002000	2	ISSUED FOR BIDDING DOCUMENTS	ONPA
0702000	1	ISSUED FOR DEVELOPMENT PERMIT	ONPA

DATE	REV.	DESCRIPTION	DRAWN BY	CHECKED BY

CONSULTANT

PROJECT
LANGDON JUNIOR / SENIOR HIGH SCHOOL

TITLE
ROOF PLAN - WEST

SEAL	DRAWN BY TF/JD	CHECKED BY CW	SCALE As indicated
	DATE 10/02/20	SITE ID B8518A	BUILDING ID B8518A
	PLAN NO.	PHASE	DISCIPLINE ARCH
	PROJECT ID B8518A-0001	SHEET NO. 135a	

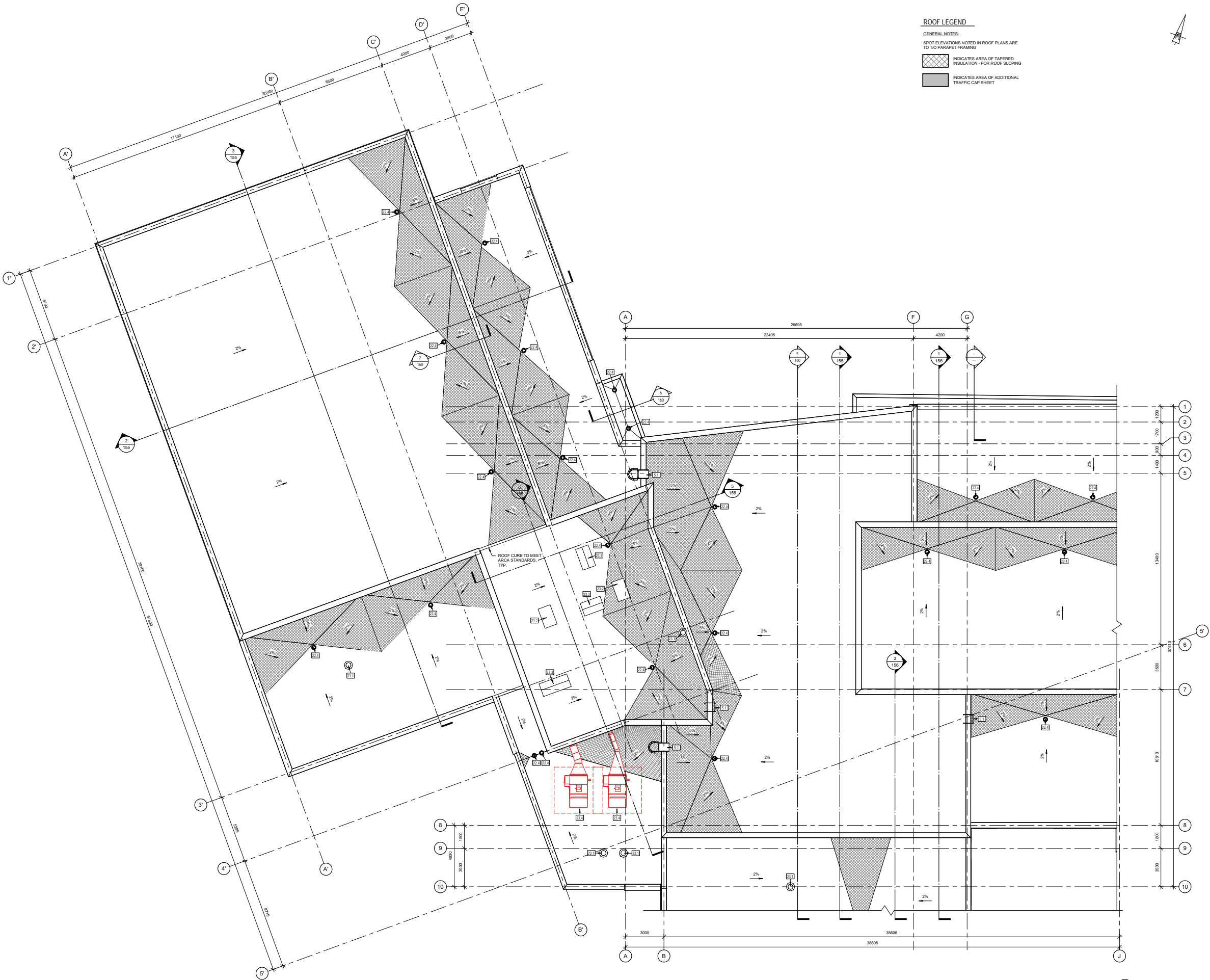
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20116 - 135a

ROOF LEGEND

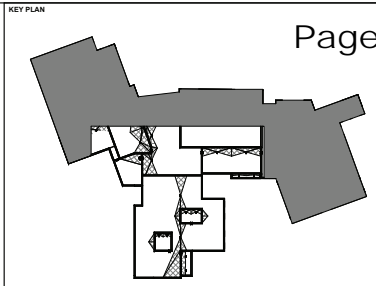
GENERAL NOTES

SPOT ELEVATIONS NOTED IN ROOF PLANS ARE TO TO PARAPET FRAMING

- INDICATES AREA OF TAPERED INSULATION - FOR ROOF SLOPING
- INDICATES AREA OF ADDITIONAL TRAFFIC CAP SHEET



1 ROOF PLAN - WEST
1:100



NOTES	
Key Value	Keynote Text
1.1	WALL MOUNTED FIXED LADDER TO PIP FORKS STANDARDS AND ASSOCIATED COMPONENTS
22.4	ROOF DRAIN, AS PER MECHANICAL
23.1	EXHAUST FAN, AS PER MECHANICAL
23.2	CONDENSING UNIT, AS PER MECHANICAL
23.3	ROOF HOOK, AS PER MECHANICAL
23.4	MAKE-UP AIR UNIT, AS PER MECHANICAL

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07020000	1	ISSUED FOR DEVELOPMENT PERMIT	ONPA	
DATE	REV.	DESCRIPTION	DRAWN BY	CHECKED BY
CONSULTANT				
 ONPA architects				
PROJECT LANGDON JUNIOR / SENIOR HIGH SCHOOL				
TITLE ROOF PLAN - SOUTH				
SEAL	DRAWN BY TF/JD	CHECKED BY CW	SCALE As indicated	
	DATE 10/02/20	SITE ID B8518A	BUILDING ID B8518A	
	PLAN NO.	PHASE	DISCIPLINE ARCH	
	PROJECT ID B8518A-0001	SHEET NO. 135b		
DOCUMENT CODE 20116 - 135b				

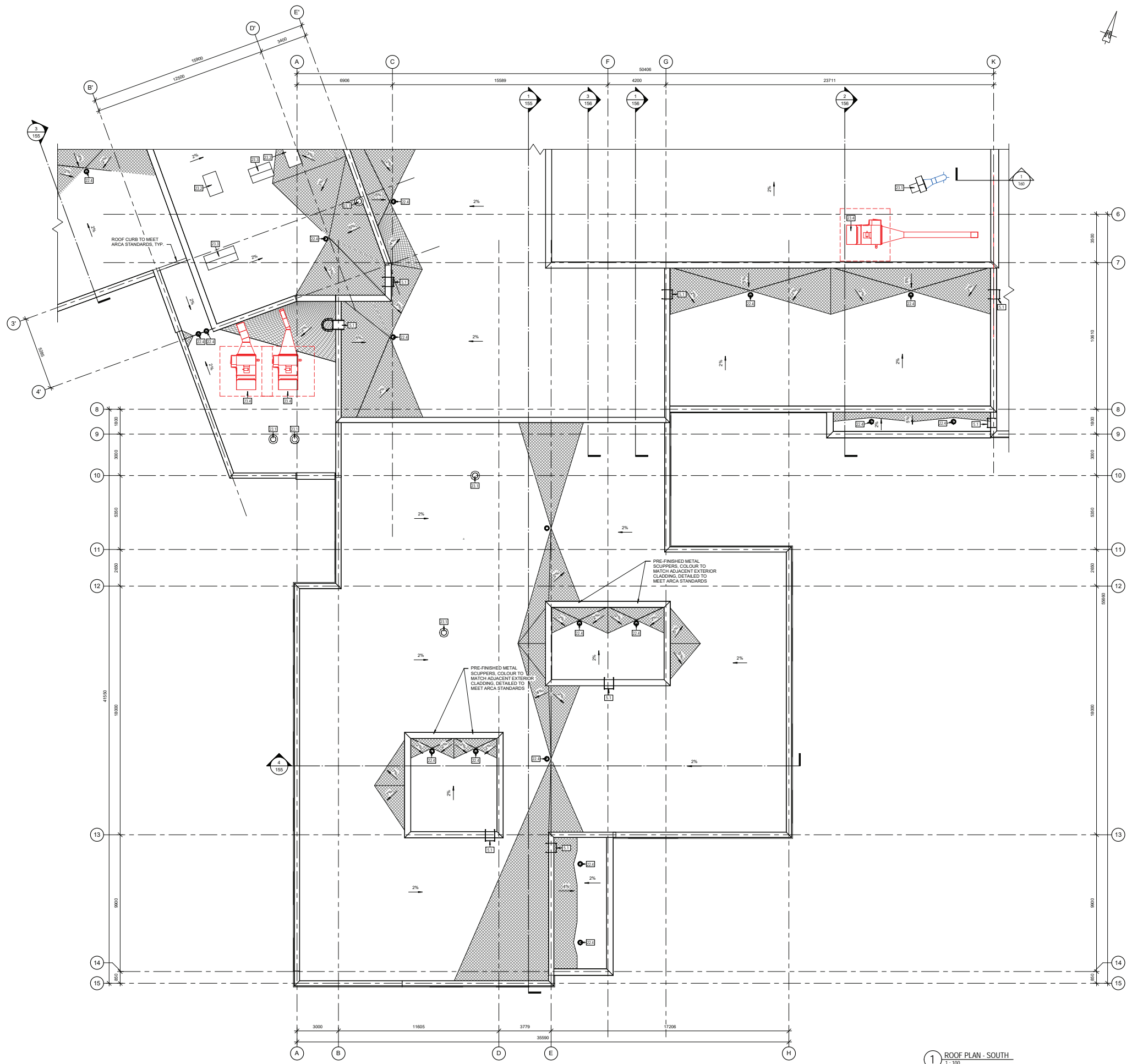
ROOF LEGEND

GENERAL NOTES

SPOT ELEVATIONS NOTED IN ROOF PLANS ARE TO TO PARAPET FRAMING



INDICATES AREA OF TAPERED INSULATION - FOR ROOF SLOPING

INDICATES AREA OF ADDITIONAL TRAFFIC CAP SHEET





1 ROOF PLAN - SOUTH
1:100

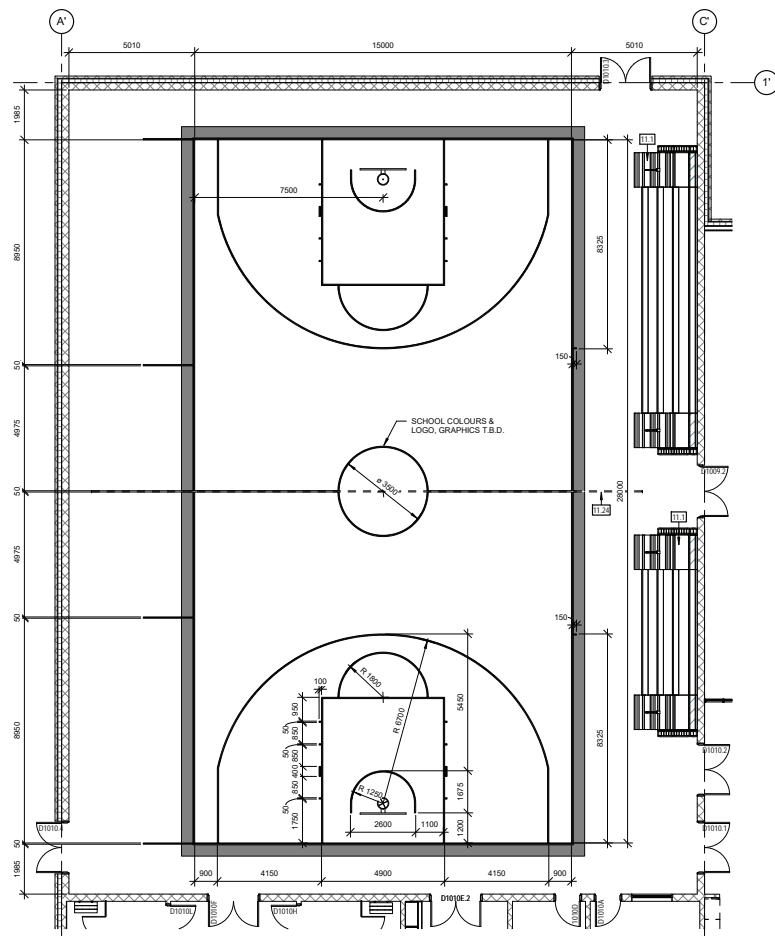


ROOF LEGEND	
<u>GENERAL NOTES:</u>	
SPOT ELEVATIONS NOTED IN ROOF PLANS ARE TO T/O PARAPET FRAMING	
	INDICATES AREA OF TAPERED INSULATION - FOR ROOF SLOPING
	INDICATES AREA OF ADDITIONAL TRAFFIC CAP SHEET

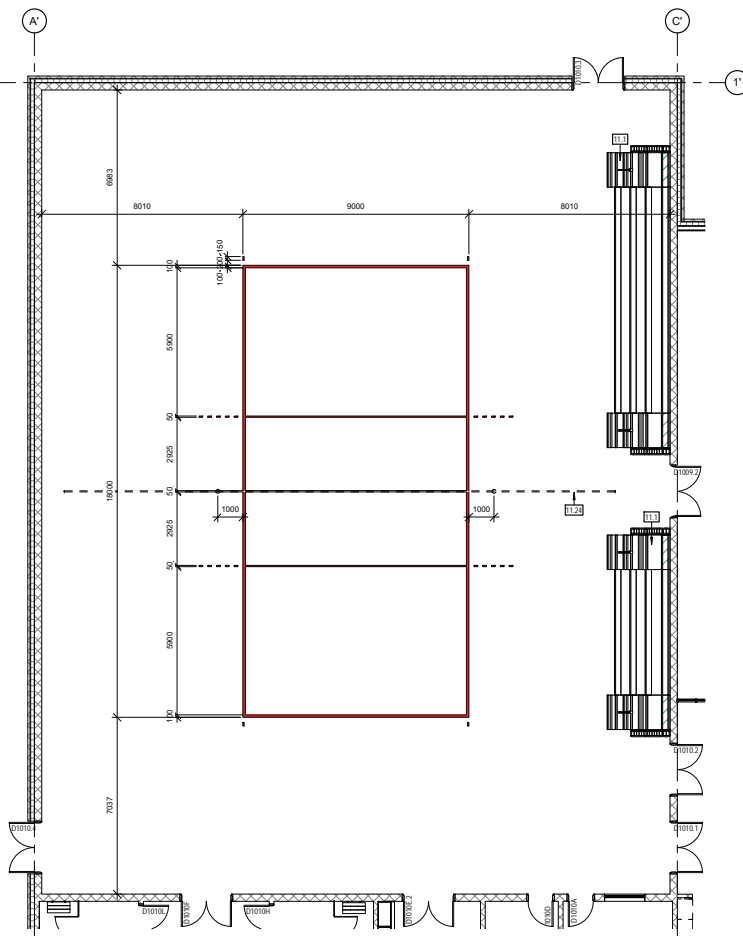
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22.4	ROOF DRAIN, AS PER MECHANICAL
23.1	EXHAUST FAN, AS PER MECHANICAL
23.4	MAKE-UP AIR UNIT, AS PER MECHANICAL

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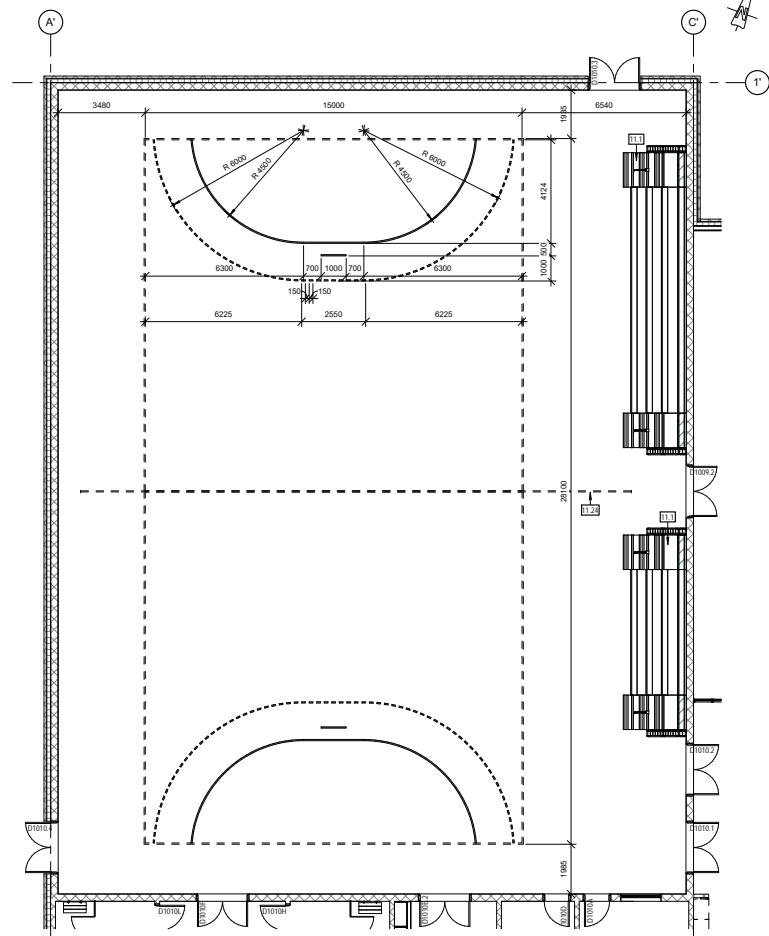
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PROJECT			
LANGDON JUNIOR / SENIOR HIGH SCHOOL			
TITLE			
ROOF PLAN - EAST			
SEAL	DRAWN BY TF/JD	CHECKED BY CW	SCALE As indicated
	DATE 10/02/20	SITE ID	BUILDING ID B8518A
	PLAN NO.	PHASE	DISCIPLINE ARCH
	PROJECT ID B8518A-0001	SHEET NO. 135c	
DOCUMENT CODE			
20116-135c			



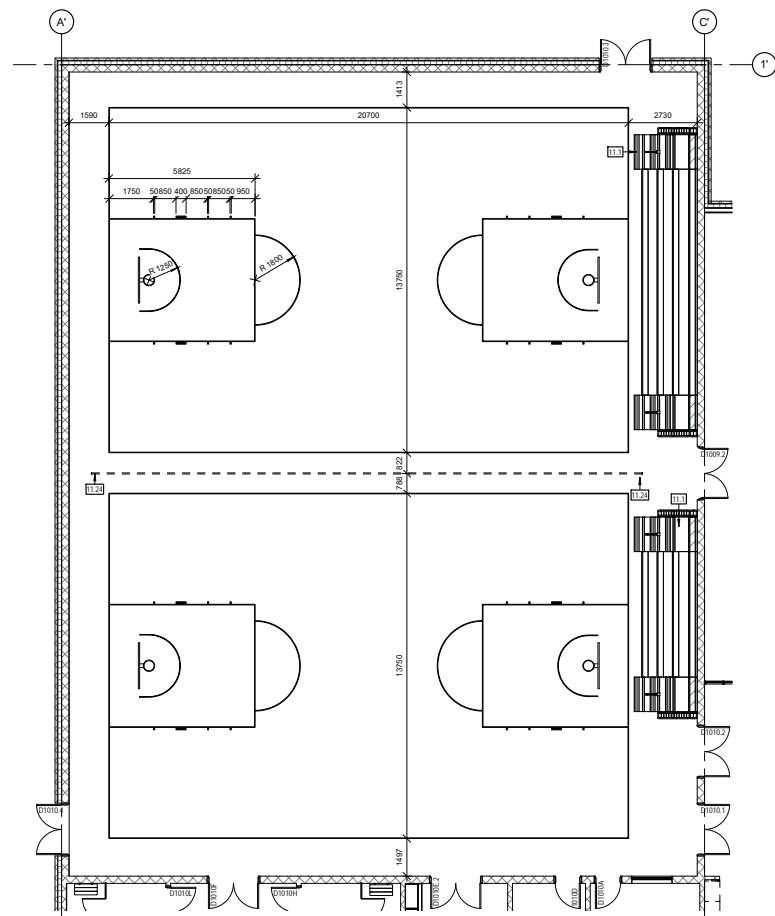
1 GYM LINE LAYOUT - BASKETBALL
1:100



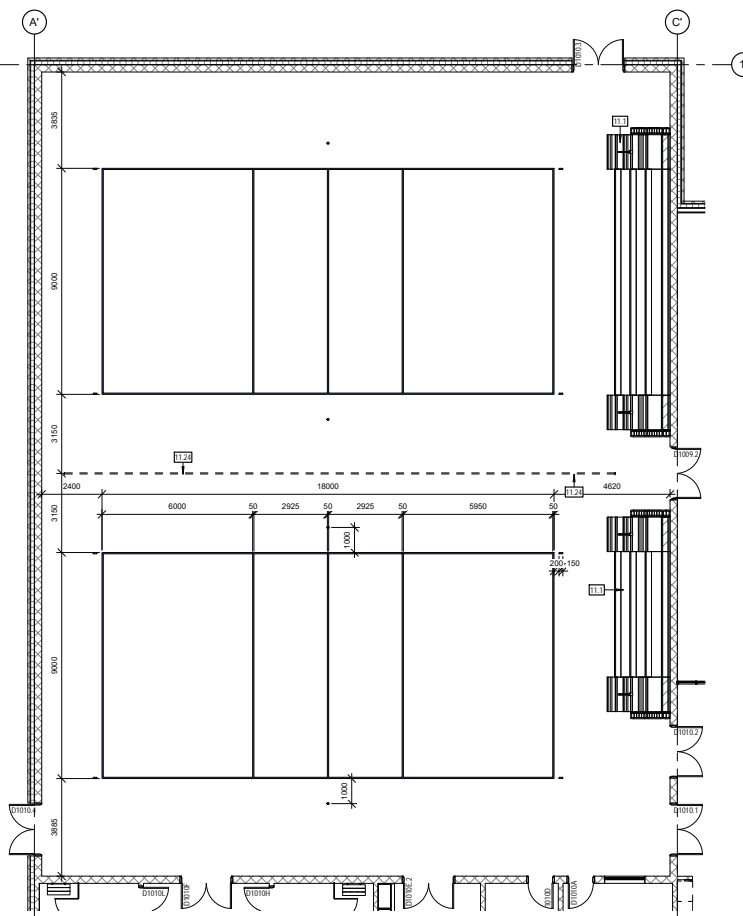
2 GYM LINE LAYOUT - VOLLEYBALL
1 : 100



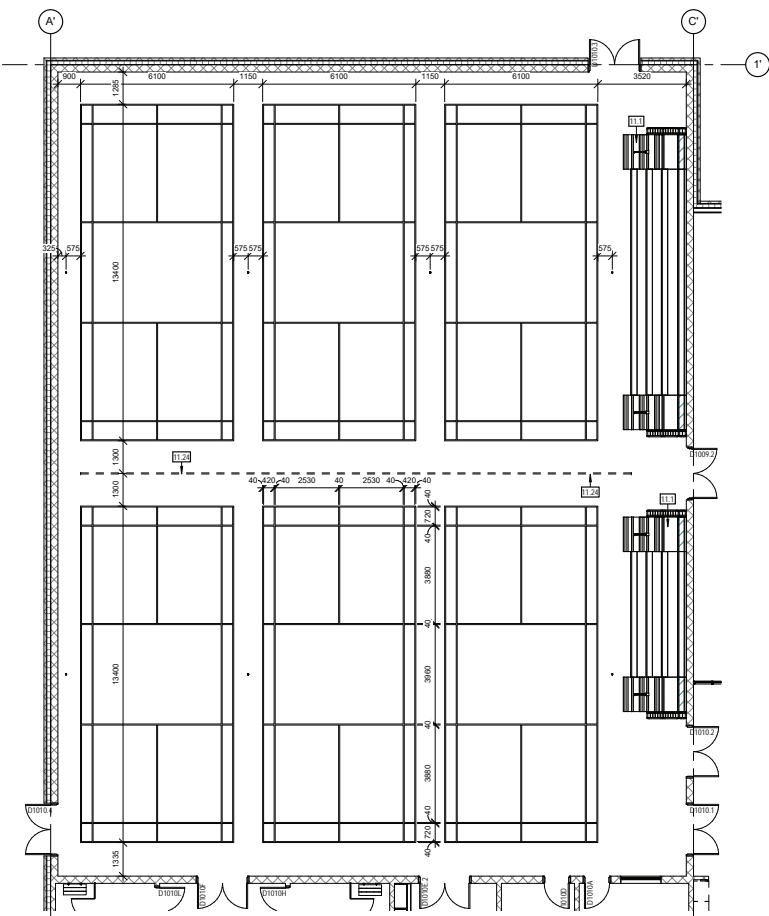
3 GYM LINE LAYOUT - HANDBALL
1:100



4 GYM LINE LAYOUT - CROSS COURT BASKETBALL
1:100



5 GYM LINE LAYOUT - CROSS COURT VOLLEYBALL
1:100



6 GYM LINE LAYOUT - BADMINTON
1:100

KEY PLAN

NOTES

Key Value	Keynote Text
11.1	BLEACHERS (N.I.C.)
11.24	GYMNASIUM CURTAIN DIVIDER

10/02/2020	2	ISSUED FOR BRIDGING DOCUMENTS	ONPA	
07/03/2020	1	ISSUED FOR DEVELOPMENT PERMIT	ONPA	
DATE	REV.	DESCRIPTION	DRAWN BY	CHECKED BY

CONSULTANT



ONPAarchitects



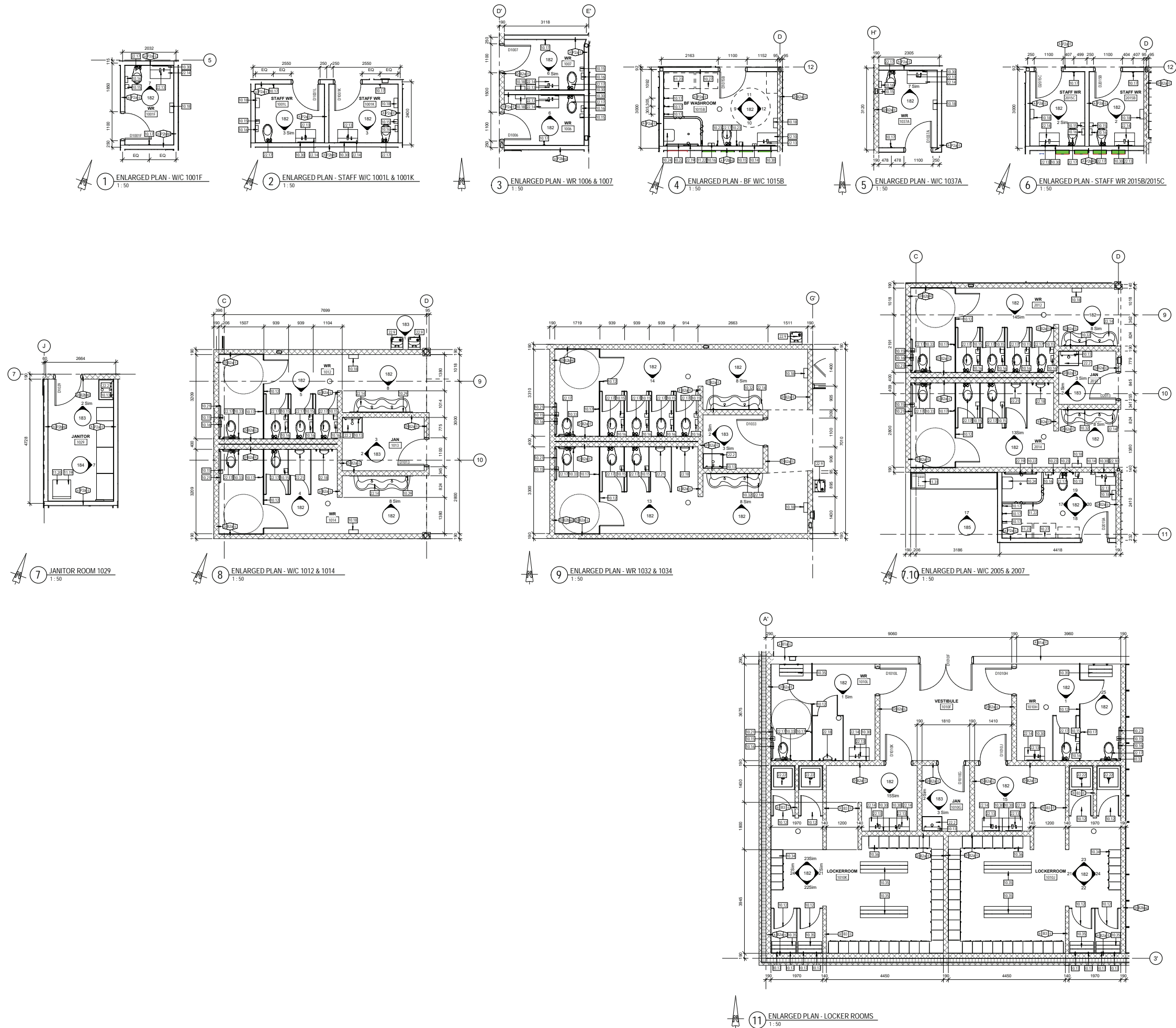
PROJECT
LANGDON JUNIOR / SENIOR HIGH SCHOOL

TITLE	GAME LINES
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SEAL	DRAWN BY JD	CHECKED BY CW	SCALE 1 : 100
	DATE 10/02/20	SITE ID	B8518A
	PLAN NO.	PHASE	DISCIPLINE ARCH
	PROJECT ID B8518A-0001		SHEET NO. 140

DOCUMENT CODE

20116 -14



KEY PLAN

Page 5

NOTES

PARTITION TYPE LEGEND:

H - INDICATES PARTITION HEIGHT

PP - INDICATES PARTITION TYPE

R - INDICATES PARTITION FIRE RESISTANCE (HOURS)

PARTITION HEIGHTS:







A - EXTEND TO UNDERSIDE OF STRUCTURAL DECK ABOVE

B - EXTEND TO 100mm ABOVE FINISHED CEILING HEIGHT, OR 200mm TO KEEP CONCRETE BLOCK WALLS AT A NOMINAL BLOCK HEIGHT

C - EXTEND 2200mm ABOVE FINISHED FLOOR (LOCKER ENDS)

D - 820mm TO 3000mm A.F.F. WITH 200mm TO 200mm ABOVE TO US DECK

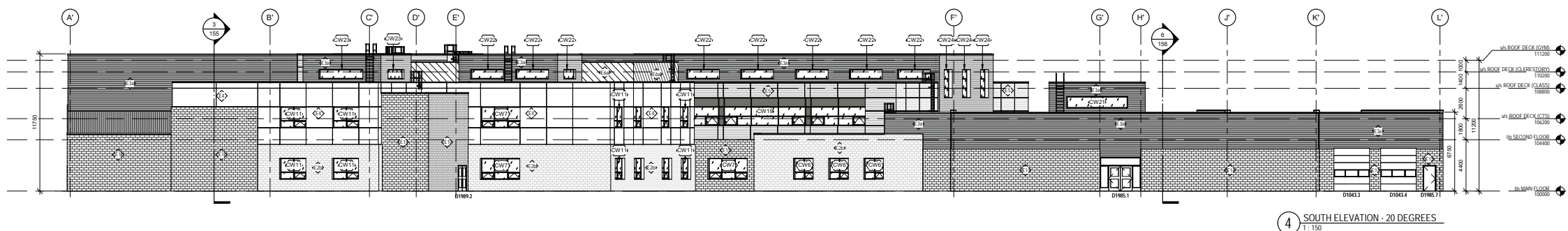
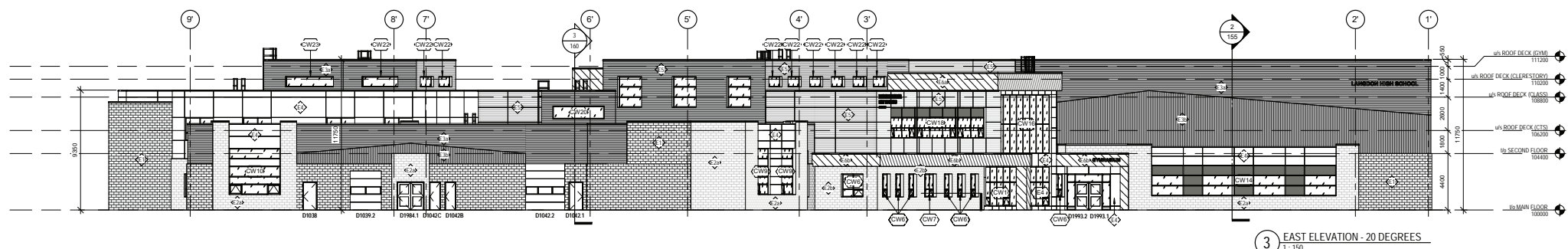
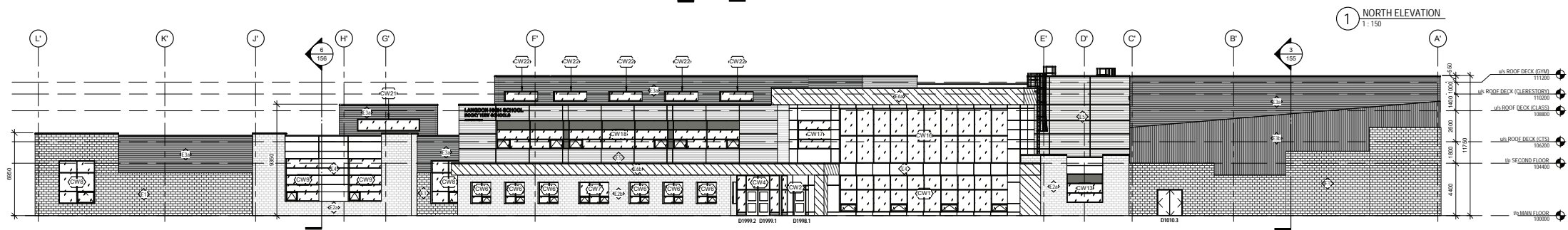
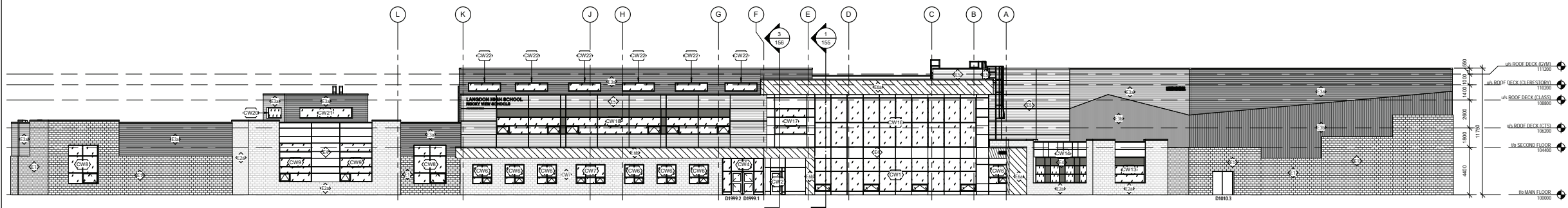
Key Value	Keynote Text
10.12	OVERHEAD BRACED POWDER COATED METAL PARTITION SYSTEM c/w 2337mm HEIGHT DOORS, MOUNTED 150mm AFF & 300mm AFF FOR BARRIER FREE LOCATION, CONTINUOUS STOP AND HINGE OPTION
10.13	MOP HOLDER
10.14	SOAP DISPENSER N.I.C.
10.15	TOILET PAPER DISPENSER N.I.C.
10.16	SANITARY NAPKIN DISPENSER N.I.C.
10.17	CLOTHES HOOK
10.18	ELECTRICAL HAND DRYER c/w STAINLESS STEEL WALL GUARD N.I.C.
10.21	L-SHAPED GRAB BAR 760mm(L) x 760mm(H)
10.22	HORIZONTAL GRAB BAR (200mm(L))
10.23	VERTICAL SIDE GRAB BAR 600mm(L)
10.24	FOLD DOWN SHOWER SEAT
10.27	CHANGE TABLE N.I.C.
10.29	FRAMELESS MIRROR 2400mm X 1200mm
10.30	FRAMELESS MIRROR 600mm X 800mm
10.32	FRAMELESS MIRROR 2000mm X 1200mm
10.33	HORIZONTAL GRAB BAR 600mm (L)
10.34	LOCKERS - SIX TIER
10.35	LOCKER ROOM BENCH
10.36	DOUBLE-TIER ATHLETIC METAL LOCKER
11.18	DRYER (N.I.C.)
11.20	WASHER (N.I.C.)
11.22	L-SHAPED SHOWER ROD CURTAIN TRACK
11.23	CEILING TRACK HOIST SYSTEM
11.31	PHOTOCOPIER N.I.C.
22.2	MOP SINK, AS PER MECHANICAL
22.4	BARRIER FREE DRINKING FOUNTAIN w/ BOTTLE FILLING OPTION, AS PER MECHANICAL
22.10	HEIGHT ADJUSTABLE SINK, AS PER MECHANICAL
22.13	WASHROOM FAUCET, AS PER MECHANICAL
22.14	WASHROOM SINK, AS PER MECHANICAL
22.17	TOILET, AS PER MECHANICAL
22.18	BARRIER FREE URINAL C/W SIDE GRAB BARS, AS PER MECHANICAL
22.19	HANDHELD SHOWERHEAD, AS PER MECHANICAL
22.21	URINAL, AS PER MECHANICAL
22.22	SHOWER PAN, AS PER MECHANICAL

	E1: SPLIT FACE CONCRETE BLOCK FACADE
	E2a/E2b: SMOOTH FACE CONCRETE BLOCK FACADE
	EW3: PREFINISHED CORRUGATED METAL CLADDING
	EW4: PREFINISHED 'HORIZONTAL' METAL CLADDING
	EW5: WOOD GRAIN METAL CLADDING
	EW6: CONCRETE PANELS

E1	WALL TYPE	Description
E2a	SPLIT FACE CONCRETE BLOCK FACADE	60mm SPLIT FACE CONCRETE BLOCK 25mm AIR SPACE 150mm BOARD INSULATION AIR / VAPOUR BARRIER MEMBRANE, SELF ADHERED BACK UP WALL ASSEMBLY (REFER TO DRAWINGS)
	SMOOTH FACE CONCRETE BLOCK FACADE	60mm SMOOTH FACE CONCRETE BLOCK (COLOR A) 25mm AIR SPACE 150mm BOARD INSULATION AIR / VAPOUR BARRIER MEMBRANE, SELF ADHERED BACK UP WALL ASSEMBLY (REFER TO DRAWINGS)
E2b	SPLIT FACE CONCRETE BLOCK FACADE	60mm SPLIT FACE CONCRETE BLOCK (COLOR B) 25mm AIR SPACE 150mm BOARD INSULATION AIR / VAPOUR BARRIER MEMBRANE, SELF ADHERED BACK UP WALL ASSEMBLY (REFER TO DRAWINGS)
	SMOOTH FACE CONCRETE BLOCK FACADE	60mm SMOOTH FACE CONCRETE BLOCK (COLOR B) 25mm AIR SPACE 150mm BOARD INSULATION AIR / VAPOUR BARRIER MEMBRANE, SELF ADHERED BACK UP WALL ASSEMBLY (REFER TO DRAWINGS)
E3a	PRE-FINISHED CORRUGATED METAL CLADDING	22mm PRE-FINISHED CORRUGATED METAL CLADDING w/ EXPOSED FASTENERS (COLOR A) 25mm VERTICAL Z-GIRTS 150mm THERMAL CLIPS AT 600mm VERTICALLY AND 400mm HORIZONTALLY 150mm BOARD INSULATION AIR / VAPOUR BARRIER MEMBRANE, SELF ADHERED BACK UP WALL ASSEMBLY (REFER TO DRAWINGS)
E3b	PRE-FINISHED CORRUGATED METAL CLADDING	22mm PRE-FINISHED CORRUGATED METAL CLADDING w/ EXPOSED FASTENERS (COLOR B) 25mm VERTICAL Z-GIRTS 150mm THERMAL CLIPS AT 600mm VERTICALLY AND 400mm HORIZONTALLY 150mm BOARD INSULATION AIR / VAPOUR BARRIER MEMBRANE, SELF ADHERED BACK UP WALL ASSEMBLY (REFER TO DRAWINGS)
	PRE-FINISHED CORRUGATED METAL CLADDING	22mm PRE-FINISHED CORRUGATED METAL CLADDING w/ EXPOSED FASTENERS (COLOR A) 25mm VERTICAL Z-GIRTS 150mm THERMAL CLIPS AT 600mm VERTICALLY AND 400mm HORIZONTALLY 150mm BOARD INSULATION AIR / VAPOUR BARRIER MEMBRANE, SELF ADHERED BACK UP WALL ASSEMBLY (REFER TO DRAWINGS)

Type	Wall Type	Description
E4	PREFINISHED HORIZONTAL METAL CLADDING	22mm PREFINISHED HORIZONTAL METAL CLADDING w/ EXPOSED FASTENERS (COLOR C) 25mm VERTICAL J-GIRTS 150mm FIBREGLASS THERMAL CLIPS @ 600mm VERTICALLY & 400mm HORIZONTALLY 150mm BOARDS INSULATION AIR BARRIER MEMBRANE BACK UP WALL ASSEMBLY (REFER TO DRAWINGS)
E5	WOOD GRAIN METAL CLADDING	12mm WOOD GRAIN METAL CLADDING (COLOR 9) 25mm VERTICAL J-GIRTS 150mm FIBREGLASS THERMAL CLIPS @ 600mm VERTICALLY & 400mm HORIZONTALLY 150mm BOARDS INSULATION AIR VAPOR BARRIER MEMBRANE, SELF ADHERED BACK UP WALL ASSEMBLY (REFER TO DRAWINGS)
E6a	CONCRETE PANELS	13mm CONCRETE PANELS w/ CONCEALED FASTENERS 25mm HORIZONTAL J-GIRTS (CONCEALED FASTENERS RAL) 150mm FIBREGLASS THERMAL CLIPS @ 600mm VERTICALLY & 400mm HORIZONTALLY 150mm BOARDS INSULATION AIR BARRIER MEMBRANE BACK UP WALL ASSEMBLY (REFER TO DRAWINGS)
E6b	COMPOSITE PANELS	13mm CONCRETE PANELS w/ CONCEALED FASTENERS 25mm HORIZONTAL J-GIRTS (CONCEALED FASTENERS RAL) 150mm CHALK BOARD INSULATION BACK UP WALL ASSEMBLY (REFER TO DRAWINGS)

NOTES



LANGDON JUNIOR / SENIOR HIGH SCHOOL

EXTERIOR ELEVATIONS

SEAL	DRAWN BY TF/JD	CHECKED BY CW	SCALE 1 : 150
	DATE 10/02/20	SITE ID	BUILDING ID B8518A
	PLAN NO.	PHASE	DISCIPLINE ARCH
	PROJECT ID B8518A-0001		SHEET NO. 145

20116 -14

EXTERIOR FINISHES LEGEND

	E1: SPLIT FACE CONCRETE BLOCK FACADE
	E2a/E2b: SMOOTH FACE CONCRETE BLOCK FACADE
	EW3: PREFINISHED CORRUGATED METAL CLADDING
	EW4: PREFINISHED HORIZONTAL METAL CLADDING
	EW5: WOOD GRAIN METAL CLADDING
	EW6: CONCRETE PANELS

ASSEMBLY - EXTERIOR WALL FINISHES

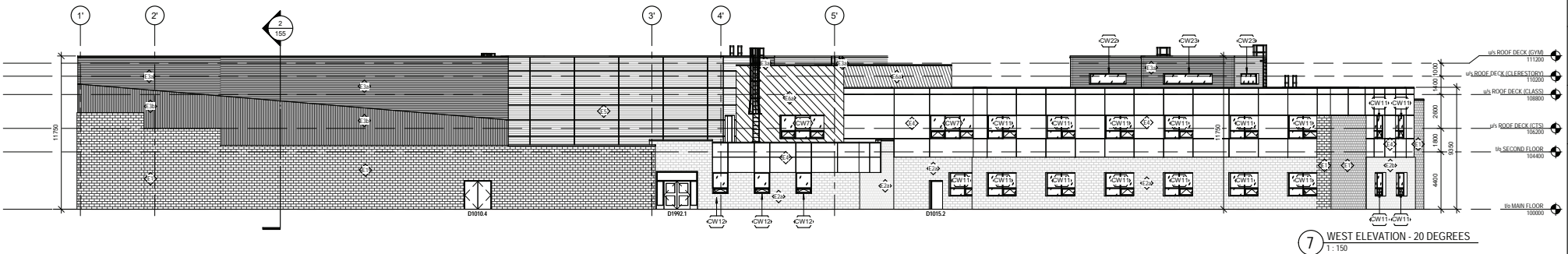
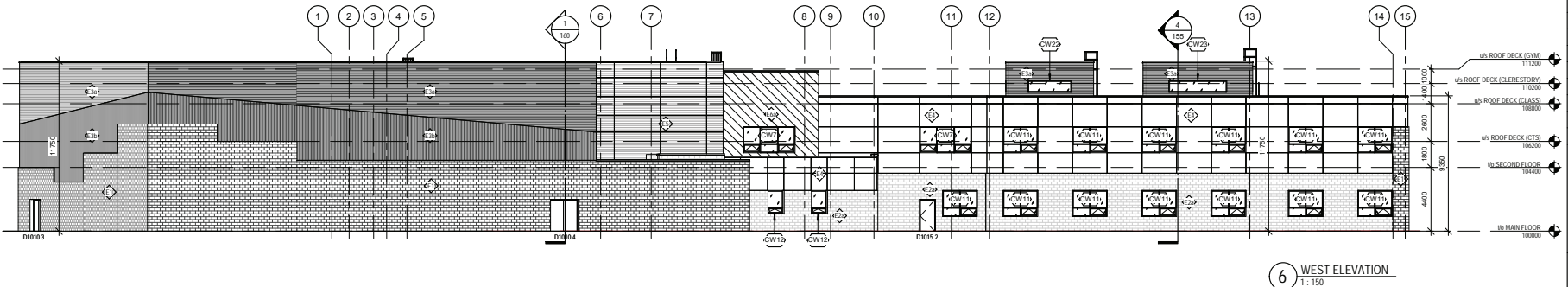
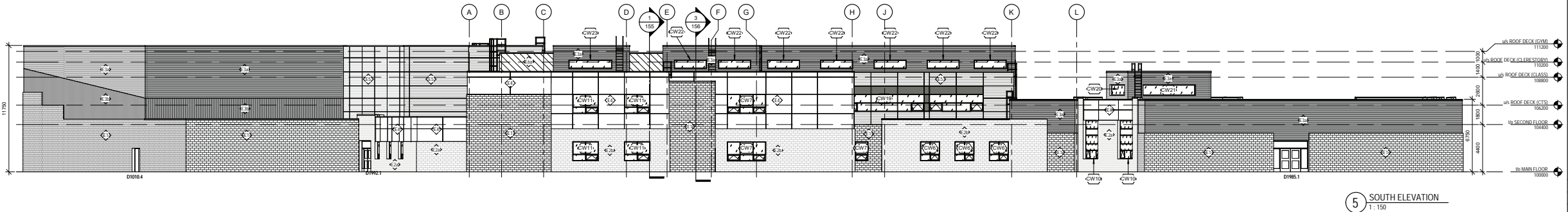
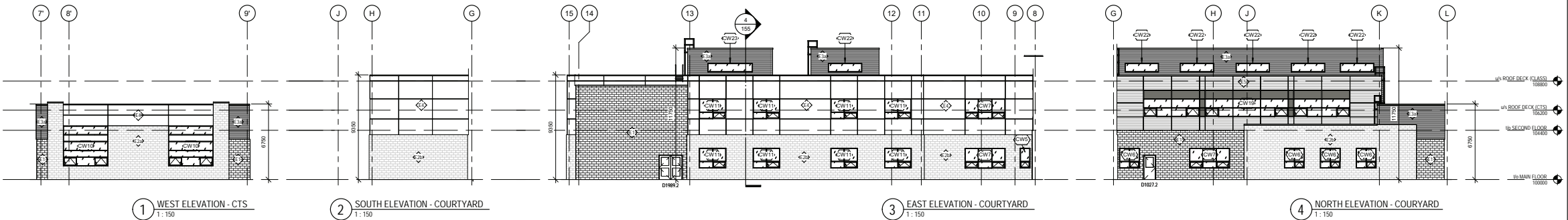
Type	Wall Type	Description
E1	SPLIT FACE CONCRETE BLOCK FACADE	90mm SPLIT FACE CONCRETE BLOCK 25mm AIR SPACE 150mm BOARD INSULATION AIR / VAPOUR BARRIER MEMBRANE, SELF ADHERED BACK UP WALL ASSEMBLY (REFER TO DRAWINGS)
E2a	SMOOTH FACE CONCRETE BLOCK FACADE	90mm SMOOTH FACE CONCRETE BLOCK (COLOR A) 25mm AIR SPACE 150mm BOARD INSULATION AIR / VAPOUR BARRIER MEMBRANE, SELF ADHERED BACK UP WALL ASSEMBLY (REFER TO DRAWINGS)
E2b	SMOOTH FACE CONCRETE BLOCK FACADE	90mm SMOOTH FACE CONCRETE BLOCK (COLOR B) 25mm AIR SPACE 150mm BOARD INSULATION AIR / VAPOUR BARRIER MEMBRANE, SELF ADHERED BACK UP WALL ASSEMBLY (REFER TO DRAWINGS)
E3a	PREFINISHED CORRUGATED METAL CLADDING	22mm PREFINISHED CORRUGATED METAL CLADDING w/ EXPOSED FASTENERS (COLOR A) 150mm THERMAL CLIPS AT 600mm VERTICALLY AND 400mm HORIZONTALLY 150mm BOARD INSULATION AIR / VAPOUR BARRIER MEMBRANE, SELF ADHERED BACK UP WALL ASSEMBLY (REFER TO DRAWINGS)
E3b	PREFINISHED CORRUGATED METAL CLADDING	22mm PREFINISHED CORRUGATED METAL CLADDING w/ EXPOSED FASTENERS (COLOR B) 150mm THERMAL CLIPS AT 600mm VERTICALLY AND 400mm HORIZONTALLY 150mm BOARD INSULATION AIR / VAPOUR BARRIER MEMBRANE, SELF ADHERED BACK UP WALL ASSEMBLY (REFER TO DRAWINGS)
E3c	PREFINISHED CORRUGATED METAL CLADDING	22mm PREFINISHED CORRUGATED METAL CLADDING w/ EXPOSED FASTENERS (COLOR A) 150mm THERMAL CLIPS AT 600mm VERTICALLY AND 400mm HORIZONTALLY 150mm BOARD INSULATION AIR / VAPOUR BARRIER MEMBRANE, SELF ADHERED BACK UP WALL ASSEMBLY (REFER TO DRAWINGS)

ASSEMBLY - EXTERIOR WALL FINISHES

Type	Wall Type	Description
E4	PREFINISHED HORIZONTAL METAL CLADDING	22mm PREFINISHED HORIZONTAL METAL CLADDING w/ EXPOSED FASTENERS (COLOR C) 25mm VERTICAL Z-GIRTS 150mm FIBREGLASS THERMAL CLIPS @ 600mm VERTICALLY & 400mm HORIZONTALLY 150mm BOARD INSULATION AIR BARRIER MEMBRANE BACK UP WALL ASSEMBLY (REFER TO DRAWINGS)
E5	WOOD GRAIN METAL CLADDING	12mm WOOD GRAIN METAL CLADDING (COLOR B) 25mm VERTICAL Z-GIRTS 150mm FIBREGLASS THERMAL CLIPS @ 600mm VERTICALLY AND 400mm HORIZONTALLY 150mm BOARD INSULATION AIR / VAPOUR BARRIER MEMBRANE, SELF ADHERED BACK UP WALL ASSEMBLY (REFER TO DRAWINGS)
E6a	CONCRETE PANELS	13mm CONCRETE PANELS w/ CONCEALED FASTENERS 25mm HORIZONTAL J-GIRTS (CONCEALED FASTENER RAIL) 150mm FIBREGLASS THERMAL CLIPS @ 600mm VERTICALLY & 400mm HORIZONTALLY 150mm BOARD INSULATION AIR BARRIER MEMBRANE BACK UP WALL ASSEMBLY (REFER TO DRAWINGS)
E6b	COMPOSITE PANELS	13mm CONCRETE PANELS w/ CONCEALED FASTENERS 25mm HORIZONTAL J-GIRTS (CONCEALED FASTENER RAIL) 30mm HOT CHANNEL BACK UP WALL ASSEMBLY (REFER TO DRAWINGS)

KEY PLAN

NOTES



DATE	REV.	DESCRIPTION	DRAWN BY	CHECKED BY
10/02/20	2	ISSUED FOR BIDDING DOCUMENTS	ONPA	
07/02/20	1	ISSUED FOR DEVELOPMENT PERMIT	ONPA	

CONSULTANT



PROJECT LANGDON JUNIOR / SENIOR HIGH SCHOOL

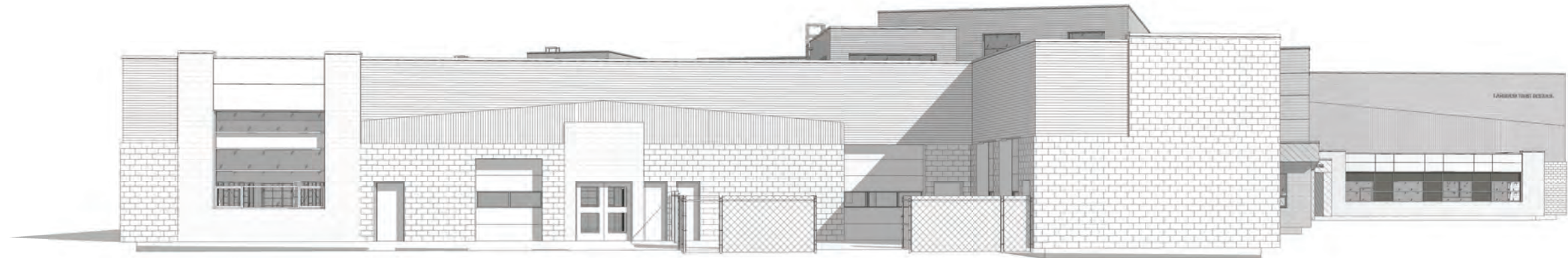
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	DATE 10/02/20	SITE ID B8518A	BUILDING ID B8518A
	PLAN NO.	PHASE	DISCIPLINE ARCH
	PROJECT ID B8518A-0001	SHEET NO.	146

DOCUMENT CODE
20116-146



1 NORTH VIEW - 3D



2 EAST VIEW - 3D

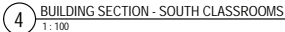
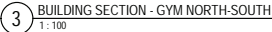
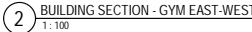
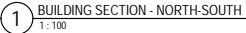


3 SOUTH VIEW - 3D



4 WEST VIEW - 3D

[illegible]



NOTES	
Qty	Keynote Text
5.1	WALL MOUNTED FIXED LADDER TO PER P/CHS STANDARDS AND ASSOCIATED COMPONENTS
8.2	SLIDING ALUMINUM-FRAMED GLASS OR POLY CARBONATE PARTITION, GLASS PANELS TO BE LAMINATED WITH PROTECTED INTERGLAZER
9.7	LAMINATED SECURITY GLASS WINDOW SYSTEM, ON PRIVACY FILM
10.1	860mm x 1200mm WHITEBOARD
10.3	1830mm x 1220mm TACKBOARD
10.4	2400mm x 810mm TACKBOARD
10.9	LOCKERS- SINGLE TIER
10.11	LOCKERS- DOUBLE TIER
10.12	LOCKERS- SIX TIER
10.35	LOCKER ROOM BENCH
10.11	BENCHES IN 0.11
11.24	CEILING MOUNTED
11.26	SPINNING CURTAIN DIVIDER
11.32	WALL MOUNTED DISCREET WALL BACKSTOP
22.4	ROOF DRAIN, AS PER MECHANICAL
22.9	BARRIER FREE DRINKING FOUNTAIN w BOTTLE FILLING OPTION, AS PER MECHANICAL

10/02/2020	2	ISSUED FOR BRIDGING DOCUMENTS	ONPA	
07/03/2020	1	ISSUED FOR DEVELOPMENT PERMIT	ONPA	
DATE	REV.	DESCRIPTION	DRAWN BY	CHECKED BY

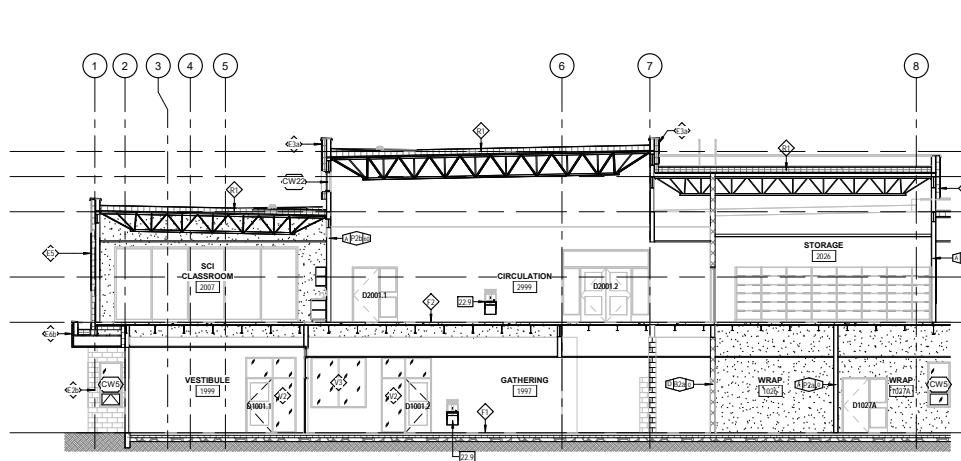
THE WORKUN GARRICK PARTNERSHIP
Architecture and Interior Design Inc.
in collaboration with
ONPA architects

Alberta
Infrastructure

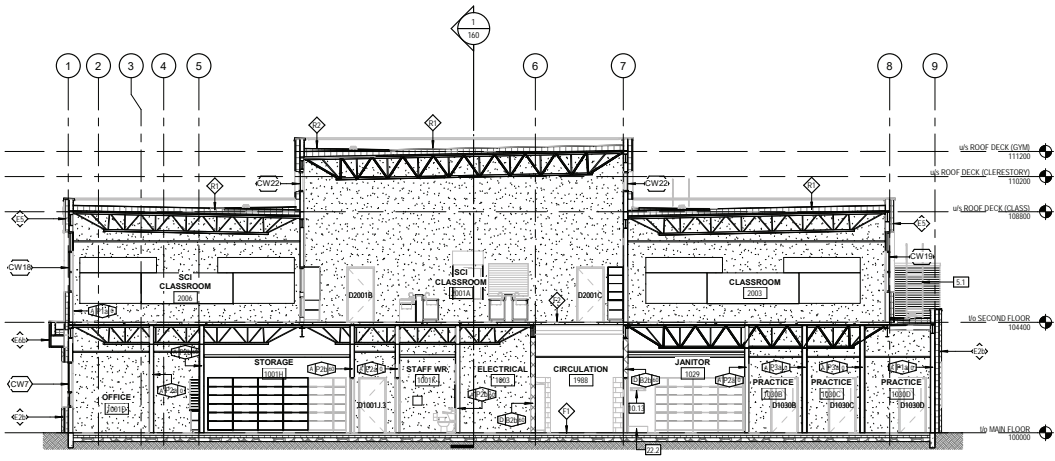
LANGDON JUNIOR / SENIOR HIGH SCHOOL

BUILDING SECTION

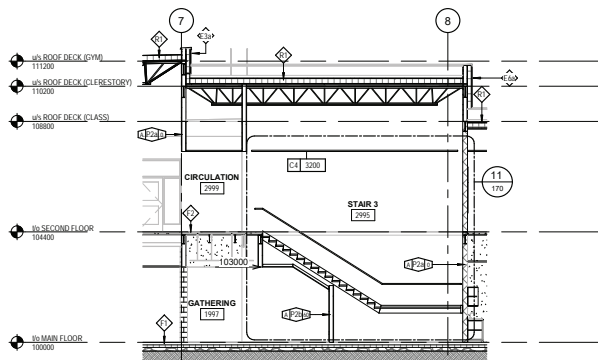
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	PLAN NO.		PHASE	DISCIPLINE ARCH
	PROJECT ID B8518A-0001			SHEET NO. 1



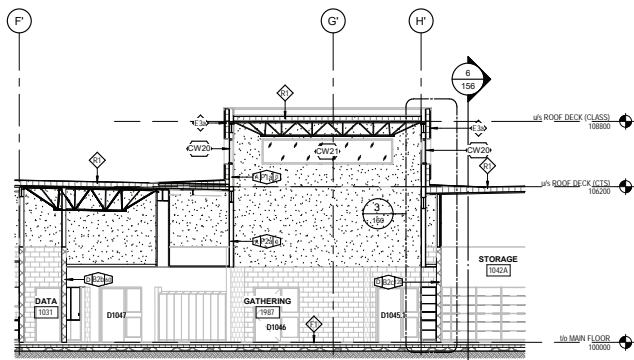
1 BUILDING SECTION - MAIN GATHERING
1:100



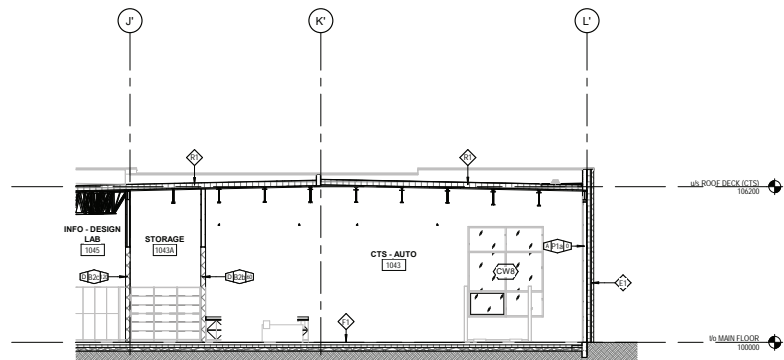
2 BUILDING SECTION - SCIENCE CLASSROOMS
1:100



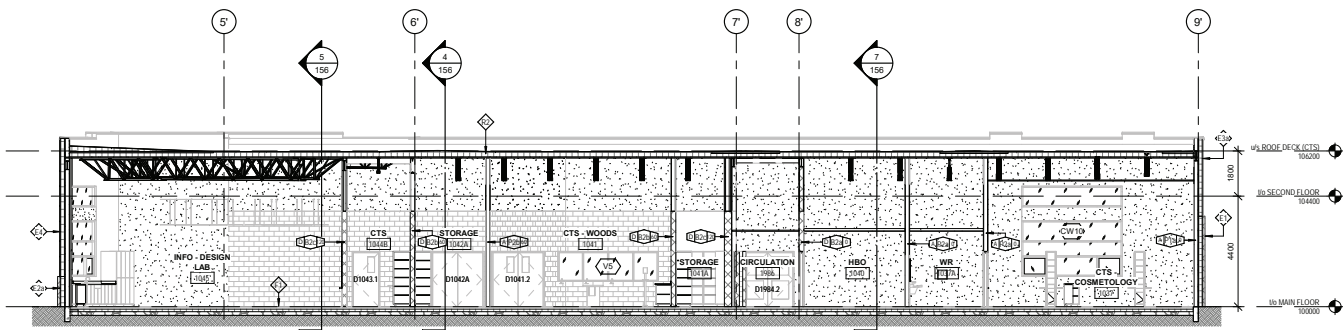
3 BUILDING SECTION - STAIR 3
1:100



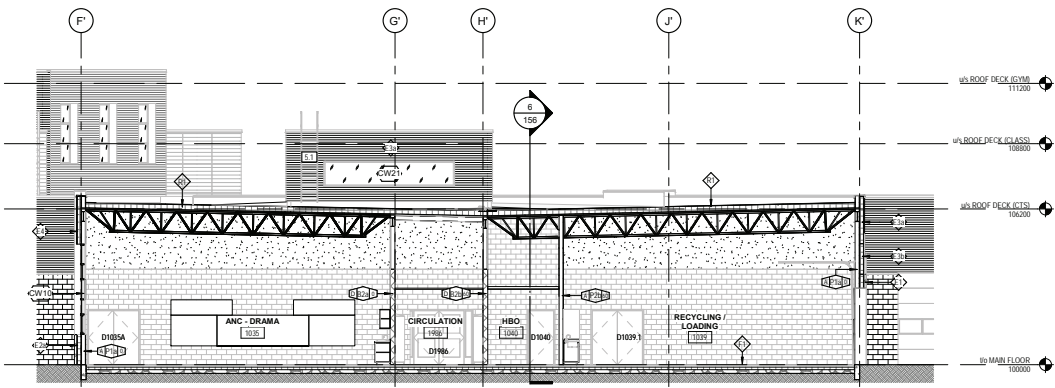
4 BUILDING SECTION - CTS GATHERING
1:100



5 SECTION THRU CTS AUTO
1:100



6 BUILDING SECTION - EAST
1:100



7 BUILDING SECTION - CTS
1:100

KEY PLAN

NOTES

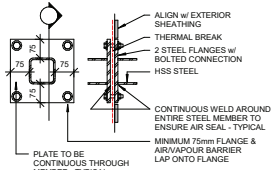
Key Value	Keynote Text
1.1	WALL MOUNTED FIXED LADDER TO PIP/FORMS STANDARDS AND ASSOCIATED COMPONENTS
10.13	MOP HOLDER
22.2	MOP SINK, AS PER MECHANICAL
22.9	BARRIER FREE DRINKING FOUNTAIN w/ BOTTLE FILLING OPTION, AS PER MECHANICAL

		</			

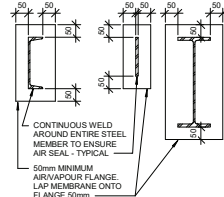
KEY PLAN

NOTES

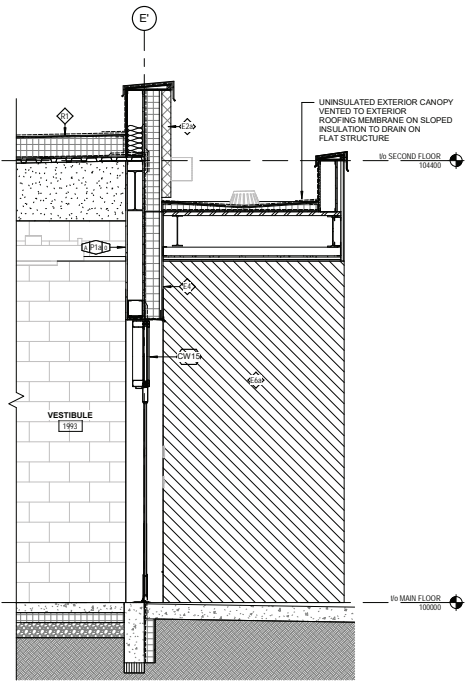
TYPICAL HSS AIR/VAPOUR BARRIER FLANGE DETAIL:
ALL HSS STEEL MEMBERS GOING FROM EXTERIOR TO INTERIOR OF BUILDING, THROUGH VAPOUR BARRIER, REQUIRE 2-13mm THICK STEEL GUSSET PLATES BOLTED TOGETHER w/ 4-10mm DIAMETER THRU BOLTS. STEEL PLATES TO BE CONTINUOUSLY WELDED TO ALL SIDES OF STRUCTURAL MEMBER TO ALLOW FOR PROPER CONTINUOUS AIR/VAPOUR MEMBRANE ADHESION. GUSSET PLATE TO BE IN LINE WITH SHEATHING. (TYPICAL) SPECIFIC CONNECTIONS TO BE ENGINEERED BY STEEL PROVIDER ON INDIVIDUAL BASIS.



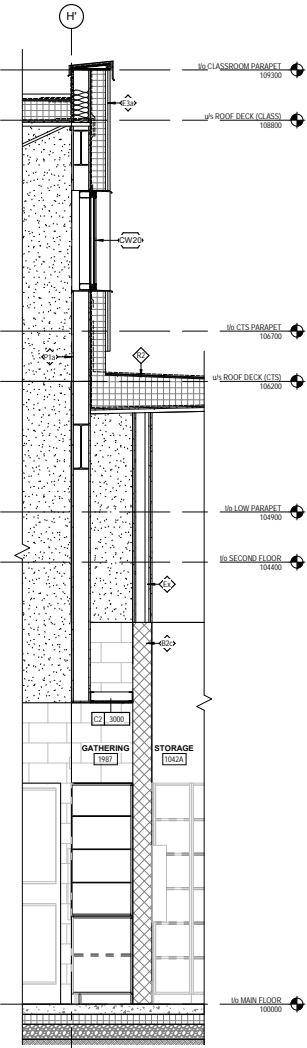
TYPICAL AIR/VAPOUR BARRIER FLANGE:
ALL STEEL MEMBERS GOING FROM EXTERIOR TO INTERIOR OF BUILDING, THROUGH VAPOUR BARRIER, REQUIRE 5mm THICK STEEL GUSSET PLATE CONTINUOUSLY WELDED TO ALL SIDES OF STRUCTURAL MEMBER TO ALLOW FOR PROPER CONTINUOUS AIR/VAPOUR MEMBRANE ADHESION. GUSSET PLATE TO BE IN LINE WITH SHEATHING.



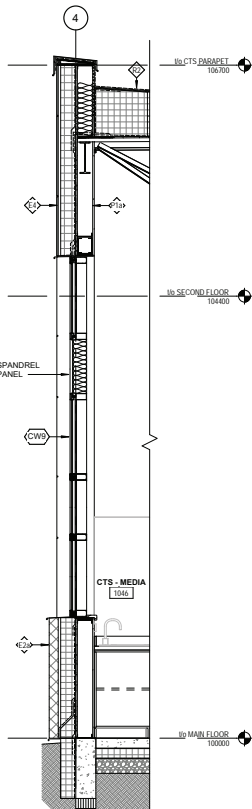
7 THERMAL BREAK DETAIL
1:10



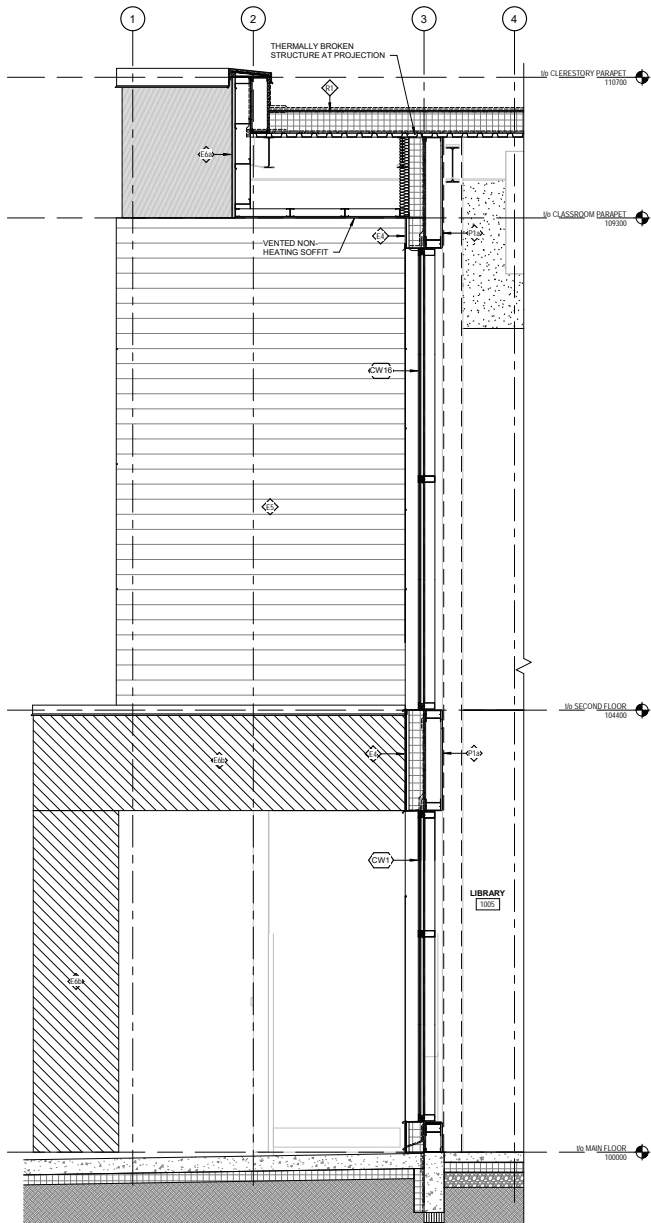
6 SECTION AT GYM ENTRANCE
1:25



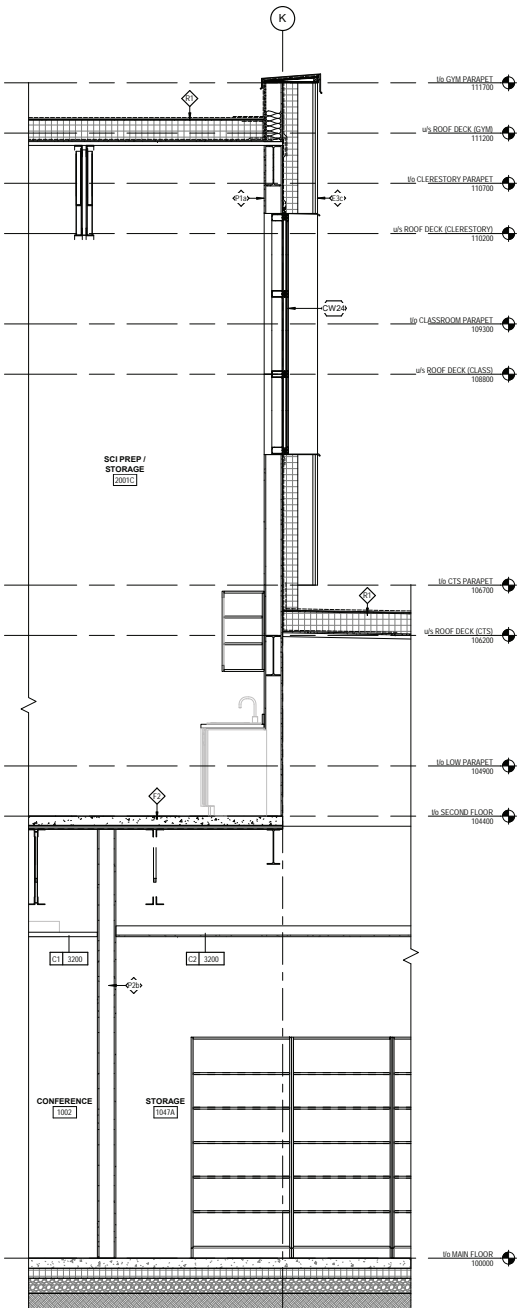
3 WALL SECTION AT CTS GATHERING
1:25



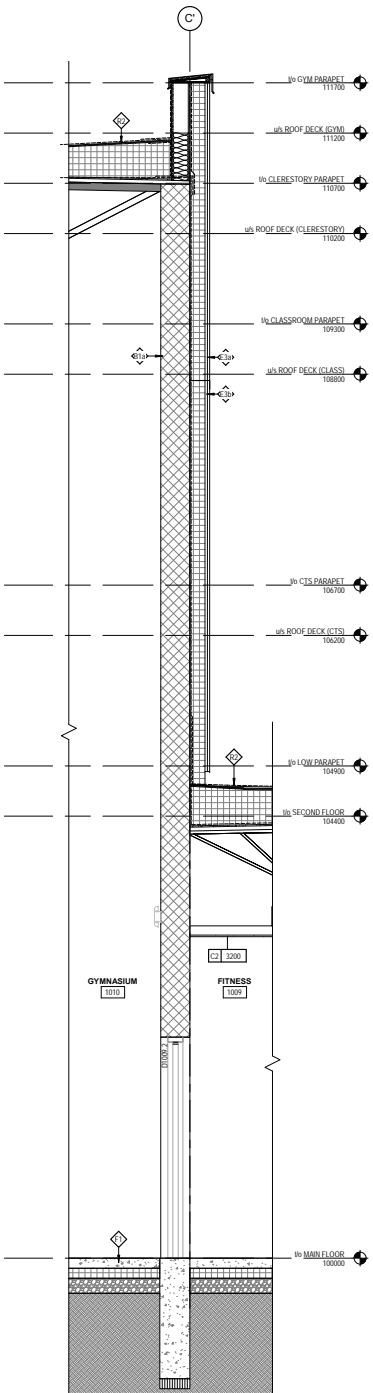
4 SECTION AT CTS - MEDIA
1:25



5 SECTION AT LIBRARY
1:25



1 SECTION AT SCIENCE ROOM
1:25



2 WALL SECTION AT GYM
1:25

DATE	REV.	DESCRIPTION	DRAWN BY	CHECKED BY
10/02/20	2	ISSUED FOR BIDDING DOCUMENTS	ONPA	
07/03/20	1	ISSUED FOR DEVELOPMENT PERMIT	ONPA	

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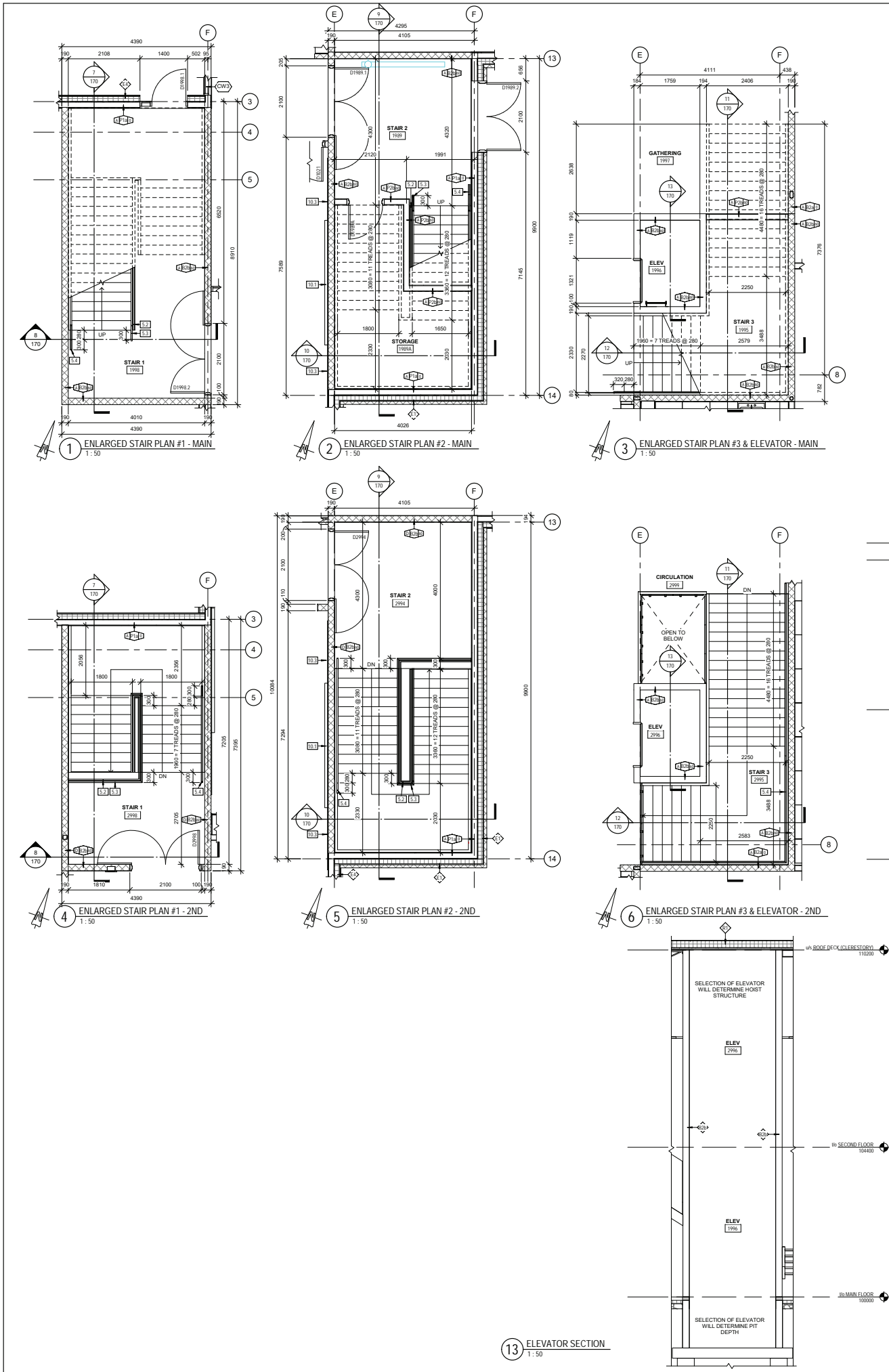
PROJECT
LANGDON JUNIOR / SENIOR HIGH SCHOOL

TITLE
WALL SECTIONS

SEAL	DRAWN BY JD/TF	CHECKED BY CW	SCALE As indicated
	DATE 10/02/20	SITE ID	BUILDING ID B8518A
	PLAN NO.	PHASE	DISCIPLINE ARCH
	PROJECT ID B8518A-0001	SHEET NO.	160

DOCUMENT CODE

20116 -160



KEY PLAN

Page 65 of 80

NOTES

PARTITION TYPE LEGEND:

H - INDICATES PARTITION HEIGHT
PP - INDICATES PARTITION TYPE
R - INDICATES PARTITION FIRE RESISTANCE (HOURS)

PARTITION HEIGHTS:

A - EXTEND TO UNDERSIDE OF STRUCTURAL DECK ABOVE
B - EXTEND TO 100mm ABOVE FINISHED CEILING HEIGHT, OR
200mm TO KEEP CONCRETE BLOCK WALLS AT A NOMINAL
BLOCK HEIGHT
C - EXTEND 2200mm ABOVE FINISHED FLOOR (LOCKER ENDS)
D - 820x820 TO 3800MM A.F.F. WITH
P2aP2bP2c ABOVE TO U/S DECK

Key Value	Keynote Text
5.2	1070mm HEIGHT GUARDRAIL
5.3	920mm CONTINUOUS HANDRAIL ATTACHED TO GUARD
5.4	920mm HEIGHT HANDRAIL WALL MOUNTED
6.7	LAMINATED SAFETY GLASS RAILING SYSTEM, w/uv PRIVACY FILM
9.4	ABUSE-RESISTANT GYPSUM BOARD AT UNDERSIDE OF STAIRS
10.1	1800mm x 1200mm WHITEBOARD
10.3	1830mm x 1220mm TACKBOARD
22.4	ROOF DRAIN, AS PER MECHANICAL

DATE	REV.	DESCRIPTION	DRAWN BY	CHECKED BY
10/02/20	2	ISSUED FOR BIDDING DOCUMENTS	ONPA	
07/02/20	1	ISSUED FOR DEVELOPMENT PERMIT	ONPA	

CONSULTANT

THE WORKUN GARRICK PARTNERSHIP
Architecture and Interior Design, Inc.
in collaboration with
ONPA architects

Alberta
Infrastructure

PROJECT
LANGDON JUNIOR / SENIOR HIGH SCHOOL

TITLE
ENLARGED STAIR AND ELEVATOR PLANS & SECTIONS

SEAL	DRAWN BY JD	CHECKED BY CW	SCALE As indicated
	DATE 10/02/20	SITE ID	BUILDING ID B8518A
	PLAN NO.	PHASE	DISCIPLINE ARCH
	PROJECT ID B8518A-0001	SHEET NO.	170

DOCUMENT CODE
20116 -170

KEY PLAN

NOTES

Key Value	Keynote Text
2.2	LAMINATE MILLWORK COUNTERTOP
8.3	SOLID SURFACE COUNTERTOP
8.8	STAINLESS STEEL COUNTERTOP
10.1	3650mm x 1220mm WHITEBOARD
10.2	2440mm x 1220mm TACKBOARD
10.3	1830mm x 1220mm TACKBOARD
10.4	560mm x 1220mm TACKBOARD
10.5	915mm x 1220mm TACKBOARD
10.6	3520mm x 610mm TACKBOARD
10.7	2440mm x 610mm TACKBOARD
10.8	1830mm x 610mm TACKBOARD
10.9	1475mm x 610mm TACKBOARD
10.28	FRAMELESS MIRROR 1200mm X 2400mm
10.31	FRAMELESS MIRROR 900mm X 1400mm
11.13	STOVE & RANGE HOOD (N.I.C.)
11.14	FRIDGE (N.I.C.)
11.15	FREEZER (N.I.C.)
11.21	COUNTERTOP & RANGE HOOD (N.I.C.)
11.25	MICROWAVE (N.I.C.)
11.26	DISHWASHER (N.I.C.)
22.7	HAIRWASH SINK AS PER MECHANICAL
22.11	SINK SINK AS PER MECHANICAL
22.12	FAUCET AS PER MECHANICAL
22.15	STAINLESS STEEL ART SINK AS PER MECHANICAL
22.16	STAINLESS STEEL DOUBLE SINK AS PER MECHANICAL

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07/03/2020	1	ISSUED FOR DEVELOPMENT PERMIT	ONPA	
DATE	REV.	DESCRIPTION	DRAWN BY	CHECKED BY

CONSULTANT



Alberta
Infrastructure

PROJECT

LANGDON JUNIOR / SENIOR HIGH SCHOOL

TITLE

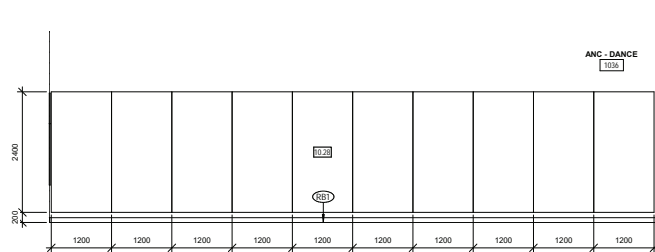
INTERIOR ELEVATIONS - CLASSROOMS

SEAL

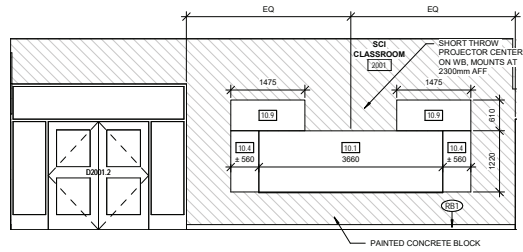
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PLAN NO.	PHASE	DISCIPLINE ARCH
PROJECT ID B8518A-0001	SHEET NO.	180

DOCUMENT CODE

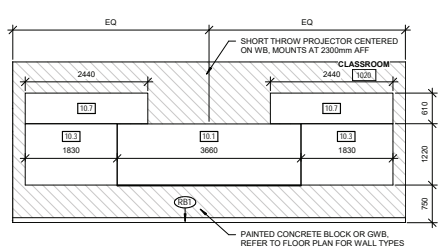
20116 -180



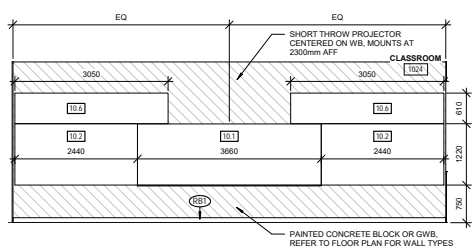
1 ANC - DANCE MIRROR WALL
1: 50



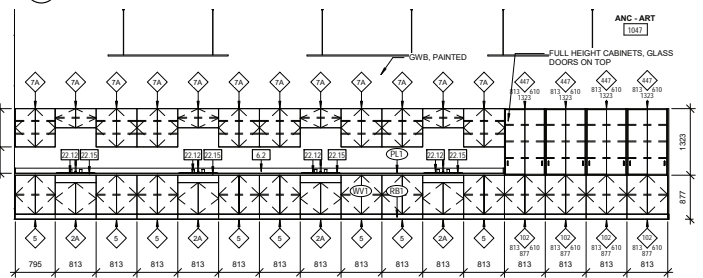
2 SCI CLASSROOM 2001 - TEACHING WALL
1: 50



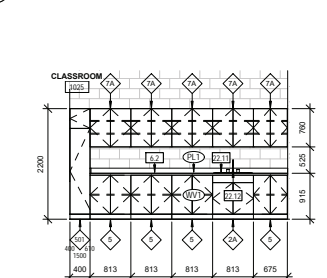
3 TYP. TEACHING WALL - SMALL
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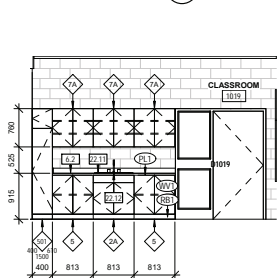
4 TYP. TEACHING WALL
1: 50



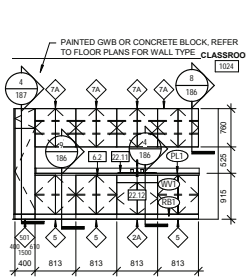
5 ART ROOM MILLWORK
1: 50



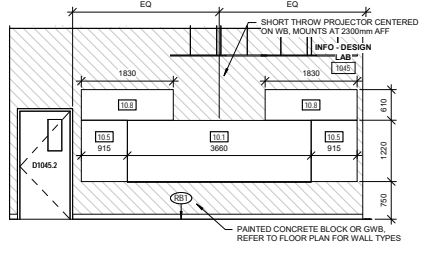
6 RM 1025 MILLWORK
1: 50



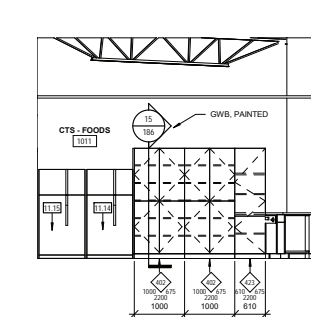
7 CLASSROOM MILLWORK - SHORT LENGTH
1: 50



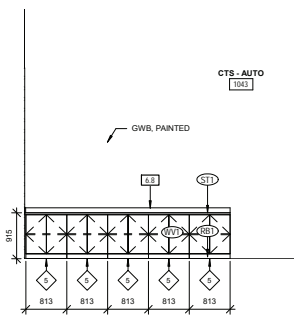
8 TYP. CLASSROOM MILLWORK
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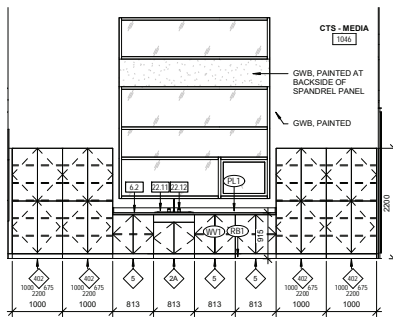
9 INFO - DESIGN LAB, COSMETOLOGY
1: 50



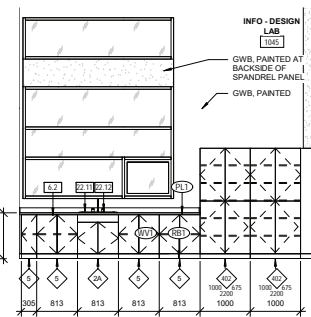
10 FOODS STORAGE MILLWORK
1: 50



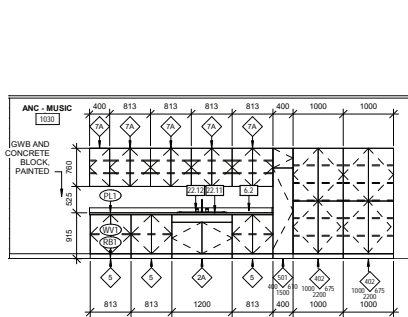
11 CTS - AUTO MILLWORK
1: 50



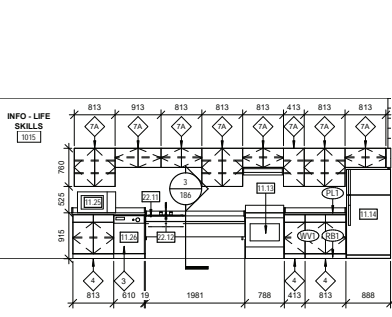
12 CTS - MEDIA MILLWORK
1: 50



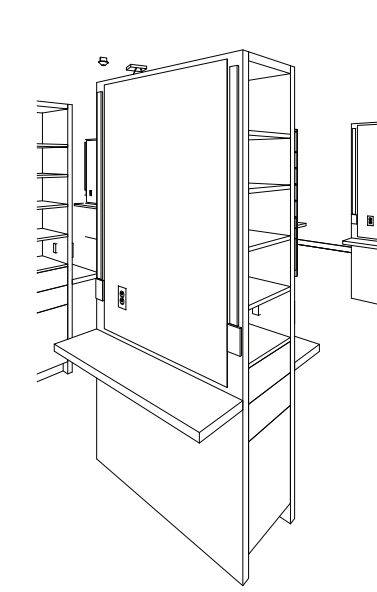
13 INFO - DESIGN LAB MILLWORK
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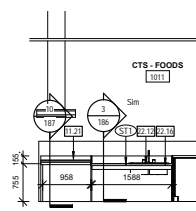
14 MUSIC ROOM MILLWORK
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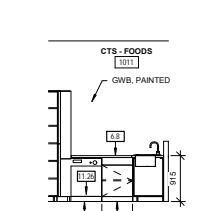
15 INFO - LIFE SKILLS MILLWORK
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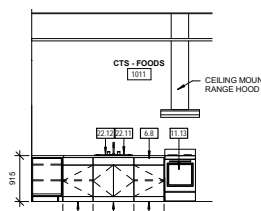
P2 COSMETOLOGY STYLING STATIONS



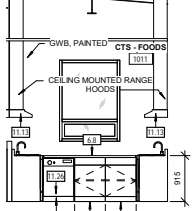
16 FOODS BARRIER-FREE STATION
1: 50



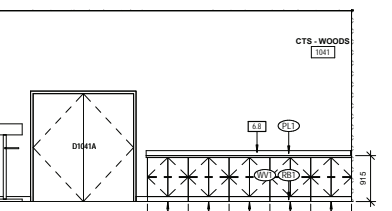
17 FOODS SMALL MILLWORK STATION
1: 50



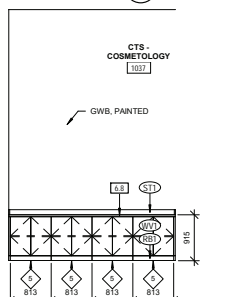
18 FOODS RANGE/SINK MILLWORK
1: 50



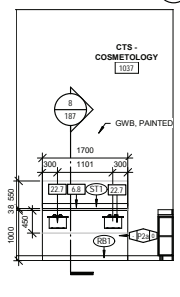
19 FOODS STATION MILLWORK
1: 50



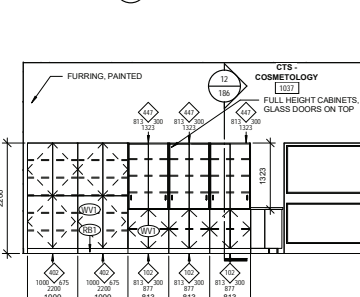
20 CTS - WOODS MILLWORK
1: 50



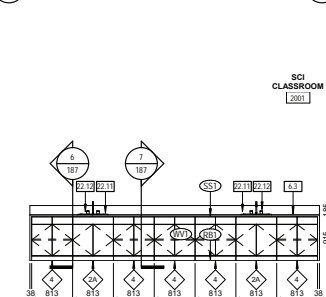
21 COSMETOLOGY MILLWORK NORTH
1: 50



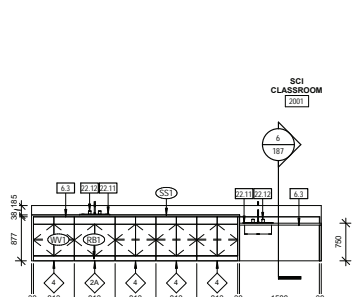
22 COSMETOLOGY - HAIR WASH STATIONS
1: 50



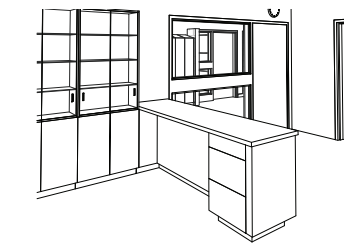
23 COSMETOLOGY MILLWORK WEST
1: 50



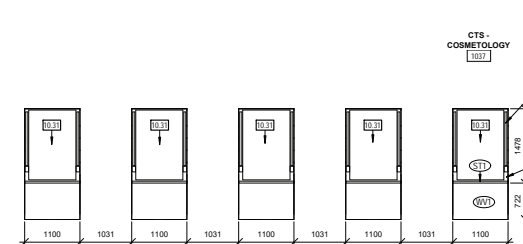
24 TYP. SCIENCE LAB MILLWORK
1: 50



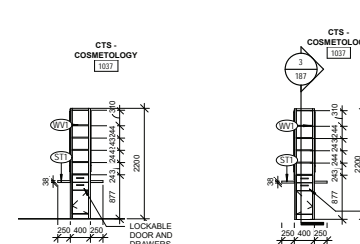
25 SCIENCE LAB BARRIER-FREE STATION
1: 50



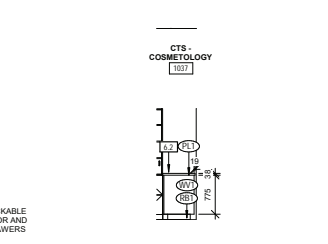
P1 COSMETOLOGY DESK



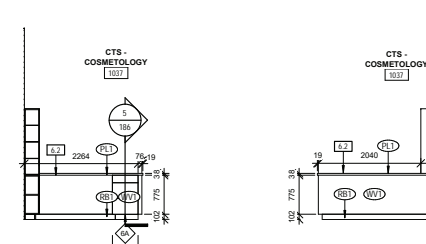
26 COSMETOLOGY STATIONS - FRONT
1: 50



27 COSMETOLOGY STATIONS - SIDE 2
1: 50



28 COSMETOLOGY STATIONS - SIDE
1: 50



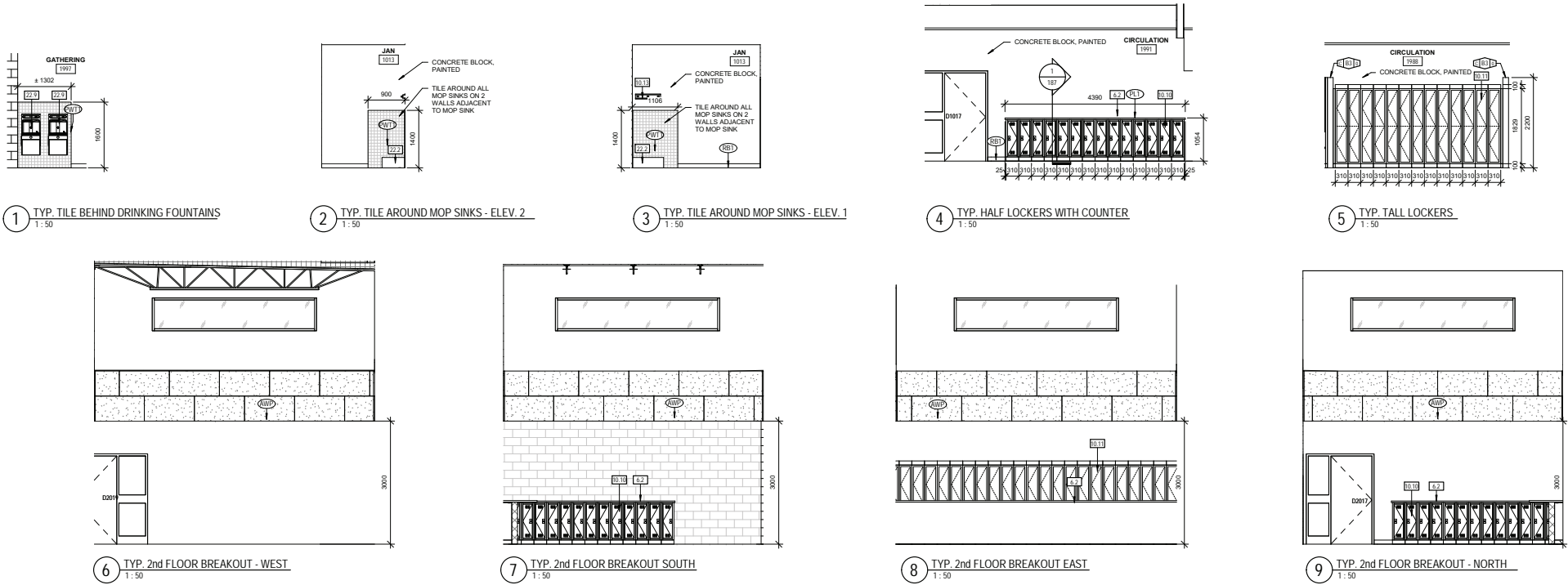
29 COSMETOLOGY DESK - SIDE
1: 50



30 COSMETOLOGY DESK - INTERIOR
1: 50



31 COSMETOLOGY DESK - FRONT
1: 50




KEY PLAN	
197	GATHERING
101.1	CONCRETE BLOCK, PAINTED
199	CONCRETE BLOCK, PAINTED
10.10	LOCKERS - SINGLE TIER
10.11	LOCKERS - DOUBLE TIER
10.13	MOP HOLDER
22.2	MOP SINK, AS PER MECHANICAL
22.9	BARrier FREE DRINKING FOUNTAIN w BOTTLE FILLING OPTION, AS PER MECHANICAL


Key Value	Keynote Text
10.2	LAMINATE MILLWORK COUNTERTOP
10.10	LOCKERS - SINGLE TIER
10.11	LOCKERS - DOUBLE TIER
10.13	MOP HOLDER
22.2	MOP SINK, AS PER MECHANICAL
22.9	BARrier FREE DRINKING FOUNTAIN w BOTTLE FILLING OPTION, AS PER MECHANICAL

Key Value	Keynote Text
10.2	LAMINATE MILLWORK COUNTERTOP
10.10	LOCKERS - SINGLE TIER
10.11	LOCKERS - DOUBLE TIER
10.13	MOP HOLDER
22.2	MOP SINK, AS PER MECHANICAL
22.9	BARrier FREE DRINKING FOUNTAIN w BOTTLE FILLING OPTION, AS PER MECHANICAL

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DATE	REV.	DESCRIPTION	DRAWN BY	CHECKED BY

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PROJECT

LANGDON JUNIOR / SENIOR HIGH SCHOOL

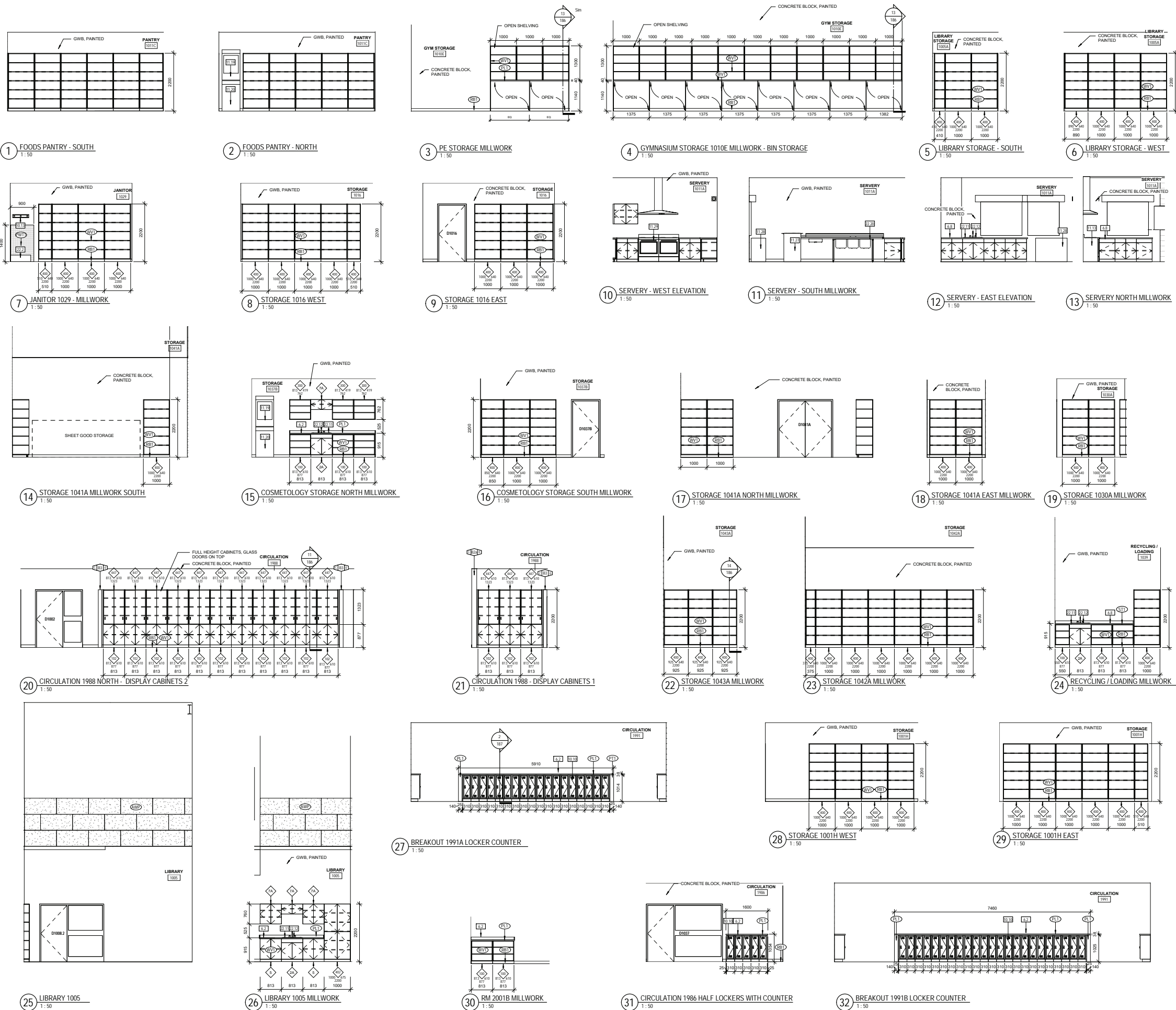
TITLE

INTERIOR ELEVATIONS - TYPICAL

SEAL	DRAWN BY AS	CHECKED BY CW	SCALE 1 : 50
	DATE 10/02/20	SITE ID	BUILDING ID B8518A
	PLAN NO.	PHASE	DISCIPLINE ARCH
	PROJECT ID B8518A-0001	SHEET NO.	183

DOCUMENT CODE

20116 -183



Key Value	Keynote Test
8.2	LAMINATE MILLWORK COUNTERTOP
8.8	STAINLESS STEEL COUNTERTOP
10.10	LOCKERS - SINGLE TR
10.13	MOP HOLDER
11.13	STOVE & RANGE HOOD (N.I.C.)
11.19	DRYER (N.I.C.)
11.20	WASHER (N.I.C.)
11.27	COMMERCIAL DISHWASHER (N.I.C.)
11.28	DISPLAY COOLER (N.I.C.)
12.22	DOUBLE RANGE AND COMMERCIAL HOOD, REFER TO MECHANICAL (N.I.C.)
22.01	MOP SINK, AS PER MECHANICAL
22.11	SINK & SINK, AS PER MECHANICAL
22.12	FAUCET, AS PER MECHANICAL
22.20	THREE SINK WASH STATION, AS PER MECHANICAL

10/02/2020	2	ISSUED FOR BRIDGING DOCUMENTS	ONPA	
07/03/2020	1	ISSUED FOR DEVELOPMENT PERMIT	ONPA	
DATE	REV.	DESCRIPTION	DRAWN BY	CHECKED BY

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Architecture and Interior Design Inc.
In collaboration with
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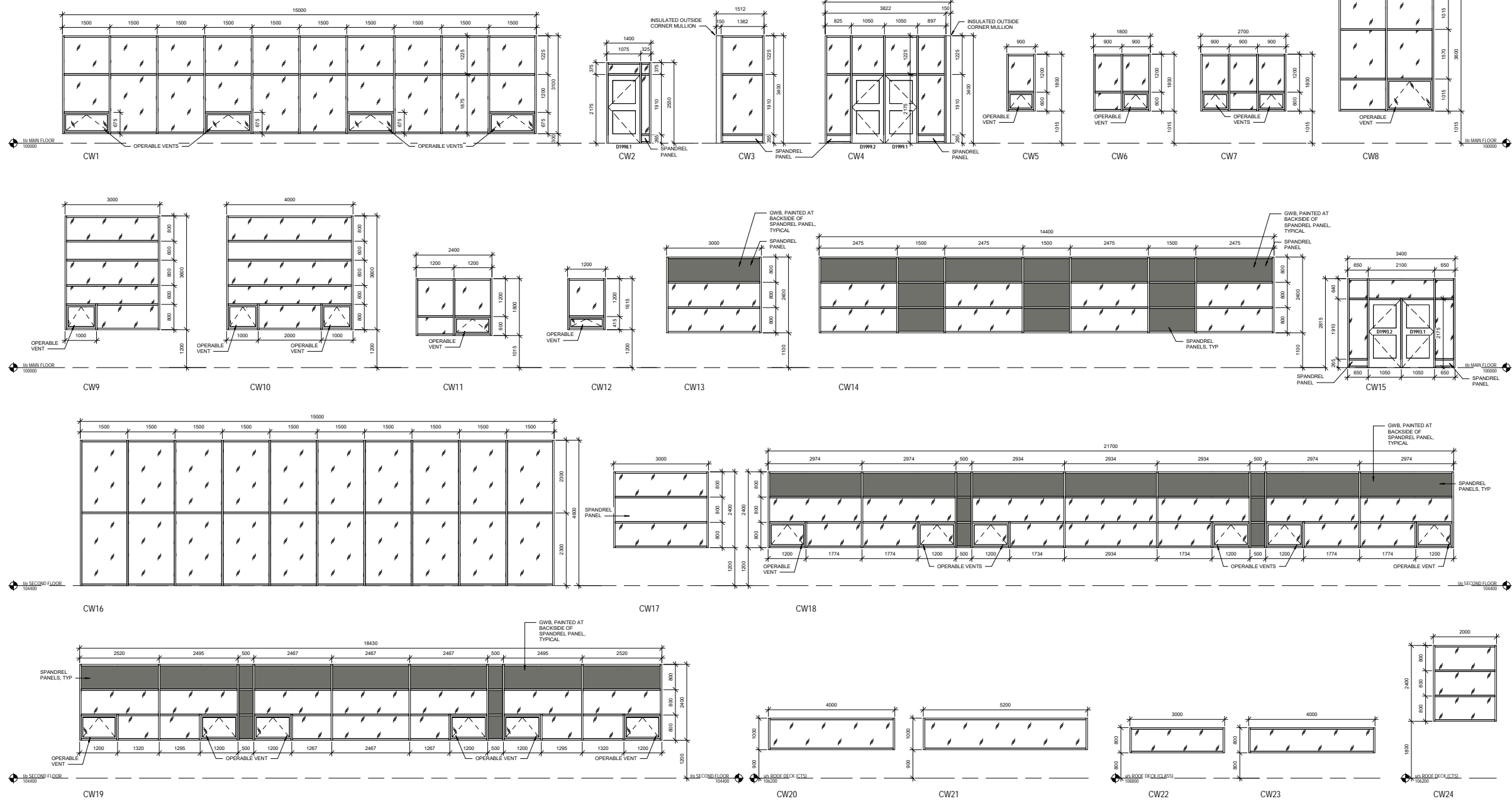
LANGDON JUNIOR / SENIOR HIGH SCHOOL

INTERIOR ELEVATIONS

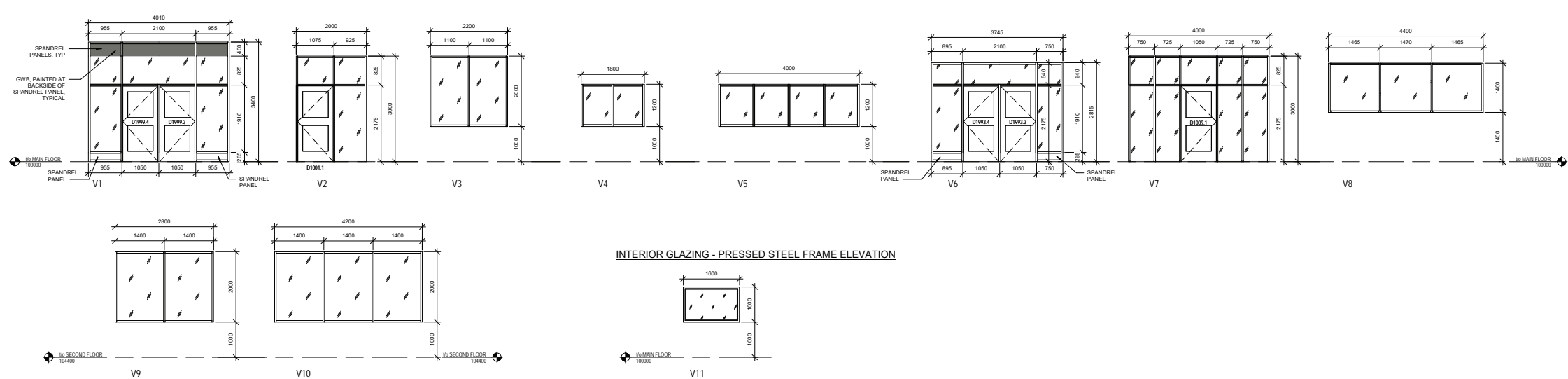
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	DATE 10/02/20	SITE ID	BUILDING ID B8518A
	PLAN NO.	PHASE	DISCIPLINE ARCH
	PROJECT ID B8518A-0001		SHEET NO. 184

20116 -184

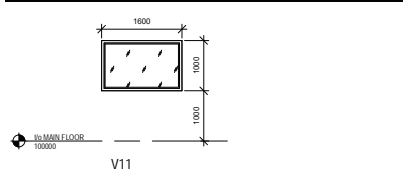
EXTERIOR GLAZING - ALUMINUM FRAME ELEVATIONS



INTERIOR GLAZING - ALUMINUM FRAME ELEVATIONS



INTERIOR GLAZING - PRESSED STEEL FRAME ELEVATION



KEY PLAN

NOTES

1982009	2	ISSUED FOR BREEDING DOCUMENTS			ONPA
0703020	1	ISSUED FOR DEVELOPMENT PERMIT			ONPA
DATE	REV.	DESCRIPTION			DRAWN BY CHECKED BY



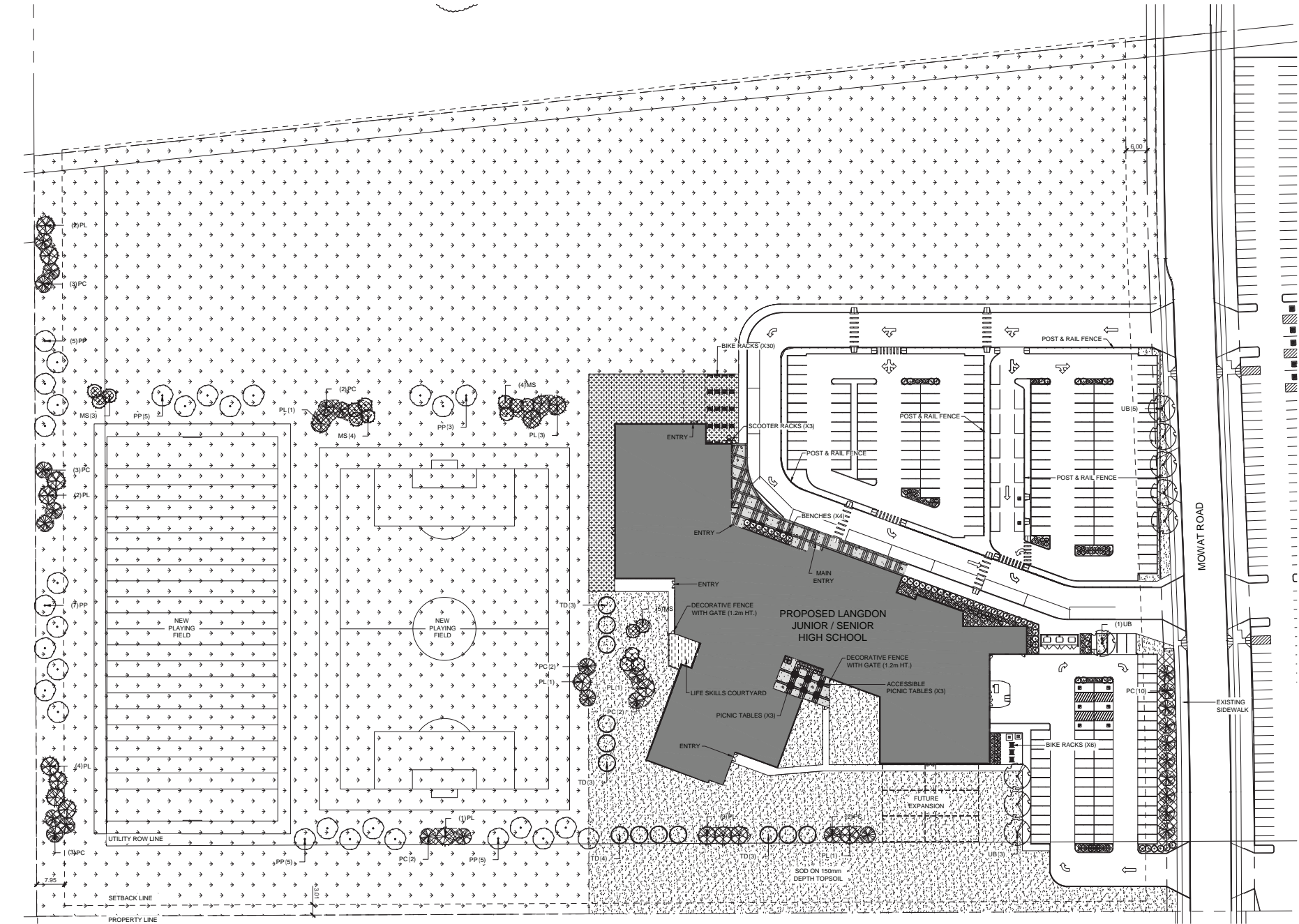
PROJECT
LANGDON JUNIOR / SENIOR HIGH SCHOOL

TITLE

WINDOW ELEVATIONS

SEAL	DRAWN BY AF/JD		CHECKED BY CW	SCALE 1 : 50
	DATE 10/02/20		SITE ID	BUILDING ID B8518A
	PLAN NO.		PHASE	DISCIPLINE ARCH
	PROJECT ID B8518A-0001			SHEET NO. 192

DOCUMENT CODE 20116 -19



1 OVERALL TREE LANDSCAPE PLAN
1:500

PLANT SCHEDULE					
CONIFEROUS TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	REMARKS
	PC	29	Picea pungens	Colorado Spruce	Ball & Burlap
	PL	19	Pinus contorta latifolia	Lodgepole Pine	Ball & Burlap
DECIDUOUS TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	REMARKS
	MS	16	Malus x 'Spring Snow'	Spring Snow Crabapple	Ball & Burlap
	PP	30	Populus balsamifera	Balsam Poplar	Ball & Burlap
	TD	13	Tilia x flavescens 'Drogmore'	Drogmore Linden	Ball & Burlap
	UB	9	Ulmus americana 'Brandon'	Brandon Elm	Ball & Burlap

REFERENCE NOTES SCHEDULE		
SYMBOL	DESCRIPTION	QTY
	SOD ON 150mm DEPTH TOPSOIL	6,367 m²
	SEED ON 150mm DEPTH TOPSOIL	46,684 m²
	100mm DEPTH WOOD MULCH	1,409 m²
	CONCRETE - BROOM FINISH - see Civil for detail	265.2 m²
	CONCRETE - SANDBLAST FINISH - see Civil for detail	144.4 m²
	RUBBER SURFACE	67.0 m²
	ASHPALT - see Civil for detail	1,012 m²

SEE L702 FOR SHRUB PLANTING

ZONING
PS - PUBLIC SERVICE

LANDSCAPE REQUIREMENTS

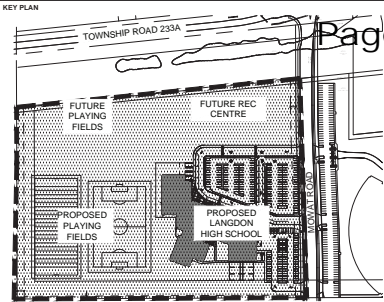
YARD SETBACKS:
- 6.0m FRONT YARD = 1492m²
- 3.0m SOUTH SIDE YARD = 896m²
- 5.0m NORTH SIDE YARD = 1546m²
- 8.0m REAR YARD = 1707m²

TREES REQUIRED BASED ON 1 TREE/46m² YARD AREA:
FRONT YARD = 32
SIDE YARD = 54
REAR YARD = 37
TOTAL TREES REQUIRED = 123
CONIFEROUS REQUIRED = 49
DECIDUOUS REQUIRED = 74

TREES PROVIDED:
FRONT: 16
SIDE: 0
REAR: 29
OTHER: 72
TOTAL TREES PROVIDED: 117
CONIFEROUS PROVIDED: 48
DECIDUOUS PROVIDED: 69

SHRUBS PROVIDED:
94 CONIFEROUS
227 DECIDUOUS
TOTAL SHRUBS PROVIDED: 301

DECIDUOUS TO CONIFEROUS TREES 60:40 SPLIT
SUBSTITUTIONS: 1 DECIDUOUS TREE/3 SHRUBS;
1 CONIFEROUS TREE/4 SHRUBS
MIN. 45mm CALIPER DECIDUOUS TREES
MIN. 2.0m HT. CONIFEROUS TREES
MIN. 400mm HT. CONIFEROUS SHRUBS
MIN. 600mm HT. DECIDUOUS SHRUBS



- NOTES
- All work to comply with or exceed Rocky View County's:
- Section 26, Landscaping, Screening and Outdoor Display Areas from Land Use Bylaw C-4841-97
- Documents available from Rocky View County's web site.
 - Utilities shown are for information only and should not be considered exact or complete. Contractor to contact Alberta One Call (1-800-242-3447) and all non subscribing utility companies to have utilities field marked before commencing work. Provide Owner's Representative with copy of all locate reports.
 - Contractor to verify all quantities prior to construction and notify the Owner's Representative of any discrepancies.
 - Contractor is responsible for any damage to existing landscaped areas, pavement, concrete, utilities and any other items or areas that are to remain and must make all necessary restorations and repairs at the contractors expense and to the Owner's Representative's satisfaction.
 - Contractor responsible for daily general site clean up and to maintain a safe construction site at all times.
 - Contractor responsible for erosion control and sediment tracking off site during the course of construction.
 - Contractor responsible for obtaining all required permits and regulatory approvals including any associated costs to complete this contract.
 - All unit quantity totals shall be based on actual installed amounts verified by on site measurements.
 - All shrub planting areas to be excavated as necessary to receive 600mm depth topsoil.
 - All shrub planting areas to receive min. 100mm depth shredded wood mulch.
 - All groups of coniferous trees to receive min 100mm depth shredded wood mulch.

LANDSCAPE ARCHITECTURE



7909 - 51 Ave. Edmonton, AB T6E 9L9
P: 780.438.9000 F: 780.438.3700

2020/10/02	2	FINAL BRIDGING DOCUMENTS	GM	KA
2020/07/29	1	ISSUED FOR DEVELOPMENT PERMIT	GM	KA
DATE	REV.	DESCRIPTION	DRAWN BY	CHECKED BY

CONSULTANT

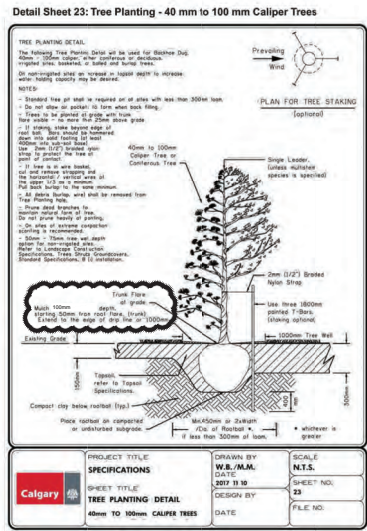
In collaboration with
ONPAarchitects

PROJECT
LANGDON JUNIOR / SENIOR HIGH SCHOOL

TITLE
OVERALL LANDSCAPE PLAN

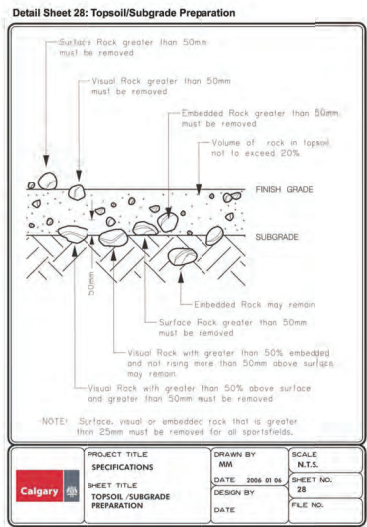
SEAL	DRAWN BY GEM	CHECKED BY KRA	SCALE 1 : 300
	DATE OCT. 2, 2020	SITE ID B8518A	BUILDING ID B8518A
	PLAN NO. 020673	PHASE	DISCIPLINE LAND
	PROJECT ID B8518A-0001	SHEET NO. 701	

DOCUMENT CODE
20116 - L701



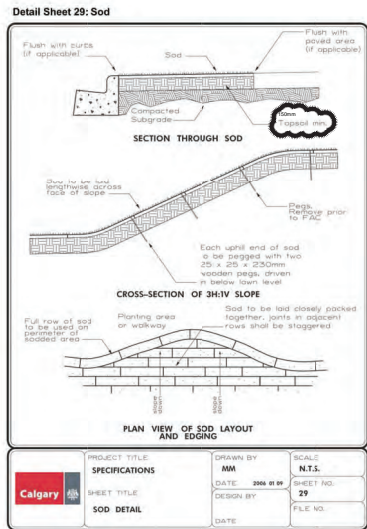
Calgary Parks 2019 239

1 TREE PLANTING DETAIL - CITY OF CALGARY
N.T.S.



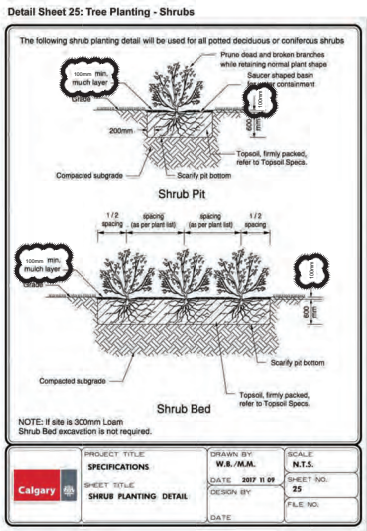
Calgary Parks 2019 246

3 TOPSOIL / SUBGRADE PREPARATION - CITY OF CALGARY
N.T.S.



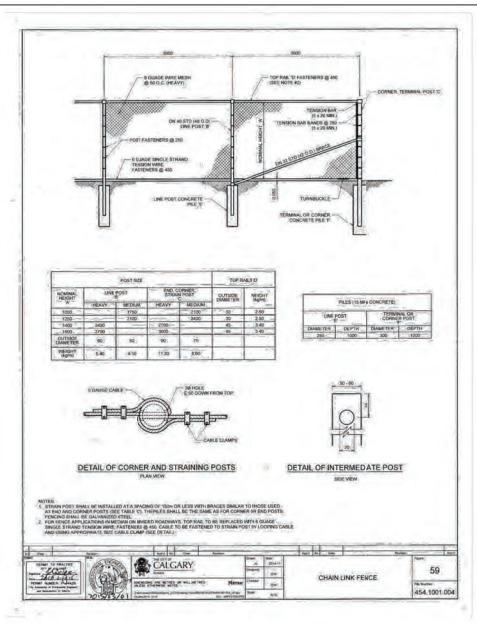
Calgary Parks 2019 248

4 SOD DETAIL - CITY OF CALGARY
N.T.S.

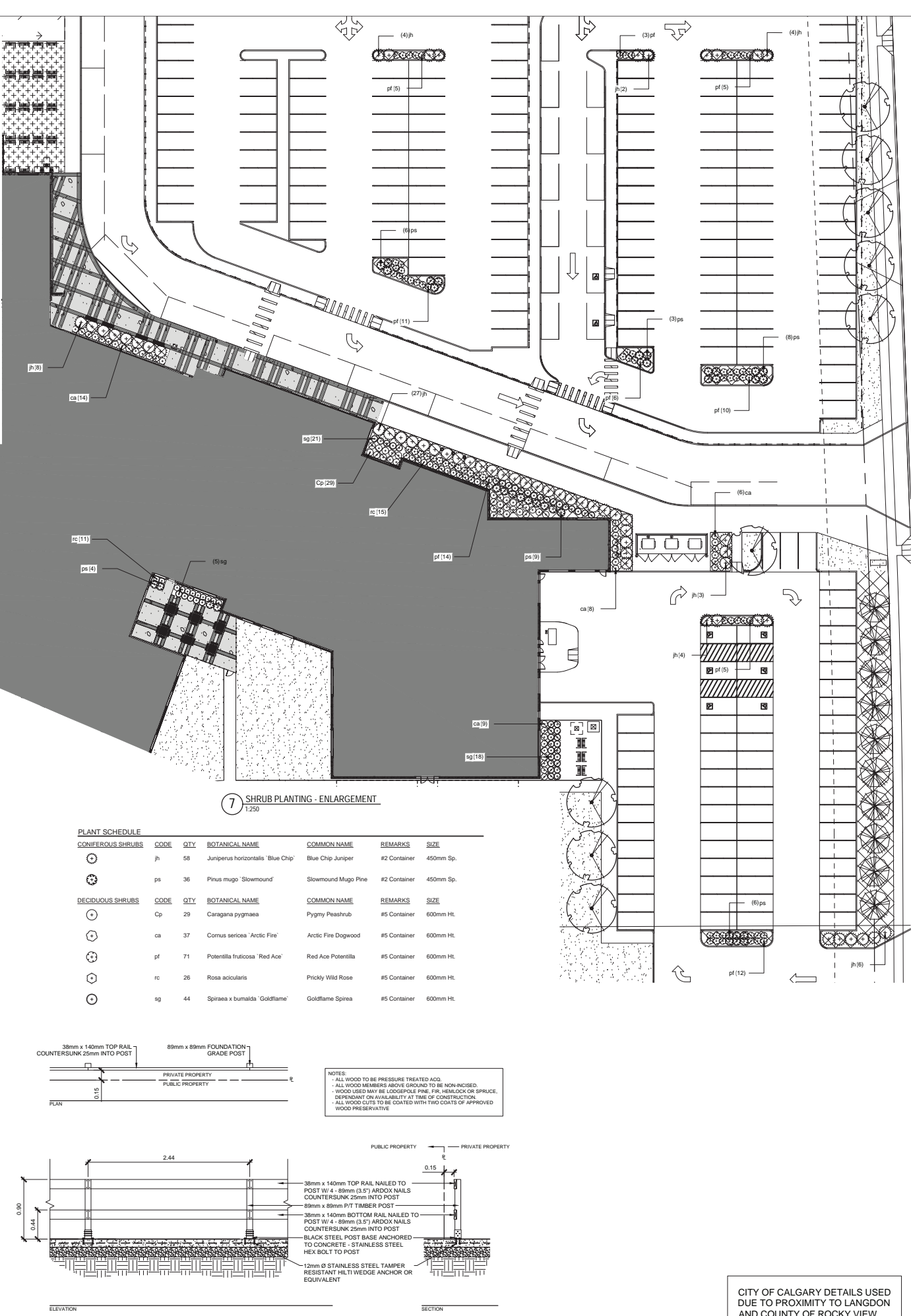


Calgary Parks 2019 241

2 SHRUB PLANTING DETAIL - CITY OF CALGARY
N.T.S.



5 CHAIN LINK FENCE - CITY OF CALGARY
N.T.S.



KEY PLAN

NOTES

LANDSCAPE ARCHITECTURE

ISL

7909 - 51 Ave. Edmonton, AB T6E 0L9
P: 780.438.9000 F: 780.438.3700

DATE	REV.	DESCRIPTION	DRAWN BY	CHECKED BY
2020/10/02	2	FINAL BRIDGING DOCUMENTS	GM	KA
2020/07/29	1	ISSUED FOR DEVELOPMENT PERMIT	GM	KA

CONSULTANT

THE WORKMAN GARRICK PARTNERSHIP
Architecture and Interior Design Inc.
In collaboration with
ONPAarchitects

Alberta
Infrastructure

PROJECT
LANGDON JUNIOR / SENIOR HIGH SCHOOL

TITLE
DETAILS

SEAL

DRAWN BY	CHECKED BY	SCALE
GEM	KRA	AS NOTED

DATE	SITE ID	BUILDING ID
OCT. 2, 2020		B8518A

PLAN NO.	PHASE	DISCIPLINE
020673		LAND

PROJECT ID	SHEET NO.
B8518A-0001	702

DOCUMENT CODE
20116 - L702

UNDERGROUND SERVICING NOTES:

GENERAL
ALL ONSITE MATERIALS AND WORKMANSHIP IN ACCORDANCE WITH PLUMBING CODE. CONTRACTOR RESPONSIBLE FOR NOTIFYING ENGINEER OF NON-COMPLYING DESIGN ELEMENTS. ALL MATERIALS AND INSTALLATION SHALL ALSO MEET THE REQUIREMENTS OF LOCAL AND PROVINCIAL DESIGN STANDARDS.

BEDDING AND BACKFILL

1. CLASS 'B' BEDDING REQUIRED THROUGHOUT.
2. ALL BACKFILL TO BE COMPACTED TO 98% OF STANDARD PROCTER DENSITY IN LIFTS NOT EXCEEDING 200mm LOOSE THICKNESS.
3. ENSURE PROPER COMPACTION AROUND MHS, CB'S AND VALVES.
4. CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES DURING CONSTRUCTION. ALL EXISTING UTILITIES MUST BE LOCATED PRIOR TO COMMENCEMENT OF WORK. VARIANCE IN LOCATION IS TO BE REPORTED TO THE SITE ENGINEER A MINIMUM OF 72 HOURS PRIOR TO CONSTRUCTION.

SEWER

1. ALL PIPE AND FITTINGS TO BE PSM TYPE PVC, DR35, TO SPECIFICATION S3034 AND CSA B182.1 AND B182.2, OR OPEN PROFILE PVC PIPE CONFORMING TO ASTM F794 AND CSA B182.4 WITH A MINIMUM STIFFNESS OF 300 kPa.
2. MANHOLES AND CATCH BASIN MANHOLES TO BE 1200mm. USE RUBBER GASKETS IN JOINTS.
3. ALL MANHOLES, CATCH BASINS AND MISC. CONCRETE TO BE TYPE 5 SULPHATE RESISTANT.
4. MH AND CB FRAMES AND COVERS TO BE CAST IRON TO SPECIFICATION FOR GRAY IRON CASTINGS (ASTM A48 CLASS 20).
5. ENSURE PIPE CONNECTIONS TO MANHOLES ARE WATER TIGHT.
6. USE SWEEP BENDS FOR ALL DIRECTION CHANGES.
7. USE SANDBAGS FILLED WITH 1:10 MIX OF CEMENT AND SAND FOR PIPE SUPPORT AT CROSSINGS.
8. ALL CB LEADS TO BE 2500 CONFORMING TO #1 ABOVE AT MIN GRADE OF 2.0%.
9. LEADS FROM CBMH'S MUST BE 3000.
10. ALL MHS TO BE PRE-BENCHED TO PIPE SPRINGLINE OR BENCHMARK IN PLACE.

SERVICES

1. CONFIRM EXACT LOCATION OF SERVICE ENTRY TO BUILDING PRIOR TO CONSTRUCTION. PLUG 1.0m FROM BUILDING OR CONNECT TO BUILDING SERVICE, AS REQUIRED.
2. ENDS OF PIPE TO BE PAINTED- RED - SANITARY; GREEN - STORM.
3. CONTRACTOR TO INSTALL A MIN 1.2m LENGTH OF 2x4 TO MARK PLUG LOCATIONS.

STORM DRAINAGE

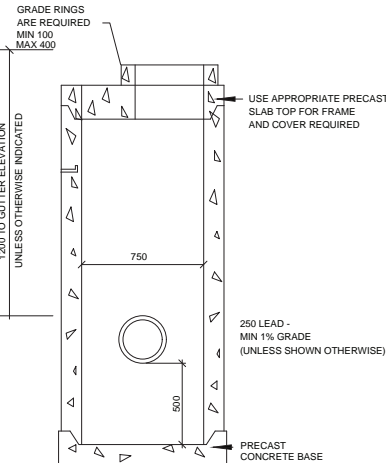
1. ROOF DRAINS TO BE CONNECTED TO STORM SEWER.

WATER

1. ALL WATERMAIN TO BE PVC-C900 CLASS 1035 TO CSA B137.3.
2. ALL WATERMAIN FITTINGS TO BE PVC 'CENTURION' TO CSA B137.3.
3. A POTABLE WATER TEST IS REQUIRED PRIOR TO OCCUPANCY.

EROSION AND SEDIMENTATION CONTROL

1. ALL ON-SITE GRADING WORK TO BE CONTAINED AND THE OWNER/DEVELOPER MUST CONFORM TO THE REQUIREMENTS OF LOCAL AND PROVINCIAL EROSION AND SEDIMENTATION CONTROL GUIDELINES.

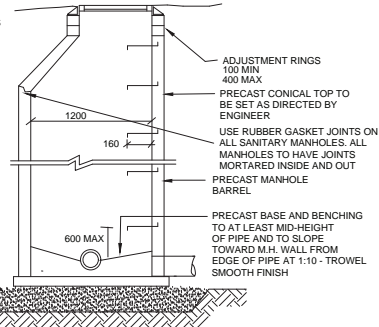
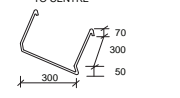


STANDARD CATCH BASIN
SCALE: N.T.S.

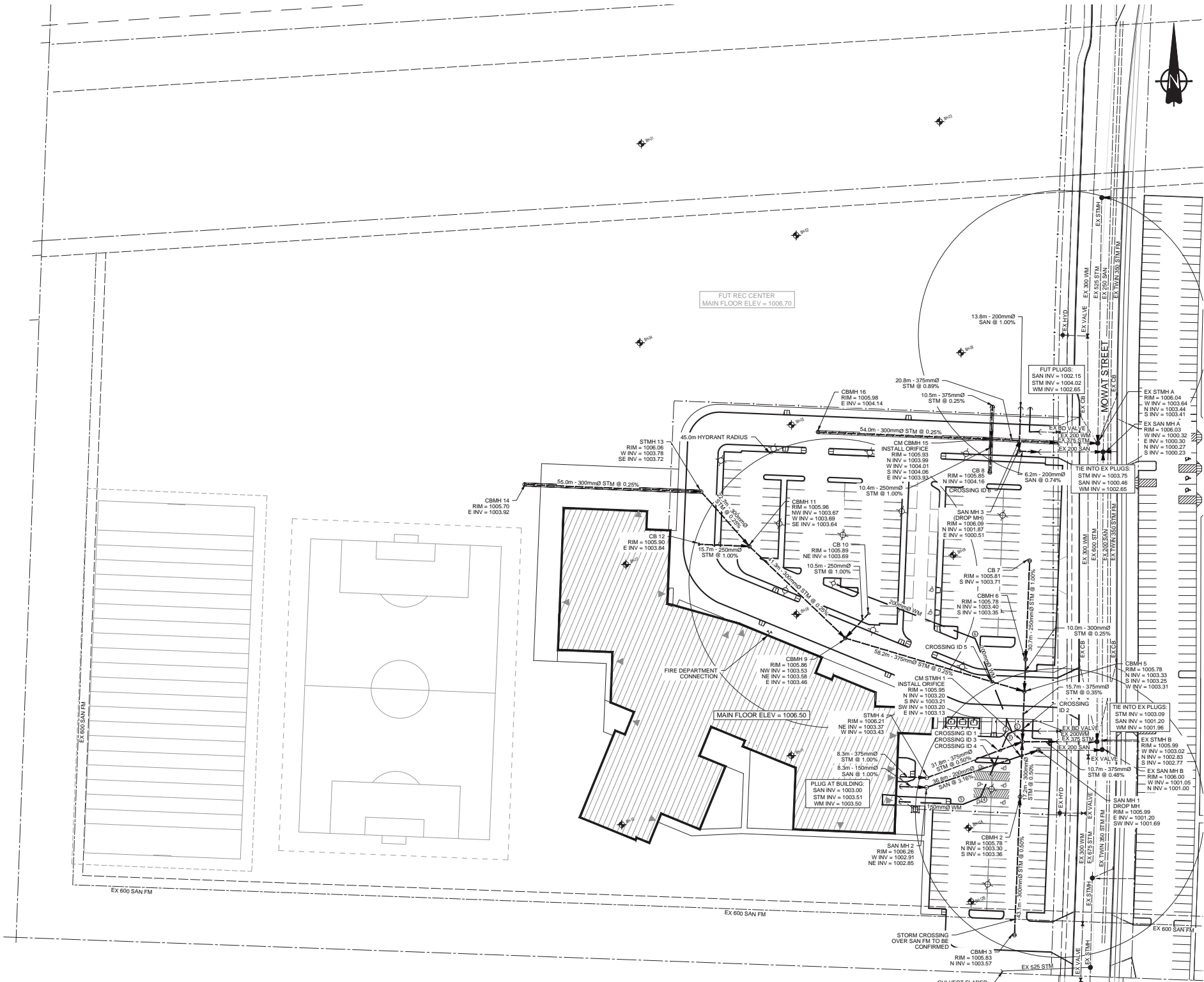
USE NORWOOD NF80 OR EQUAL
ON ALL MHS IN ROADWAYS OR WALKS
USE NORWOOD TYPE NF 38 OR EQUAL
ON ALL MHS IN LANDSCAPED AREAS

SAFETY TYPE M.H. RUNG

GALVANIZED IRON SPACING
TO BE 400mm CENTRE
TO CENTRE



STANDARD MANHOLE (500 SUMP FOR CBMH)
SCALE: N.T.S.



KEY PLAN

NOTES

PROPOSED	DESCRIPTION	EXISTING
BC	BARRIER CURB	
	FACE OF CURB	
	SIDEWALK	
	PROPERTY LINE	
	EASEMENT	
	GAS	
	TELECOM	
	POWER	
	SANITARY SEWER	
	STORM SEWER	
	WATERMAIN	
	INSULATION	
	WATER VALVE	
	FIRE HYDRANT	
	MANHOLE	
	CATCH BASIN MANHOLE	
	CATCH BASIN	
	LIGHT POLES	
	TRANSFORMER	
	BUILDING ENTRANCE	
	BOREHOLES	



2020-10-02	2	ISSUED FOR BRIDGING DOCUMENTS	JW	GW
2020-08-05	1	ISSUED FOR REVIEW	JW	GW

DATE	REV.	DESCRIPTION	DRAWN BY	CHECKED BY
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CONSULTANT	
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PROJECT	P3 LANGDON
	LANGDON, ALBERTA

TITLE	UNDERGROUND SERVICES PLAN
-------	---------------------------

SEAL	DRAWN BY JW	CHECKED BY GW	SCALE 1:500
DATE	2020-09-30	SITE ID	BUILDING ID
PLAN NO.	-	PHASE	DISCIPLINE
PROJECT ID	-	SHEET NO.	501

DOCUMENT CODE	
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CROSSING ID	SURFACE GRADE (m)	DESCRIPTION	CLEARANCE (m)
1	1005.93	STM CROSSING OVER SAN	STM INV: 1003.23 SAN DIV: 1002.06 CLEARANCE: 1.17
2	1006.00	STM CROSSING OVER WM	STM INV: 1003.21 WM DIV: 1002.56 CLEARANCE: 1.05
3	1006.00	STM CROSSING OVER WM	STM INV: 1003.25 WM DIV: 1002.70 CLEARANCE: 0.50
4	1005.96	WM CROSSING OVER SAN	WM INV: 1002.56 SAN DIV: 1002.06 CLEARANCE: 0.50
5	1005.95	STM CROSSING OVER WM	STM INV: 1003.34 WM DIV: 1002.84 CLEARANCE: 0.50
6	1006.03	STM CROSSING OVER SAN	STM INV: 1003.05 SAN DIV: 1002.30 CLEARANCE: 1.75

REFERENCE #	TYPE OF BEND	INVERT	FG
①	2000 - 22.5°	1001.96	1006.00
②	2000 - 11.4°	1001.96	1005.99
③	2000 - 45°	1001.96	1006.03
④	2000 - 45°	1002.92	1005.92
⑤	2000 - 22.5°	1002.92	1006.00
⑥	2000 - 45°	1002.99	1005.99

SHALLOW UTILITIES SHOWN
FOR INFORMATION ONLY

TWP ROAD 233A & MOWAT STREET,
LANGDON, AB
LOT 5, BLOCK 1, PLAN 1113376

SCALE: 1:500

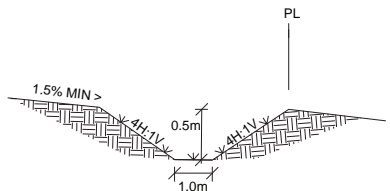
- GRADING REQUIREMENTS**
1. ENSURE THAT UNSUITABLE MATERIALS, INCLUDING WEEDS, HAVE BEEN REMOVED TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER. ANY SUCH REMAINING MATERIALS SHALL BE DISPOSED OFF-SITE PRIOR TO INITIATING FURTHER EARTHWORKS.
 2. THE GEOTECHNICAL ENGINEER SHALL APPROVE THE SUBGRADE PRIOR TO PLACEMENT OF ANY FILL MATERIALS.
 3. EXISTING SUBGRADE TO BE SCARIFIED (150mm DEPTH) AND RECOMPACTED.
 4. IMPORTED CLAY AND TILL MATERIALS MUST BE APPROVED BY THE GEOTECHNICAL ENGINEER.
 5. BACKFILL UNDER SLABS OR FOUNDATIONS SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL INVESTIGATION AND CONFIRMED BY THE GEOTECHNICAL ENGINEER.
 6. GENERAL FILL UNDER PAVED ROADWAYS AND SIDEWALKS SHALL BE COMPACTED IN 150mm LIFTS TO A MINIMUM OF 98% S.P.D. WITHIN 2% OF OPTIMUM MOISTURE CONTENT.
 7. GENERAL FILL UNDER LANDSCAPE AREAS SHALL BE COMPACTED IN 150mm LIFTS TO A MINIMUM OF 95% S.P.D. WITHIN 2% OF OPTIMUM MOISTURE CONTENT.
 8. THE CONTRACTOR IS RESPONSIBLE FOR THE IMPORT OF SUITABLE FILL MATERIALS, IF NECESSARY, AND DISPOSAL OF EXCESS MATERIALS OFF-SITE.
 9. ELEVATIONS ARE GEODETIC AND ARE IN METERS AND DECIMALS THEREOF. ELEVATIONS ARE TRUNCATED BY 1000, WHERE NOT SHOWN IN THE HUNDREDS.

- SIDEWALK NOTES:**
1. REINFORCING REQUIREMENTS FOR CONCRETE SIDEWALKS SHALL CONSIST OF 10M REBAR, 750 O.C. FOR SIDEWALKS UP TO 2.0m WIDE. FOR LARGER SIDEWALK AND ENTRY AREAS REINFORCING SHALL INCREASE TO 10M REBAR, 300 O.C. E/W
 2. UNLESS OTHERWISE NOTED, ALL CONCRETE SIDEWALKS ARE TO CROSSFALL 2.0% AWAY FROM THE BUILDING.
 3. CONCRETE SIDEWALKS AND ENTRY AREAS SHALL CONSIST OF 125mm DEPTH OF CONCRETE ON 100mm DEPTH OF 3-20A CRUSHED GRAVEL AND 150mm DEPTH OF COMPACTED SUBGRADE.

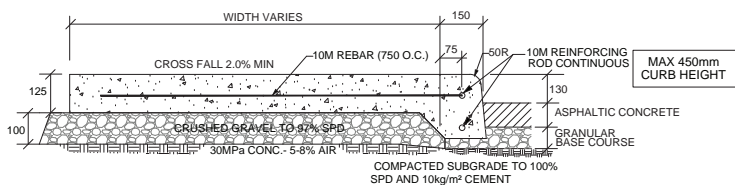
- EROSION AND SEDIMENTATION CONTROL**
1. ALL ON-SITE GRADING WORK TO BE CONTAINED AND THE OWNER/DEVELOPER MUST CONFORM TO THE REQUIREMENTS OF LOCAL AND PROVINCIAL EROSION AND SEDIMENTATION CONTROL GUIDELINES.

ONSITE PAVEMENT STRUCTURES			
AREA	MATERIAL	DEPTH	COMPACTION
ASPHALT PLAY AREA	Asphalt Concrete Pavement (Type B)	50mm	93% M.T.D
	Gravel Base (20mm)	100mm	98% S.P.D
	Gravel Sub-Base (75mm)	150mm	98% S.P.D
	Scarify and Subgrade Prep (10kg/m ² cement)	150mm	98% S.P.D
LIGHT DUTY PAVEMENT	Asphalt Concrete Pavement (Type B)	80mm	93% M.T.D
	Gravel Base (20mm)	100mm	98% S.P.D
	Gravel Sub-Base (75mm)	150mm	98% S.P.D
	Scarify and Subgrade Prep (10kg/m ² cement)	150mm	98% S.P.D
HEAVY DUTY PAVEMENT	Asphalt Concrete Pavement (Type B)	40mm	93% M.T.D
	Base Asphalt Concrete Pavement (Type A)	100mm	93% M.T.D
	Gravel Base (20mm)	100mm	98% S.P.D
	Gravel Sub-Base (75mm)	200mm	98% S.P.D
	Scarify and Subgrade Prep (10kg/m ² cement)	150mm	98% S.P.D

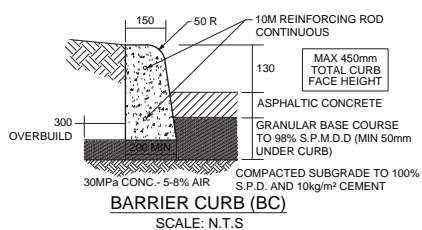
PER LANGDON HIGH SCHOOL GEOTECHNICAL REPORT COMPLETED BY: TETRA TECH, MAY 2020



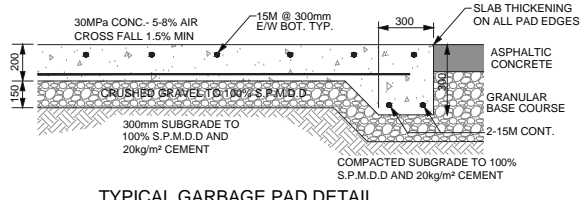
SECTION A-A: VEGETATED SWALE
LONGITUDINAL SLOPE = 0.10%
N.T.S



MONO WALK AND CURB
SCALE: N.T.S



BARRIER CURB (BC)
SCALE: N.T.S



TYPICAL GARBAGE PAD DETAIL
SCALE: N.T.S

TWP ROAD 233A & MOWAT STREET,
LANGDON, AB
LOT 5, BLOCK 1, PLAN 1113376

SCALE: 1:500

KEY PLAN

NOTES

LEGEND

PROPOSED	DESCRIPTION	EXISTING
BC	BARRIER CURB	-----
RF	ROLLED FACE CURB	-----
AS	ASPHALT SIDEWALK	-----
PL	PROPERTY LINE	-----
EL	EASEMENT	-----
FL	FENCE LINE	-----
OP	OVERHEAD POWER	-----
GB	GRADING BOUNDARY (4:1-V SLOPE)	-----
GC	GROUND CONTOURS	-----
WV	WATER VALVE	-----
FD	FIRE HYDRANT	-----
MH	MANHOLE	-----
CB	CATCH BASIN MANHOLE	-----
CP	CATCH BASIN	-----
LP	LIGHT POLES	-----
TR	TRANSFORMER	-----
MD	MINOR DRAINAGE	-----
MA	MAJOR DRAINAGE	-----
DE	DESIGN ELEVATIONS	-----
BE	BUILDING ENTRANCE	-----
BO	BOREHOLES	-----

Al-Terra Engineering Ltd.

THE WORKMAN GARRICK PARTNERSHIP
Architecture and Interior Design Inc.
In collaboration with
ONPA architects

Alberta Infrastructure

PROJECT: P3 Langdon
EDMONTON, ALBERTA

TITLE: GRADING & DRAINAGE PLAN

SEAL: [Blank]

DRAWN BY	CHECKED BY	SCALE
JW	GWT	1:500

DATE	SITE ID	BUILDING ID
2020-09-30	-	-

PLAN NO.	PHASE	DISCIPLINE
-	-	CIVIL

PROJECT ID	SHEET NO.
-	502

DOCUMENT CODE

