

**PLANNING AND DEVELOPMENT SERVICES**

TO: Subdivision and Development Appeal Board
DATE: July 29, 2021 **DIVISION:** 5
FILE: 03330006 **APPLICATION:** PRDP20211477
SUBJECT: Development Item: Industrial (Light) / Discretionary Use, with Variances

APPLICATION: Industrial (Light), construction of four (4) multi-bay commercial buildings, tenancy, and signage, and relaxation of the minimum tree/shrub requirement.

GENERAL LOCATION: Located approximately 0.41 kilometre (1/4 mile) north of Hwy 560 and 1.21 kilometres (3/4 mile) west of Range Road 285.

LAND USE DESIGNATION: Commercial, Local Rural District (C-LRDs h18)

EXECUTIVE SUMMARY: The application was presented to the Municipal Planning Commission (MPC) on June 23, 2021 and was conditionally approved.

This proposal is for the construction of four (4) multi-bay commercial buildings. Each bay contains warehouse space in the front and office space in the rear. The site is currently developed with multiple commercial buildings and an ancillary dwelling unit, most recently permitted for a landscaping company. The entire site will be demolished and redeveloped.

The Applicant requested a 52% variance to the minimum tree/shrub requirement due to a utility right-of-way along the west property line. Administration was of the opinion that there is sufficient room on-site for the required number of trees/shrubs outside of the right-of-way. As such, Administration recommended approval without the variance. MPC agreed with the recommendation and approved the application without the landscaping variance.

On July 15, 2021, the Applicant appealed the decision of the Municipal Planning Commission for several reasons, which are noted within the agenda package.

DECISION: Conditionally Approved

DEVELOPMENT / SUBDIVISION AUTHORITY: Municipal Planning Commission

DECISION DATE:
June 23, 2021

APPEAL DATE:
July 15, 2021

ADVERTISED DATE:
June 29, 2021

Administration Resources

Sandra Khouri, Planning & Development Services

**AIR PHOTO & DEVELOPMENT CONTEXT:****VARIANCE SUMMARY:**

Regulation	Requirement	Proposed	Variance
Minimum number of trees	50	24	52.00%
Minimum number of shrubs	33	16	52.00%

APPLICATION EVALUATION:

The application was evaluated based on the technical reports submitted with the application and the applicable policies and regulations.

APPLICABLE POLICY AND REGULATIONS: <ul style="list-style-type: none"> • <i>Municipal Government Act;</i> • Subdivision and Development Regulations; • Municipal Development Plan; • Janet Area Structure Plan; • Land Use Bylaw; and • County Servicing Standards. 	DISCRETIONARY USE: <ul style="list-style-type: none"> • Industrial (Light)
	DEVELOPMENT VARIANCE AUTHORITY: <ul style="list-style-type: none"> • Subdivision and Development Appeal Board



APPEAL:

See attached report and exhibits.

Respectfully submitted,

"Heather McInnes"

Supervisor
Planning and Development Services

SK/sl



ATTACHMENT 'A': APPLICATION INFORMATION

APPLICANT: Lee Snowden	OWNER: Mudd, Sheila & Robert
DATE APPLICATION RECEIVED: April 7, 2021	DATE DEEMED COMPLETE: April 15, 2021
MUNICIPAL PLANNING COMMISSION DECISION DATE: June 23, 2021	
APPELLANT: 946992 Alberta LTD (Robert Mudd)	
GROSS AREA: ± 2.02 hectares (± 5.00 acres)	LEGAL DESCRIPTION: Block 13, Plan 1820 AM; SW-30-23-28-W04M
APPEAL BOARD: Subdivision and Development Appeal Board	
HISTORY: <p>November 9, 2011: development permit approval for a storage area, tenancy for storage of steel racking and shelving, and construction of a storage building</p> <p>August 25, 2009: development permit approval for General Industry Type II, for a landscape supply company and dwelling unit accessory to the use (existing dwelling)</p> <p>February 4, 2009: development permit approval for placement of clean fill, construction of a berm and a stormwater pond (placed without permits)</p> <p>June 12, 2007: Council approved an application to redesignate the subject lands from Residential Three District to General Business District (B-2).</p> <p>February 15, 2007: building permit approval for an existing office building</p> <p>December 17, 2006: building permit approval for a workshop</p> <p>August 15, 2003: development permit approval for the construction of a Quonset, relaxation of the maximum building area, relaxation of the total building area for all accessory buildings, relaxation of the maximum height requirement and relaxation of the total number of accessory buildings, and relaxation of the minimum side yard setback requirement on two (2) existing accessory buildings (small garage and shed)</p> <p>July 15, 1988: building permit approval for a dwelling, single detached</p>	
PUBLIC & AGENCY SUBMISSIONS: <p>The application was circulated to 13 adjacent landowners. At the time this report was prepared, no letters were received in support or objection to the application, excepting the appeal.</p>	

**PLANNING AND DEVELOPMENT SERVICES**

TO:	Municipal Planning Commission Development Authority	DIVISION: 5
DATE:	June 23, 2021	APPLICATION: PRDP20211477
FILE:	03330006	
SUBJECT:	Industrial (Light) / Discretionary use, with Variances	

APPLICATION: Industrial (Light), construction of four (4) multi-bay commercial buildings, tenancy, and signage, and relaxation of the minimum tree/shrub requirement

GENERAL LOCATION: Located approximately 0.41 kilometre (1/4 mile) north of Hwy 560 and 1.21 kilometres (3/4 mile) west of Range Road 285.

LAND USE DESIGNATION: Commercial, Local Rural District (C-LRDs h18)

EXECUTIVE SUMMARY: This proposal is for the construction of four (4) multi-bay commercial buildings. Each bay contains warehouse space and an overhead door in the front and office space in the rear. The site is currently developed with multiple commercial buildings and an ancillary dwelling unit, most recently permitted for a landscaping company. The entire site would be demolished and redeveloped.

A summary of the proposal is as follows:

- Building #1 (farthest west) has nine (9) bays and is approximately 1,153.86 sq. m (16,080.00 sq. ft.) in size.
 - Each bay is 128.21 sq. m (1,380.00 sq. ft.) in size, with warehouse space in the front, office space in the rear, and a mezzanine.
 - The total warehouse space is 769.24 sq. m (8,280.00 sq. ft.).
 - The total office space is 384.62 sq. m (4,140.00 sq. ft.).
 - The total mezzanine space is 384.62 sq. m (4,140.00 sq. ft.).
- Buildings #2, #3, and #4 (from west to east) are the same layout. Each has eight (8) bays and is approximately 1,070.24 sq. m (11,520.00 sq. ft.) in size.
 - Each bay is 133.78 sq. m (1,440.00 sq. ft.) in size, with warehouse space in the front, office space in the rear, and a mezzanine.
 - The total warehouse space is 713.50 sq. m (7,680.00 sq. ft.).
 - The total office space is 356.75 sq. m (3,840.00 sq. ft.).
 - The total mezzanine space is 356.75 sq. m (3,840.00 sq. ft.).

The Applicant intends to phase the development, with buildings #1 and #2 scheduled for the fall/winter of 2021. Construction dates for buildings #3 and #4 are unknown at this time; however, if not commenced within twelve months of the date of issue, a time extension will be required.

The Applicant has requested a 52% variance to the minimum tree/shrub requirement due to a utility right-of-way along the west property line. The development meet all other regulations of the Land Use Bylaw. Administration is of the opinion that there is sufficient room on-site for the required number of trees/shrubs outside of the right-of-way. As such, Administration recommends approval without a variance, in accordance with Option #1. If the Municipal Planning Commission (MPC) wishes to



approve the variance, it is recommended that Condition #2(i) be removed, in accordance with Option #2.

ADMINISTRATION RECOMMENDATION: Administration recommends approval in accordance with Option #1.

OPTIONS:

- Option #1: THAT Development Permit Application PRDP20211477 be approved with the conditions noted in Attachment 'A'.
- Option #2: THAT Development Permit Application PRDP20211477 be approved with the amended conditions noted in Attachment 'A', including the removal of Condition #2(i).
- Option #3: THAT Development Permit Application PRDP20211477 be refused.

AIR PHOTO & DEVELOPMENT CONTEXT:



VARIANCE SUMMARY:

Variance	Requirement	Proposed	Percentage (%)
Minimum number of trees	50	24	52.00%
Minimum number of shrubs	33	16	52.00%

APPLICATION EVALUATION:

The application was evaluated based on the technical reports submitted with the application and the applicable policies and regulations.



APPLICABLE POLICY AND REGULATIONS: <ul style="list-style-type: none"> • <i>Municipal Government Act;</i> • Subdivision and Development Regulations; • Municipal Development Plan; • Land Use Bylaw C-8000-2020 (LUB); • Janet Area Structure Plan; and • County Servicing Standards. 	TECHNICAL REPORTS SUBMITTED: <ul style="list-style-type: none"> • N/A
PERMITTED USE: <i>Industrial (Light)</i> is a discretionary use in C-LRD	DEVELOPMENT VARIANCE AUTHORITY: Municipal Planning Commission

Additional Review Considerations

Conditions were set based on the following items:

Parking

- *The minimum number of parking stalls required is as per table 5 (LUB).*
 - **Required: Office:** 3.0 stalls per 100 sq. m of gross floor area
 - Office space (building #1): 384.62 sq. m / 100 * 3 = **11 stalls**
 - Office space (building #2, #3, #4): 356.75 sq. m * 3 / 100 * 3 = **32 stalls**
 - **Required: Industrial (Light):** 1 stall per 100 sq. m of gross floor area
 - Warehouse/Mezzanine space (building #1): 769.24 sq. m (main floor) + 384.62 sq. m (mezzanine) / 100 * 1 = **11 stalls**
 - Warehouse/Mezzanine space (building #2, #3, #4): 713.50 sq. m (main floor) + 356.75 sq. m (mezzanine) * 3 / 100 * 1 = **32 stalls**
 - Total stalls required: **86 stalls, 4 barrier free**
 - **Proposed:** 60 stalls, 4 barrier free stalls
 - Applicant used Industrial (light) parking count for the entire building; revisions required
 - **Prior to Release:** revised parking plan with 86 stalls or appropriate Parking Assessment
- *The minimum parking stall dimensions are as per table 6 (LUB).*
- *Width:*
 - **Required:** 2.60 m (8.53 ft.)
 - **Proposed:** not provided
 - **Prior to Release:** revised parking plan with parking stall width

Accessible Parking Stall Dimensions:

- *Stall Width (in accordance with Alberta Building Code):*
 - **Required:** 2.40 m stall; 2.40 m access aisle
 - **Proposed:** unknown stall width; 2.40 m access aisle



- **Prior to Release:** revised parking plan with parking stall width of barrier-free stalls

Landscaping

- *One tree for every 40.0 m² (430.56 ft²) of the required landscaped area, to a minimum of four trees. One shrub for every 60.0 m² (645.83 ft²) of landscaped area shall be provided, to a minimum of six shrubs.*
 - **Required:** 50 trees, 33 shrubs
 - **Proposed:** 24 trees, 16 shrubs
 - The Applicant has requested a 52% variance to tree/shrub requirement due to an easement along the west property line. Administration is of the opinion that there is sufficient room on-site for the required amount of landscaping.

CONCLUSION:

Subject to the proposed conditions of approval, the application is recommended for approval.

Respectfully submitted,

Concurrence,

“Brock Beach”

“Kent Robinson”

Acting Executive Director
Community Development Services

Interim Chief Administrative Officer

SK/lt

ATTACHMENTS:

ATTACHMENT ‘A’: Development Permit Report Conditions

ATTACHMENT ‘B’: Maps and Other Information

**ATTACHMENT 'A': DEVELOPMENT PERMIT REPORT CONDITIONS****Description:**

1. That Industrial (Light), construction of four (4) multi-bay office/shop buildings may take place on the subject land in accordance with the approved site plan and drawings prepared by Ironwood Building Corp. dated April 7, 2021 (File no. 21187C), as amended, and conditions of this permit. The approval includes:
 - i. Demolition of all existing buildings;
 - ii. Construction of one (1) office/shop building with 9 bays, approximately $\pm 1,153.86$ sq. m (16,080.00 sq. ft.) in size, including 384.62 sq. m (4,140.00 sq. ft.) of developed mezzanine space;
 - iii. Construction of three (3) office/shop buildings with eight (8) bays each, approximately $\pm 1,070.24$ sq. m (11,520.00 sq. ft.) in size, including 356.75 sq. m (3,840.00 sq. ft.) of developed mezzanine space; and
 - iv. Signage includes the placement of 33 tenant façade signs, details in accordance with the revised signage plan.

Prior to Release:

2. That prior to release of this permit, the Applicant/Owner shall submit a revised landscape plan, to the satisfaction of the County, that includes the following:
 - i. The minimum number of trees and shrubs shall be provided (50 trees and 33 shrubs), in accordance with Section 259 of the Land Use Bylaw C-8000-2020 (LUB);
 - ii. A minimum 3.00 m wide landscaped area shall be provided between the front of all buildings and the adjoining parking area, in accordance with Appendix B of the Janet Area Structure Plan (ASP).
3. That prior to release of this permit, the Applicant/Owner shall submit a revised parking plan, to the satisfaction of the County, identifying the following:
 - i. The minimum number of parking stalls (86) shall be provided based on the office and shop areas identified on the floor plans, in accordance with the *Industrial (Light)* and *Office* uses under Section 235 Table 5 of the LUB;
 - a. If less than 86 stalls are to be provided, a Parking Assessment, prepared by a qualified professional, may be submitted to the Development Authority to document the parking demand and supply characteristics associated with the proposed development. The Development Authority shall not be bound by any recommendations of such a Parking Assessment.
 - ii. The minimum width of each parking stall (2.60 m [8.53 ft.]) and barrier-free stall (2.40 m [7.87 ft.] with a 2.40 m [7.87 ft.] access aisle) shall be provided, in accordance with Section 238 Table 6 of the LUB and Section 3.8.3.22 of the Alberta Building Code.
4. That prior to release of this permit, the Applicant/Owner shall submit revised elevation drawings, to the satisfaction of the County, that addresses the following:
 - i. The exterior colours, materials, and finishes of all buildings shall be coordinated to achieve a reasonable continuity of appearance, in accordance with Appendix B of the Janet ASP;
 - ii. The facades of buildings that exceed 30.00 m (98.42 ft.) measured horizontally and facing roadways (west façade of building #1), shall incorporate wall plane projections or recesses having a depth of at least three (3) percent of the length of the façade and



extending at least 20 percent of the length of the façade, in accordance with Appendix B of the Janet ASP;

- iii. That every bay of each building shall have a clearly defined main entrance featuring at least two of the following: canopy or portico; overhang or arcade; raised corniced parapet over the door; outdoor amenity area; upgraded window glazing areas; or integrated planters or landscaped sitting areas, in accordance with Appendix B of the Janet ASP.
5. That prior to release of this permit, the Applicant/Owner shall submit a signage plan indicating the dimensions, design, method of illumination, and location of any proposed tenant signage, to the satisfaction of the County.
6. That prior to release of this permit, the Applicant/Owner shall contact County Road Operations with haul details for materials and equipment needed during construction/site development to confirm if Road Use Agreements will be required for any hauling along the County road system and to confirm the presence of County road ban restrictions and to submit a new road approach application for the proposed/updated approach off Prairie Place.
 - i. Written confirmation shall be received from Road Operations, confirming the status of this condition.
7. That prior to release of this permit, the Applicant/Owner shall submit a security deposit for \$10,000 for the proposed/upgraded road approach.
8. That prior to release of this permit, the Applicant/Owner shall submit a Transportation Impact Assessment (TIA), conducted and stamped by a professional engineer, that assesses the traffic generated by the proposed development, and provides recommendations on any required improvements, in accordance with the County Servicing Standards and to the satisfaction of the County.
 - i. Should the TIA require improvements to the local road network, the Applicant/Owner shall enter into a Road Right of Way Construction Agreement with the County for the construction of the improvements.
9. That prior to release of this permit, the Applicant/Owner shall submit payment of the Stormwater Off-site Levy for the total gross acreage of the development area, in accordance with Bylaw C-8008-2020.
10. That prior to release of this permit, the Applicant/Owner shall submit a Site-Specific Stormwater Implementation Plan (SSIP), conducted and stamped by a professional engineer that is in accordance with the Co-operative Stormwater Management Initiative (CSMI) requirements, the County Servicing Standards, and to the satisfaction of the County.
11. That prior to release of this permit, the Applicant/Owner shall provide a fire fighting water supply strategy conducted and stamped by a professional engineer that supplies the necessary level of fire flow and is designed in accordance with the County's Fire Hydrant Water Suppression Bylaw and the County Servicing Standards to the satisfaction of the County.
12. That prior to release of this permit, the Applicant/Owner shall submit a construction management plan, in accordance with County Servicing Standards. The plan shall address any noise mitigation measures, traffic accommodation, sedimentation and dust control, management of stormwater during construction, erosion and weed control, construction practices, waste management, firefighting procedures, evacuation plan, hazardous material containment, and all other relevant construction management details.



Prior to Occupancy:

13. That prior to occupancy, all landscaping, parking, and final site surfaces shall be in place prior to occupancy of the site and/or buildings.
 - i. That should permission for occupancy of the site be requested during October through May inclusive, occupancy may be allowed without landscaping and final site surface completion provided that an Irrevocable Letter of Credit in the amount of 150.00% of the total cost of completing all the landscaping and final site surfaces shall be placed with Rocky View County to guarantee the works shall be completed by the 30th day of June immediately thereafter.
14. That prior to occupancy, the County shall perform an inspection of the site to verify that the road approach has been upgraded in accordance with the County Servicing Standards and approved plans.
 - i. The security will be returned upon a successful prior to occupancy inspection.
15. That prior to occupancy, Built to Design Certificates and As-built drawings certified by a professional engineer, shall be submitted. The as-built drawings shall include (where applicable): verification of as-built pond volumes, trap low volumes, liner verification, irrigation systems, and any other information that is relevant to the SSIP.

Permanent:

16. That any plan, technical submission, agreement, matter, or understanding submitted and approved as part of the application or in response to a prior to release or occupancy condition, shall be implemented and adhered to in perpetuity, including the SSIP.
17. That any proposed or replacement fencing shall be 2.00 m (6.56 ft.) in height or less, and shall be similar in design, character, and quality to the proposed development.
18. That no outdoor display areas, storage areas, parking, or marshalling yards shall be allowed within landscaped yards.
19. That all landscaping and topsoil placement shall be in accordance with the landscaping details provided on the Landscape Plan, as amended.
 - i. That the Applicant/Owner shall be responsible for irrigation and maintenance of all landscaped areas, including the replacement of any deceased trees, shrubs, or plants, within 30 days, or by June 30th of the next growing season.
 - ii. The vegetation type has to endure the irrigation from May to September.
 - iii. That water for irrigation and landscaping purposes shall only be supplied by the re-use of stormwater and not via the use of potable water.
20. That all sanitary sewage shall be contained in pump-out tanks and transported off-site to an approved wastewater receiving facility for disposal.
21. That potable water shall either be trucked onto the property and stored in cisterns or obtained from individual wells.
22. That no topsoil shall be removed from the site.
23. That any dirt removed from the site during construction shall be hauled off in a covered trailer/truck that will prevent blowing of dust/small rocks onto the road or issues with other vehicles on the road.
24. That dust control shall be maintained on the site during construction and that the developer shall take whatever means necessary to keep visible dust from blowing onto adjacent lands.



25. That any site regrading work is not to direct any additional surface drainage into County road rights-of-way, or to negatively impact surface drainage patterns in the area.
26. That there shall be a minimum of 86 parking stalls, including 4 barrier-free, maintained on-site at all times, in accordance with the approved Site Plan or as dictated by an approved Parking Assessment. All customer and employee parking shall be restricted to the subject land and there shall be no offsite parking.
27. That there shall be no parking or signage in the County road right-of-way.
28. That any future signage will require separate Development Permit approval.
29. That all signage shall be kept in a safe, clean, and tidy condition at all times.
30. That the entire site shall be maintained in a neat and orderly manner at all times. All garbage and waste material shall be deposited and confined in weatherproof and animal-proof containers located within the building or adjacent to the side or rear of the building and/or adequately screened or enclosed from view from all adjacent properties and public thoroughfares. All waste material shall be regularly removed from the property to prevent any debris from blowing onto adjacent property or roadways.
31. That it is the Applicant/Owner's responsibility to obtain and display a distinct municipal address in accordance with the County Municipal Addressing Bylaw (Bylaw C-7562-2016), for each building located on the subject site, to facilitate accurate emergency response.
32. That all on-site lighting shall be downturned and all private lighting, including site security lighting and parking area lighting, should be designed to conserve energy, reduce glare, and reduce uplift. All development will be required to demonstrate lighting design that reduces the extent of spill-over glare and eliminates glare as viewed from nearby residential properties.
33. That if the development authorized by this Development Permit is not commenced with reasonable diligence within twelve (12) months from the date of issue, and completed within twenty-four (24) months of the issue, the permit is deemed to be null and void unless an extension to this permit shall first have been granted by the Development Officer.
34. That if this Development Permit is not issued by January 31, 2022, or the approved extension date, this approval is null and void and the Development Permit shall not be issued.

Advisory:

35. That the site shall be maintained in compliance with County Bylaw No. C-7690-2017, the "Nuisance and Unsightly Property Bylaw", at all times. Any debris or garbage generated on the site shall be stored/placed in garbage bins and disposed of at an approved disposal facility.
36. That the County Bylaw C-8067-2020, the "Noise Bylaw", shall be adhered to at all times.
37. That a Building Permit and all applicable sub-trade permits shall be obtained, through Building Services, prior to any construction taking place, using the Commercial/Industrial checklist.
 - i. That the Applicant/Owner shall obtain Demolition Permits through Building Services, prior to demolition of any existing buildings on-site.

Note: The Development shall conform to the National Energy Code 2011.

38. That all future tenants will be required to apply for a New Business Tenant (No Change of Use) or a Change of Use (Land or Existing Building) Development Permit.
39. That the site shall remain free of restricted and noxious weeds and be maintained in accordance with the *Alberta Weed Control Act* [Statutes of Alberta, 2008 Chapter W-5.1; Current as of December 15, 2017].



40. That any other government permits, approvals, or compliances are the sole responsibility of the Applicant/Owner.



ATTACHMENT 'B': MAPS AND OTHER INFORMATION

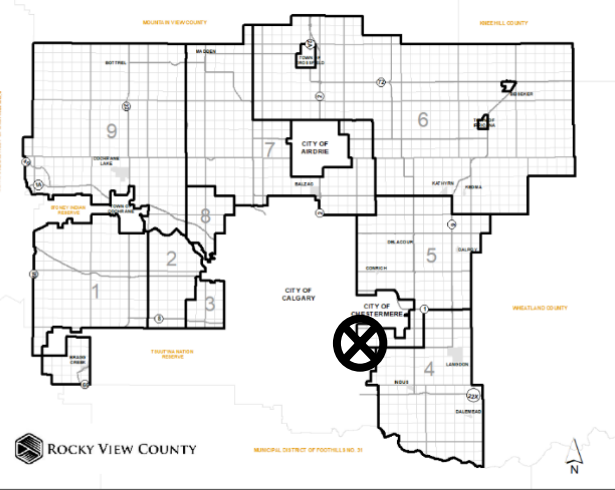
APPLICANT: Lee Snowden	OWNER: Mudd, Sheila & Robert
DATE APPLICATION RECEIVED: April 7, 2021	DATE DEEMED COMPLETE: April 15, 2021
GROSS AREA: ± 2.02 hectares (± 5.00 acres)	LEGAL DESCRIPTION: Block 13, Plan 1820 AM; SW-30-23-28-W04M
APPEAL BOARD: Subdivision and Development Appeal Board	
HISTORY: <p>November 9, 2011: development permit approval for a storage area, tenancy for storage of steel racking and shelving, and construction of a storage building</p> <p>August 25, 2009: development permit approval for General Industry Type II, for a landscape supply company and dwelling unit accessory to the use (existing dwelling)</p> <p>February 4, 2009: development permit approval for placement of clean fill, construction of a berm and a stormwater pond (placed without permits)</p> <p>June 12, 2007: Council approved an application to redesignate the subject lands from Residential Three District to General Business District (B-2).</p> <p>February 15, 2007: building permit approval for an existing office building</p> <p>December 17, 2006: building permit approval for a workshop</p> <p>August 15, 2003: development permit approval for the construction of a Quonset, relaxation of the maximum building area, relaxation of the total building area for all accessory buildings, relaxation of the maximum height requirement and relaxation of the total number of accessory buildings, and relaxation of the minimum side yard setback requirement on two (2) existing accessory buildings (small garage and shed)</p> <p>July 15, 1988: building permit approval for a dwelling, single detached</p>	
AGENCY SUBMISSIONS: <p>The application was circulated to a number of internal and external agencies and, where appropriate, conditions of approval have been proposed based on these comments.</p>	

Location & Context

Development Proposal

Industrial (Light), construction of four (4) multi-bay commercial buildings, tenancy, and signage, and relaxation of the minimum tree/shrub requirement

Division: 05
 Roll: 03330006
 File: PRDP20211477
 Printed: April 23, 2021
 Legal: Block:13 Plan:1820
 AM within SW-30-23-28-
 W04M



Location & Context

Development Proposal

Industrial (Light), construction of four (4) multi-bay commercial buildings, tenancy, and signage, and relaxation of the minimum tree/shrub requirement

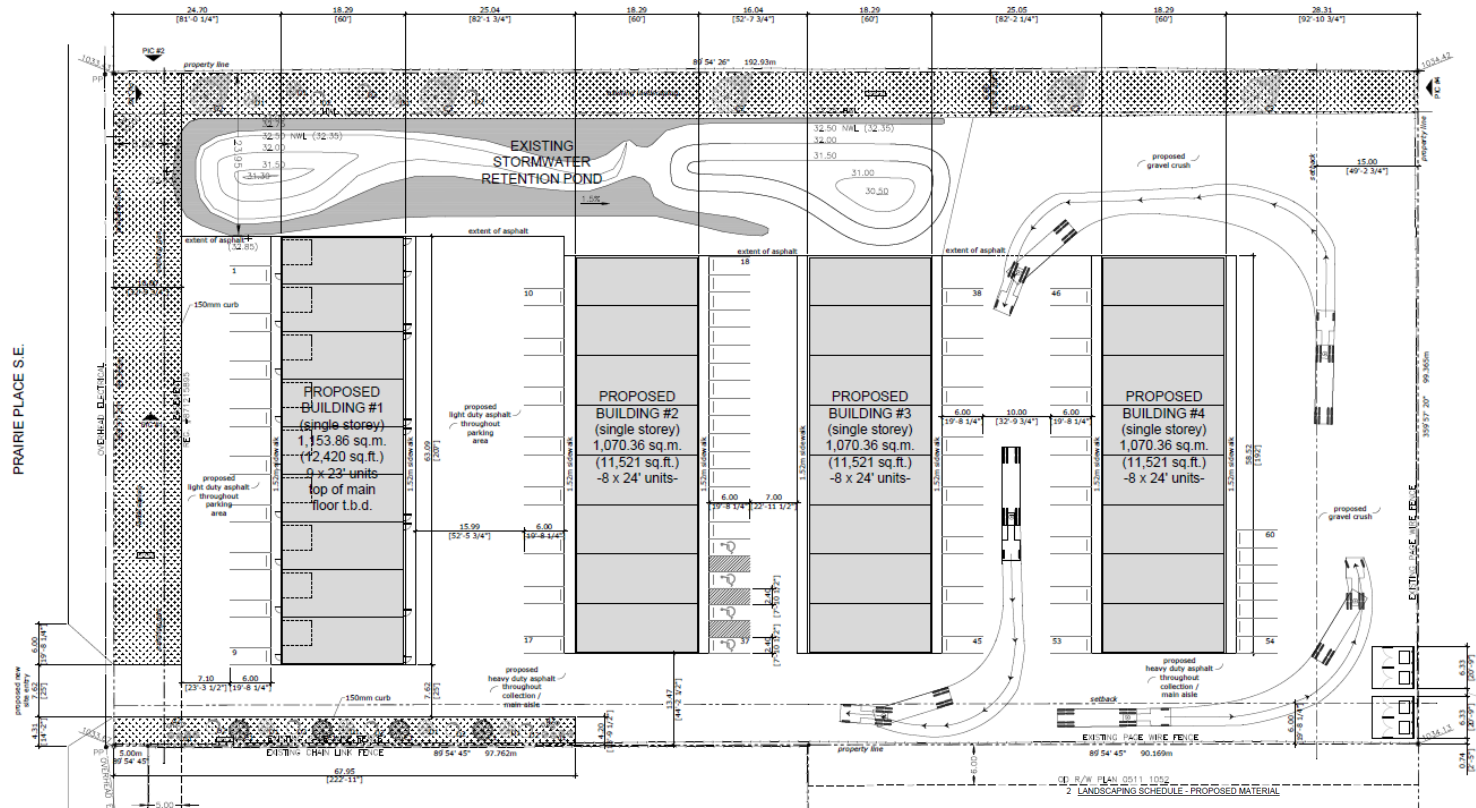


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Site Plan

Development Proposal

Industrial (Light), construction of four (4) multi-bay commercial buildings, tenancy, and signage, and relaxation of the minimum tree/shrub requirement



4 VEHICLE PARKING ANALYSIS

(As per Rocky View County Land Use Bylaw)

INDUSTRIAL (LIGHT)	
Building 1 1 stall per 100m ² of GFA 1154m ² / 100m ² = 11.54 326m ² / 100m ² = 3.26 (mezzanines) = 14.8	15 stalls
Building 2 1 stall per 100m ² of GFA 1070m ² / 100m ² = 10.70 302m ² / 100m ² = 3.02 (mezzanines) = 13.7	14 stalls
Building 3 1 stall per 100m ² of GFA 1070m ² / 100m ² = 10.70 302m ² / 100m ² = 3.02 (mezzanines) = 13.7	14 stalls
Building 4 1 stall per 100m ² of GFA 1070m ² / 100m ² = 10.70 302m ² / 100m ² = 3.02 (mezzanines) = 13.7	14 stalls
Totals	
Total Required	57 stalls
Total Provided On Site	60 stalls
Barrier-Free Requirements (see N.B.C. 2019 (AE) Table 3.8.2.5.)	
4 barrier-free stalls per 51-100 total required	4 stalls

2 LANDSCAPING ANALYSIS

Total Landscaped Area	Required Landscaping: 1,917 sq. m. (10% of site area) Provided Landscaped Area: 2,370 sq. m.
Tree Calculations*	1 tree/ 40 sq. m. = 1917/40 = 47.925 = 48 trees required 24 trees provided (including 13 existing to be relocated) 38% coniferous = 4 trees (+5 existing) 62% deciduous = 7 trees (+8 existing)
Shrub Calculations*	1 shrub/ 60 sq. m. = 1917/60 = 31.95 = 32 shrubs required 16 shrubs provided 100% deciduous = 16 shrubs 0% coniferous = 0 shrubs
* Requesting a 50% reduction in required new trees and shrubs, due to Easement on West Property line.	

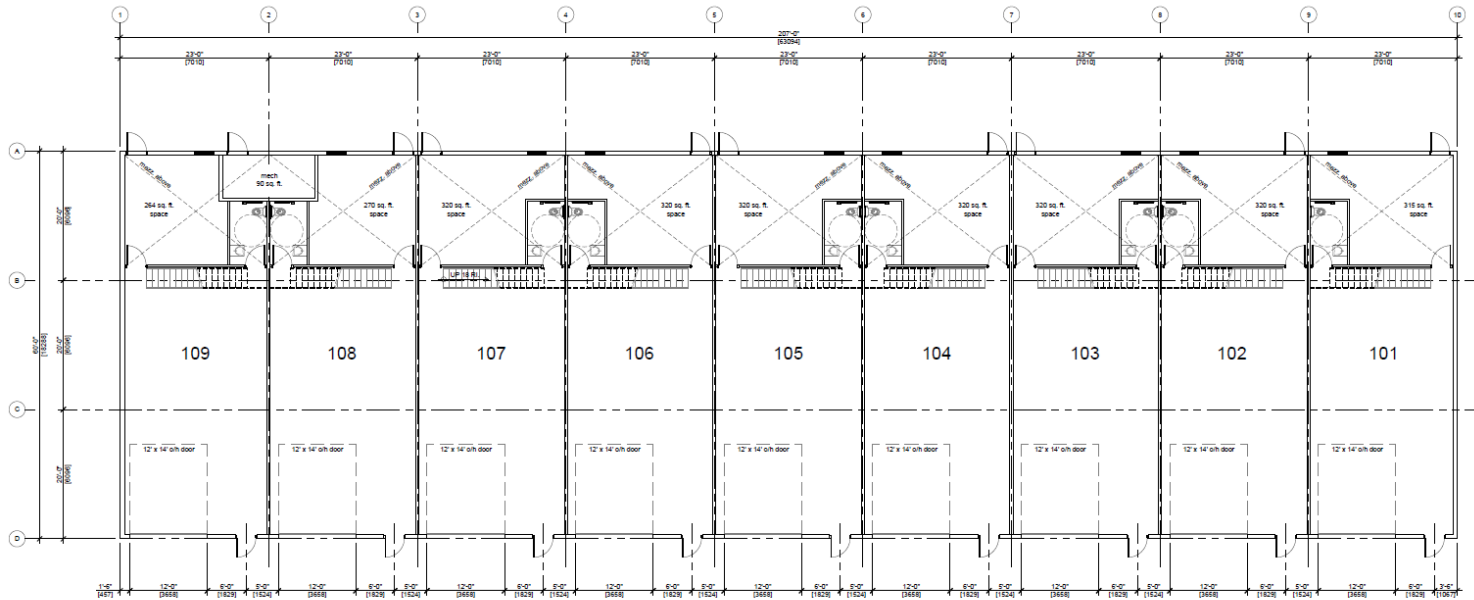
Coniferous Trees			
Label	Key	Species	Qty.
C1		New Bakeri Spruce <i>Picea pungens glauca 'Bakeri'</i> 4m h, 2-3m spread min. height 2.5m (at time of planting)	4
C2		Existing Relocated Tree	5
New Coniferous trees must have a minimum height of 2.5m at time of planting.			
No. Coniferous Trees Provided			
9			
Deciduous Trees			
D1		New Amur Maple <i>Acer ginnala</i> 4.5-6m h, 4-6m spread	7
D2		Existing Relocated Tree	8
Deciduous trees must have a minimum caliper of 63mm measured 450mm from ground level at time of planting.			
No. Deciduous Trees Provided			
15			
Deciduous Shrubs			
d1		New Goldflame Spiraea <i>Spiraea x bumalda 'Goldflame'</i> 0.45m h, 1m spread	8
d2		New Concord Barberr <i>Berberis thunbergii 'Concorde'</i> 0.6m h, 0.6m spread	8
No. Deciduous Shrubs Provided			
16			
Grassed / Garden Areas			
ee		Maintained Grassed Area (300mm thick top soil) Urban Mix B As or Hydro seed Installation	n/a

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Building #1 Floor Plan

Development Proposal

Industrial (Light), construction of four (4) multi-bay commercial buildings, tenancy, and signage, and relaxation of the minimum tree/shrub requirement

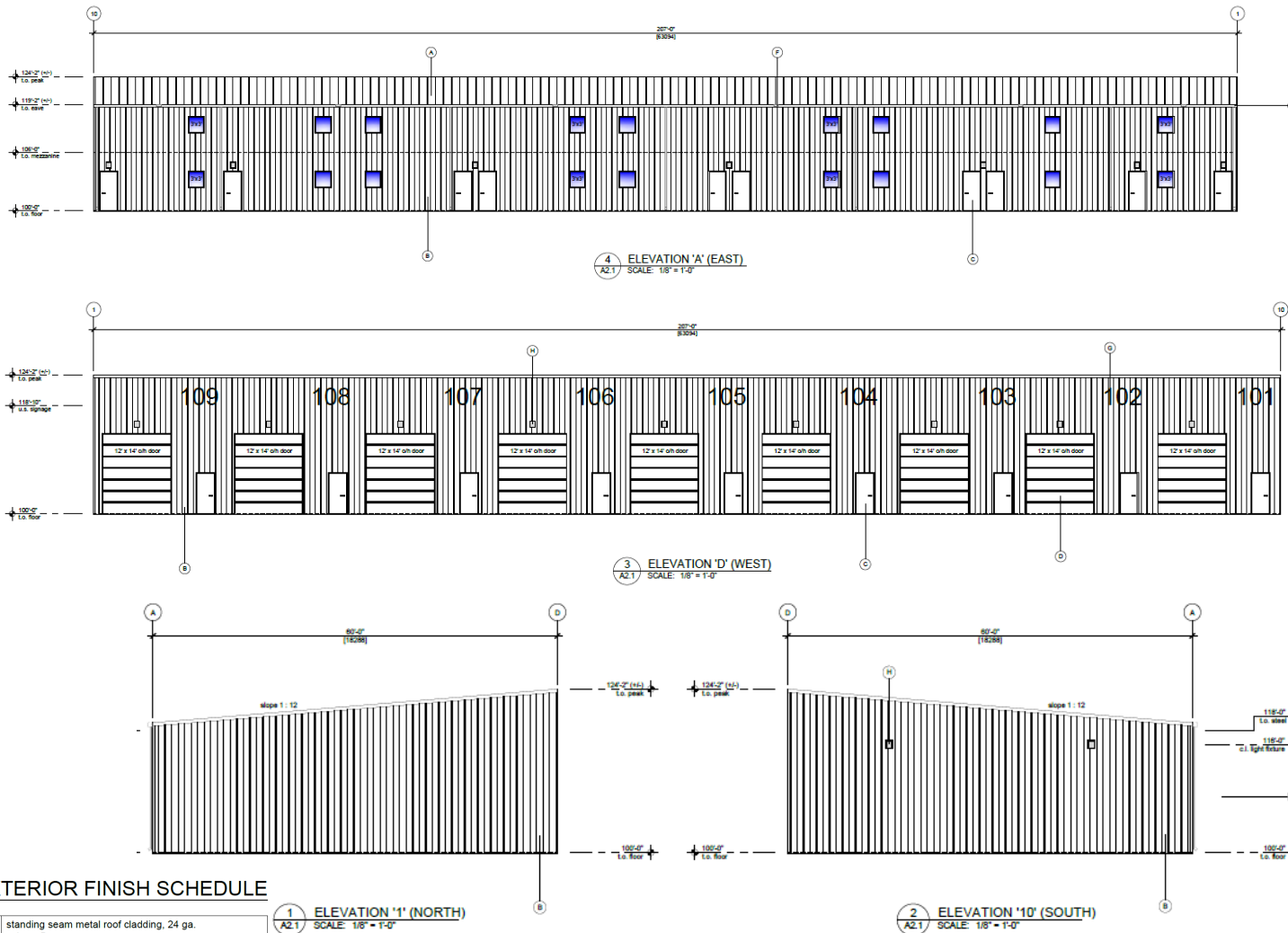


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 AM within SW-30-23-28-
 W04M

Building #1 Elevations

Development Proposal

Industrial (Light), construction of four (4) multi-bay commercial buildings, tenancy, and signage, and relaxation of the minimum tree/shrub requirement



EXTERIOR FINISH SCHEDULE

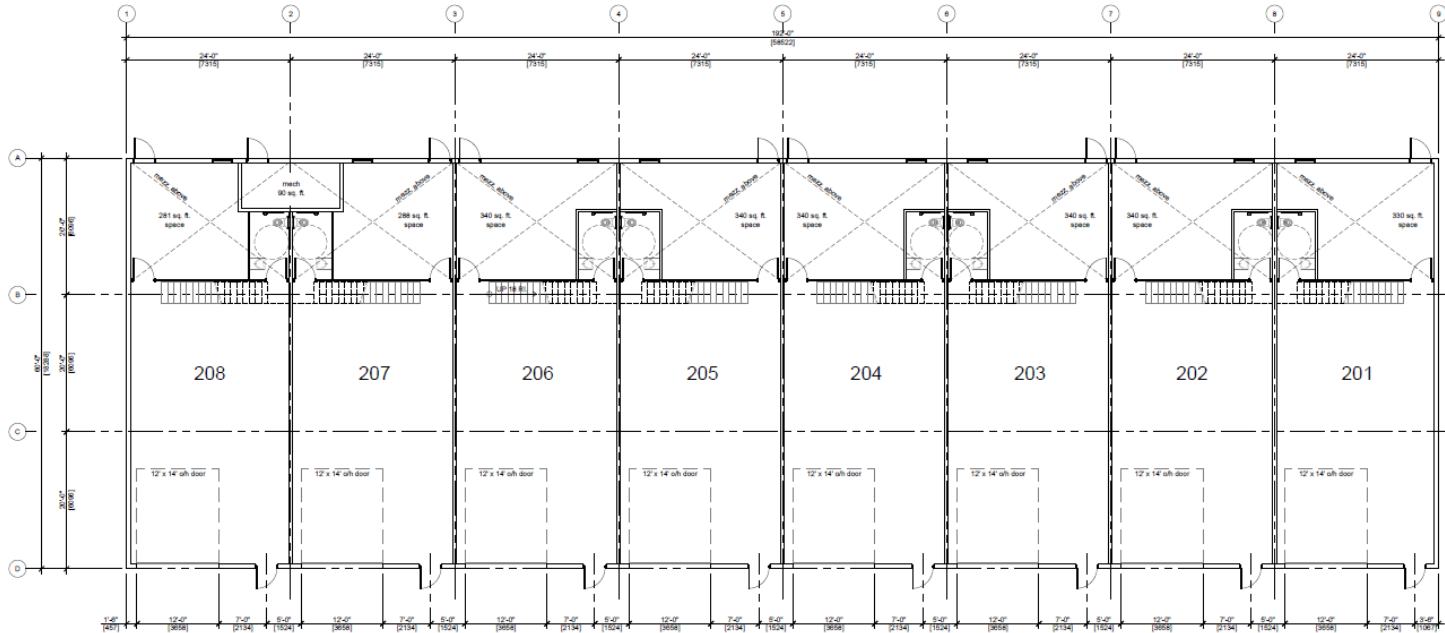
A	standing seam metal roof cladding, 24 ga. colour: Bare
B	VF 12-36 Reverse metal wall cladding, 26 ga. colour: t.b.d.
C	insulated steel walk door colour: manufacturer's primer (paint by others)
D	flush panel, insulated, steel o/h door colour: manufacturer's primer (paint by others)
E	pre-finished gutter & downspout colour: to match adjacent wall cladding
F	scupper drain
G	surface mounted signage size, colour, and placement t.b.c.
H	exterior wall mount 150w architectural luminaire (to conform to 'dark sky' requirements)

Division: 05
Roll: 03330006
File: PRDP20211477
Printed: April 23, 2021
Legal: Block:13 Plan:1820
AM within SW-30-23-28-
W04M

Building #2, #3, & #4 Floor Plan

Development Proposal

Industrial (Light),
 construction of four (4)
 multi-bay commercial
 buildings, tenancy, and
 signage, and relaxation of
 the minimum tree/shrub
 requirement

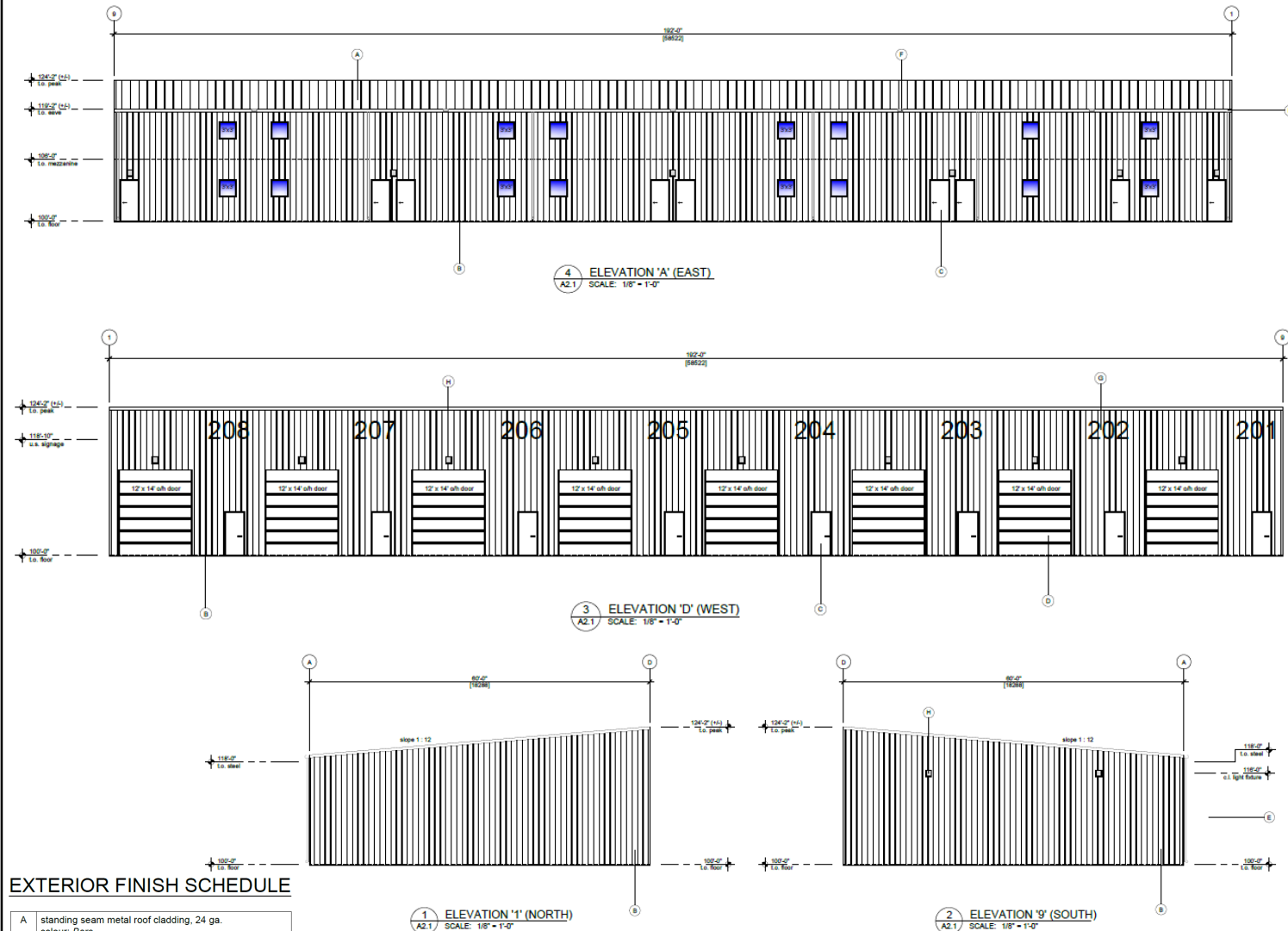


Division: 05
 Roll: 03330006
 File: PRDP20211477
 Printed: April 23, 2021
 Legal: Block: 13 Plan: 1820
 AM within SW-30-23-28-
 W04M

Building #2, #3, & #4 Elevations

Development Proposal

Industrial (Light),
 construction of four (4)
 multi-bay commercial
 buildings, tenancy, and
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 requirement



EXTERIOR FINISH SCHEDULE

A	standing seam metal roof cladding, 24 ga. colour: Bare
B	VF 12-36 Reverse metal wall cladding, 26 ga. colour: t.b.d.
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Division: 05
 Roll: 03330006
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 W04M

Site Photos

Development Proposal

Industrial (Light),
 construction of four (4)
 multi-bay commercial
 buildings, tenancy, and
 signage, and relaxation of
 the minimum tree/shrub
 requirement



Picture 1 (Looking N from W property line)



Picture 2 (Looking S from NW corner)



Picture 3 (Looking E from NW corner)



Picture 4 (Looking W from NE corner)

*Division: 05
 Roll: 03330006
 File: PRDP20211477
 Printed: April 23, 2021
 Legal: Block:13 Plan:1820
 AM within SW-30-23-28-
 W04M*

Landowner Circulation Area

Development Proposal

Industrial (Light),
 construction of four (4)
 multi-bay commercial
 buildings, tenancy, and
 signage, and relaxation of
 the minimum tree/shrub
 requirement

Legend

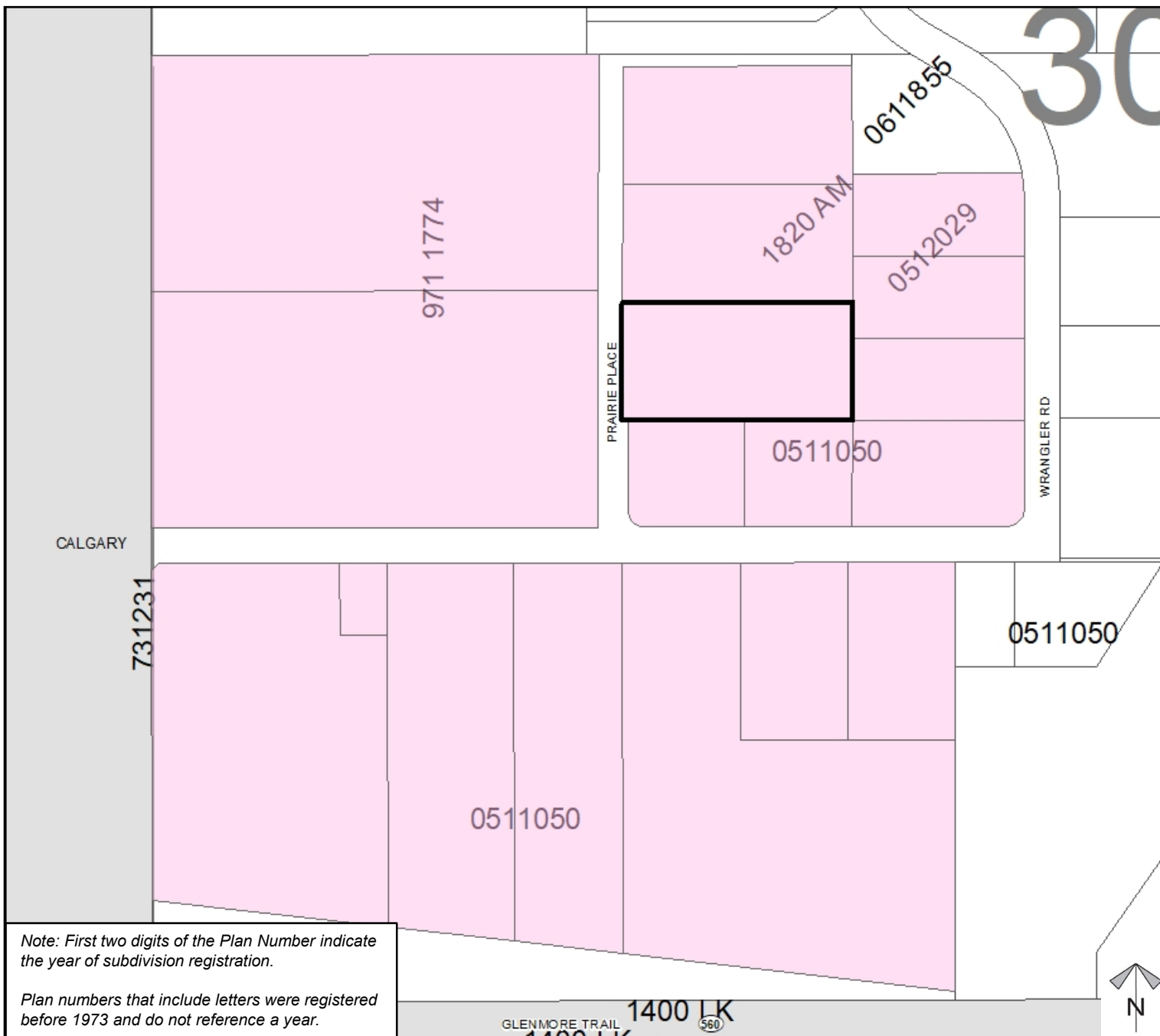
Support



Not Support



Division: 05
 Roll: 03330006
 File: PRDP20211477
 Printed: April 23, 2021
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 AM within SW-30-23-28-
 W04M



Note: First two digits of the Plan Number indicate the year of subdivision registration.

Plan numbers that include letters were registered before 1973 and do not reference a year.



Notice of Appeal

**Subdivision and Development Appeal Board
Enforcement Appeal Committee**

Appellant Information			
Name of Appellant(s) 946992 Alberta LTD (Robert Mudd)			
Mailing Address 79 Prairie Place		Municipality Rocky View	Province AB
		Postal Code T1X 0 K2	
Main Phone # 403-829-5550	Alternate Phone #	Email Address Muddr@mac.com	

Site Information	
Municipal Address	Legal Land Description (lot, block, plan OR quarter-section-township-range-meridian)
Property Roll #	Development Permit, Subdivision Application, or Enforcement Order # PRDP20211477

I am appealing: (check one box only)		
Development Authority Decision <input type="checkbox"/> Approval <input checked="" type="checkbox"/> Conditions of Approval <input type="checkbox"/> Refusal	Subdivision Authority Decision <input type="checkbox"/> Approval <input type="checkbox"/> Conditions of Approval <input type="checkbox"/> Refusal	Decision of Enforcement Services <input type="checkbox"/> Stop Order <input type="checkbox"/> Compliance Order

Reasons for Appeal (attach separate page if required)
<p>Prior to release:</p> <p>2.i I am looking for a reduction in trees and shrubs to allow for easier berm maintenance (Mowing)</p> <p>8. Full TIA to be relaxed to a Traffic memo by certified professional as current and proposed traffic will be similar</p> <p>9. Stormwater off-site levy to be divided into four equal payments due at the start of each phase of the development</p> <p>Prior to Occupancy:</p> <p>13. Landscaping, Parking and final site surfaces to be phased along with the development.</p>

This information is collected for Rocky View County's Subdivision and Development Appeal Board or Enforcement Appeal Committee under section 33(c) of the Freedom of Information and Protection of Privacy Act (FOIP Act) and will be used to process your appeal and create a public record of the appeal hearing. Your name, legal land description, street address, and reasons for appeal will be made available to the public in accordance with section 40(1)(c) of the FOIP Act. Your personal contact information, including your phone number and email address, will be redacted prior to your appeal being made available to the public. If you have questions regarding the collection or release of this information, please contact the Municipal Clerk at 403-230-1401.

Appellant's Signature

July 14/21
Date



Notice of Appeal

Subdivision and Development Appeal Board
Enforcement Appeal Committee

Submitting an Appeal

Appeals must be submitted on time and with the required fee

Sections 547, 645, 678, and 686 of the *Municipal Government Act*, RSA 2000, c M-26, and Rocky View County's *Master Rates Bylaw* require that your Notice of Appeal be submitted to the Subdivision and Development Appeal Board (SDAB) or Enforcement Appeal Committee (EAC) within the legislated timeframe and with the required fee. Fees are as follows:

Subdivision and Development Appeal Board	Fee
Development Authority decision – appeal by the owner of the subject property	\$350.00
Development Authority decision – appeal by an affected party	\$250.00
Development Authority decision – appeal of a Stop Order issued under section 645 of the <i>Municipal Government Act</i>	\$500.00
Subdivision Authority decision (paid at time of application and used as a credit on endorsement fees except where the owner appeals the subdivision)	\$1,000.00
Enforcement Appeal Committee	
Compliance Order - appeal as per section 545 or 546 of the <i>Municipal Government Act</i>	\$500.00

How to submit your appeal and pay your fee

You can submit your Notice of Appeal by mail or deliver it in person. Arrangements can also be made to e-mail your Notice of Appeal and pay over the phone. If you e-mail your appeal to the SDAB clerk, you must call the SDAB clerk for verbal confirmation of receipt. Regardless of how you submit your Notice of Appeal, it must be received on or before the final appeal deadline.

Mail or deliver to:

Clerk, Subdivision and Development Appeal Board
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Please make cheques payable to "Rocky View County".

What happens after my appeal is submitted?

Once your Notice of Appeal is submitted on time and with the required fee, the appeal will be heard by the SDAB or EAC within 30 days. The Clerk of the SDAB will be in touch with you about the appeal hearing. You and the landowners who are adjacent to the property in question will receive a written Notice of Hearing.

More information

For more information about filing an appeal or SDAB/EAC procedures, please contact the SDAB Clerk at:

Phone: 403-230-1401

Email: sdab@rockyview.ca

Website: www.rockyview.ca



Decision of the Municipal Planning Commission

This is not a development permit

Ironwood Building Corp.
261211 Wagon Wheel Way
Rocky View County, AB T4A 0E2

Development file #: PRDP20211477
Issue Date: June 24, 2021
Roll #: 03330006
Legal description: Block 13, Plan 1820 AM; SW-30-23-28-W04M

The Municipal Planning Commission conditionally approves the following:

Description:

1. That Industrial (Light), construction of four (4) multi-bay office/shop buildings may take place on the subject land in accordance with the approved site plan and drawings prepared by Ironwood Building Corp. dated April 7, 2021 (File no. 21187C), as amended, and conditions of this permit. The approval includes:
 - i. Demolition of all existing buildings;
 - ii. Construction of one (1) office/shop building with 9 bays, approximately \pm 1,153.86 sq. m (16,080.00 sq. ft.) in size, including 384.62 sq. m (4,140.00 sq. ft.) of developed mezzanine space;
 - iii. Construction of three (3) office/shop buildings with eight (8) bays each, approximately \pm 1,070.24 sq. m (11,520.00 sq. ft.) in size, including 356.75 sq. m (3,840.00 sq. ft.) of developed mezzanine space; and
 - iv. Signage includes the placement of 33 tenant façade signs, details in accordance with the revised signage plan.

This is not a development permit

Prior to Release:

2. That prior to release of this permit, the Applicant/Owner shall submit a revised landscape plan, to the satisfaction of the County, that includes the following:
 - i. The minimum number of trees and shrubs shall be provided (50 trees and 33 shrubs of a drought resistant variety), in accordance with Section 259 of the Land Use Bylaw C-8000-2020 (LUB);
 - ii. A minimum 3.00 m wide landscaped area shall be provided between the front of all buildings and the adjoining parking area, in accordance with Appendix B of the Janet Area Structure Plan (ASP).
3. That prior to release of this permit, the Applicant/Owner shall submit a revised parking plan, to the satisfaction of the County, identifying the following:
 - i. The minimum number of parking stalls (86) shall be provided based on the office and shop areas identified on the floor plans, in accordance with the *Industrial (Light)* and *Office* uses under Section 235 Table 5 of the LUB;
 - a. If less than 86 stalls are to be provided, a Parking Assessment, prepared by a qualified professional, may be submitted to the Development Authority to document the parking demand and supply characteristics associated with the proposed development. The Development Authority shall not be bound by any recommendations of such a Parking Assessment.
 - ii. The minimum width of each parking stall (2.60 m [8.53 ft.]) and barrier-free stall (2.40 m [7.87 ft.] with a 2.40 m [7.87 ft.] access aisle) shall be provided, in accordance with Section 238 Table 6 of the LUB and Section 3.8.3.22 of the Alberta Building Code.
4. That prior to release of this permit, the Applicant/Owner shall submit revised elevation drawings, to the satisfaction of the County, that addresses the following:
 - i. The exterior colours, materials, and finishes of all buildings shall be coordinated to achieve a reasonable continuity of appearance, in accordance with Appendix B of the Janet ASP;
 - ii. The facades of buildings that exceed 30.00 m (98.42 ft.) measured horizontally and facing roadways (west façade of building #1), shall incorporate wall plane projections or recesses having a depth of at least three (3) percent of the length of the façade and extending at least 20 percent of the length of the façade, in accordance with Appendix B of the Janet ASP;
 - iii. That every bay of each building shall have a clearly defined main entrance featuring at least two of the following: canopy or portico; overhang or arcade; raised corniced parapet over the door; outdoor amenity area; upgraded window glazing areas; or integrated planters or landscaped sitting areas, in accordance with Appendix B of the Janet ASP.
5. That prior to release of this permit, the Applicant/Owner shall submit a signage plan indicating the dimensions, design, method of illumination, and location of any proposed tenant signage, to the satisfaction of the County.

This is not a development permit

6. That prior to release of this permit, the Applicant/Owner shall contact County Road Operations with haul details for materials and equipment needed during construction/site development to confirm if Road Use Agreements will be required for any hauling along the County road system and to confirm the presence of County road ban restrictions and to submit a new road approach application for the proposed/updated approach off Prairie Place.
 - i. Written confirmation shall be received from Road Operations, confirming the status of this condition.
7. That prior to release of this permit, the Applicant/Owner shall submit a security deposit for \$10,000 for the proposed/upgraded road approach.
8. That prior to release of this permit, the Applicant/Owner shall submit a Transportation Impact Assessment (TIA), conducted and stamped by a professional engineer, that assesses the traffic generated by the proposed development, and provides recommendations on any required improvements, in accordance with the County Servicing Standards and to the satisfaction of the County.
 - i. Should the TIA require improvements to the local road network, the Applicant/Owner shall enter into a Road Right of Way Construction Agreement with the County for the construction of the improvements.
9. That prior to release of this permit, the Applicant/Owner shall submit payment of the Stormwater Off-site Levy for the total gross acreage of the development area, in accordance with Bylaw C-8008-2020.
10. That prior to release of this permit, the Applicant/Owner shall submit a Site-Specific Stormwater Implementation Plan (SSIP), conducted and stamped by a professional engineer that is in accordance with the Co-operative Stormwater Management Initiative (CSMI) requirements, the County Servicing Standards, and to the satisfaction of the County.
11. That prior to release of this permit, the Applicant/Owner shall provide a fire fighting water supply strategy conducted and stamped by a professional engineer that supplies the necessary level of fire flow and is designed in accordance with the County's Fire Hydrant Water Suppression Bylaw and the County Servicing Standards to the satisfaction of the County.
12. That prior to release of this permit, the Applicant/Owner shall submit a construction management plan, in accordance with County Servicing Standards. The plan shall address any noise mitigation measures, traffic accommodation, sedimentation and dust control, management of stormwater during construction, erosion and weed control, construction practices, waste management, firefighting procedures, evacuation plan, hazardous material containment, and all other relevant construction management details.

This is not a development permit

Prior to Occupancy:

13. That prior to occupancy, all landscaping, parking, and final site surfaces shall be in place prior to occupancy of the site and/or buildings.
 - i. That should permission for occupancy of the site be requested during October through May inclusive, occupancy may be allowed without landscaping and final site surface completion provided that an Irrevocable Letter of Credit in the amount of 150.00% of the total cost of completing all the landscaping and final site surfaces shall be placed with Rocky View County to guarantee the works shall be completed by the 30th day of June immediately thereafter.
14. That prior to occupancy, the County shall perform an inspection of the site to verify that the road approach has been upgraded in accordance with the County Servicing Standards and approved plans.
 - i. The security will be returned upon a successful prior to occupancy inspection.
15. That prior to occupancy, Built to Design Certificates and As-built drawings certified by a professional engineer, shall be submitted. The as-built drawings shall include (where applicable): verification of as-built pond volumes, trap low volumes, liner verification, irrigation systems, and any other information that is relevant to the SSIP.

Permanent:

16. That any plan, technical submission, agreement, matter, or understanding submitted and approved as part of the application or in response to a prior to release or occupancy condition, shall be implemented and adhered to in perpetuity, including the SSIP.
17. That any proposed or replacement fencing shall be 2.00 m (6.56 ft.) in height or less, and shall be similar in design, character, and quality to the proposed development.
18. That no outdoor display areas, storage areas, parking, or marshalling yards shall be allowed within landscaped yards.
19. **That all landscaping and topsoil placement shall be in accordance with the landscaping details provided on the Landscape Plan, as amended.**
 - i. That the Applicant/Owner shall be responsible for irrigation and maintenance of all landscaped areas, including the replacement of any deceased trees, shrubs, or plants, within 30 days, or by June 30th of the next growing season.
 - ii. The vegetation type has to endure the irrigation from May to September.
 - iii. That water for irrigation and landscaping purposes shall only be supplied by the re-use of stormwater and not via the use of potable water.
20. That the minimum number of trees and shrubs shall be maintained during the life of the development.
21. That all sanitary sewage shall be contained in pump-out tanks and transported off-site to an approved wastewater receiving facility for disposal.
22. That potable water shall either be trucked onto the property and stored in cisterns or obtained from individual wells.
23. That no topsoil shall be removed from the site.
24. That any dirt removed from the site during construction shall be hauled off in a covered trailer/truck that will prevent blowing of dust/small rocks onto the road or issues with other vehicles on the road.

This is not a development permit

25. That dust control shall be maintained on the site during construction and that the developer shall take whatever means necessary to keep visible dust from blowing onto adjacent lands.
26. **That any site regrading work is not to direct any additional surface drainage into County road rights-of-way, or to negatively impact surface drainage patterns in the area.**
27. That there shall be a minimum of 86 parking stalls, including 4 barrier-free, maintained on-site at all times, in accordance with the approved Site Plan or as dictated by an approved Parking Assessment. All customer and employee parking shall be restricted to the subject land and there shall be no offsite parking.
28. **That there shall be no parking or signage in the County road right-of-way.**
29. **That any future signage will require separate Development Permit approval.**
30. **That all signage shall be kept in a safe, clean, and tidy condition at all times.**
31. That the entire site shall be maintained in a neat and orderly manner at all times. All garbage and waste material shall be deposited and confined in weatherproof and animal-proof containers located within the building or adjacent to the side or rear of the building and/or adequately screened or enclosed from view from all adjacent properties and public thoroughfares. All waste material shall be regularly removed from the property to prevent any debris from blowing onto adjacent property or roadways.
32. **That it is the Applicant/Owner's responsibility to obtain and display a distinct municipal address in accordance with the County Municipal Addressing Bylaw (Bylaw C-7562-2016), for each building located on the subject site, to facilitate accurate emergency response.**
33. That all on-site lighting shall be downturned and all private lighting, including site security lighting and parking area lighting, should be designed to conserve energy, reduce glare, and reduce uplift. All development will be required to demonstrate lighting design that reduces the extent of spill-over glare and eliminates glare as viewed from nearby residential properties.
34. That if the development authorized by this Development Permit is not commenced with **reasonable** diligence within twelve (12) months from the date of issue, and completed within twenty-four (24) months of the issue, the permit is deemed to be null and void unless an extension to this permit shall first have been granted by the Development Officer.
35. **That if this Development Permit is not issued by January 31, 2022, or the approved extension date, this approval is null and void and the Development Permit shall not be issued.**

Advisory:

36. **That the site shall be maintained in compliance with County Bylaw No. C-7690-2017, the "Nuisance and Unsightly Property Bylaw", at all times. Any debris or garbage generated on the site shall be stored/placed in garbage bins and disposed of at an approved disposal facility.**
37. **That the County Bylaw C-8067-2020, the "Noise Bylaw", shall be adhered to at all times.**

This is not a development permit

38. That a Building Permit and all applicable sub-trade permits shall be obtained, through Building Services, prior to any construction taking place, using the Commercial/Industrial checklist.

- i. That the Applicant/Owner shall obtain Demolition Permits through Building Services, prior to demolition of any existing buildings on-site.

Note: The Development shall conform to the National Energy Code 2011.

39. That all future tenants will be required to apply for a New Business Tenant (No Change of Use) or a Change of Use (Land or Existing Building) Development Permit.

40. That the site shall remain free of restricted and noxious weeds and be maintained in accordance with the *Alberta Weed Control Act* [Statutes of Alberta, 2008 Chapter W-5.1; Current as of December 15, 2017].

41. That **any** other government permits, approvals, or compliances are the sole responsibility of the Applicant/Owner.

Please contact Planning and Development Services at development@rockyview.ca or 403-520-8158 for assistance with this decision.

An appeal of the Municipal Planning Commission's decision must be filed to the Subdivision and Development Appeal Board (SDAB) in accordance with section 686 of the *Municipal Government Act*. To file an appeal or for assistance with filing an appeal, please contact Legislative Services at sdab@rockyview.ca or 403-230-1401. More information on the SDAB can also be found at www.rockyview.ca.

Municipal Planning Commission



Jerry Gautreau, Chair

This is not a development permit