

PLANNING AND DEVELOPMENT SERVICES

TO:	Municipal Planning Commission Development Authority	DIVISION: 5
DATE:	April 14, 2021	APPLICATION: PRDP20210975
FILE:	04306011	
SUBJECT:	Sign / Discretionary Use, with Variances	

APPLICATION: Application is for the placement of a freestanding sign on the subject parcel.

GENERAL LOCATION: located approximately 0.81 km (1/2 mile) west of Rge. Rd. 285 and on the north side of Frontier Road.

LAND USE DESIGNATION: Commercial, Local Rural District (C-LRDs h18) under Land Use Bylaw C-8000-2020

EXECUTIVE SUMMARY: The Applicant is proposing to install a freestanding sign on the subject parcel. The proposed total sign area is approximately 28.22 sq. m (303.75 sq. ft.) and requires a variance to the maximum size dimensions of a sign in a non-residential area.

ADMINISTRATION RECOMMENDATION: Administration recommends Approval in accordance with Option #1.

OPTIONS:

- Option #1: THAT Development Permit Application PRDP20210975 be approved with the conditions noted in Attachment 'A'.
- Option #2: THAT Development Permit Application PRDP20210975 be refused for the following reasons:
1. That is the opinion of the Municipal Planning Commission, the development unduly interferes with the amenities of the neighbourhood and materially interferes with and affects the use, enjoyment, and value of neighbouring parcels of land.

Administration Resources

Wayne Van Dijk, Planning and Development



AIR PHOTO & DEVELOPMENT CONTEXT:



VARIANCE SUMMARY:

Variance	Requirement	Proposed	Percentage
Maximum Sign Dimensions in a Non-Residential Area	7.00 sq. m (75.35 sq. ft.)	28.22 sq. m (303.75 sq. ft.)	303.14%

APPLICATION EVALUATION:

The application was evaluated based on the information submitted with the application and the applicable policies and regulations.

APPLICABLE POLICY AND REGULATIONS: <ul style="list-style-type: none"> <i>Municipal Government Act</i> Land Use Bylaw C-8000-2020 Janet Area Structure Plan Frontier Industrial Park Conceptual Scheme 	TECHNICAL REPORTS SUBMITTED: <ul style="list-style-type: none"> None
DISCRETIONARY USE: <ul style="list-style-type: none"> Sign in a Non-Residential Area 	DEVELOPMENT VARIANCE AUTHORITY: <ul style="list-style-type: none"> Municipal Planning Commission

Additional Review Considerations

No additional review considerations.



CONCLUSION:

Subject to the proposed Development Permit conditions, the application is recommended for approval.

Respectfully submitted,

Concurrence,

“Brock Beach”

“Al Hoggan”

Acting Executive Director
Community Development Services

Chief Administrative Officer

WV/ltt

ATTACHMENTS:

ATTACHMENT ‘A’: Development Permit Report Conditions

ATTACHMENT ‘B’: Maps and Other Information



ROCKY VIEW COUNTY

ATTACHMENT 'A': DEVELOPMENT PERMIT REPORT CONDITIONS

Option #1:

Approval subject to the following conditions:

Description:

1. That a Freestanding Pylon Sign may be placed on the subject parcel in general accordance with the site plan and signage details, as prepared by Neon Sales; dated January 12, 2021 and February 23, 2021 and submitted with the application.
 - i. That the maximum sign dimension is relaxed from **7.00 sq. m (75.35 sq. ft.)** to **28.22 sq. m (303.75 sq. ft.)**.

Permanent:

2. That the sign shall be kept in a safe, clean and tidy condition at all times.
3. That the sign shall be maintained in accordance with the design drawings and site plan as submitted with the application.

Advisory:

4. That any other government permits, approvals, or compliances are the sole responsibility of the Applicant/Owner.
5. That if the development authorized by this Development Permit is not commenced with reasonable diligence within 12 months from the date of issue, and completed within 24 months of the issue date, the permit is deemed to be null and void, unless an extension to this permit shall first have been granted by the Development Officer.



ROCKY VIEW COUNTY

ATTACHMENT 'B': MAPS AND OTHER INFORMATION

APPLICANT: Ryan Matthews (Priority Permits)	OWNER: Harlyn Properties
DATE APPLICATION RECEIVED: March 8, 2021	DATE DEEMED COMPLETE: March 16, 2021
GROSS AREA: ± 7.48 hectares (± 18.49 acres)	LEGAL DESCRIPTION: Lot 16, Block 1, Plan 20100473, SW-06-24-28-W04M (285164 Frontier Road)
APPEAL BOARD: Subdivision, Development Appeal Board	
HISTORY: <ul style="list-style-type: none"> PRDP20193975: warehouse and outdoor storage 	
PUBLIC & AGENCY SUBMISSIONS: The application was circulated to a number of internal and external agencies and, where appropriate, conditions of approval have been proposed based on these comments.	

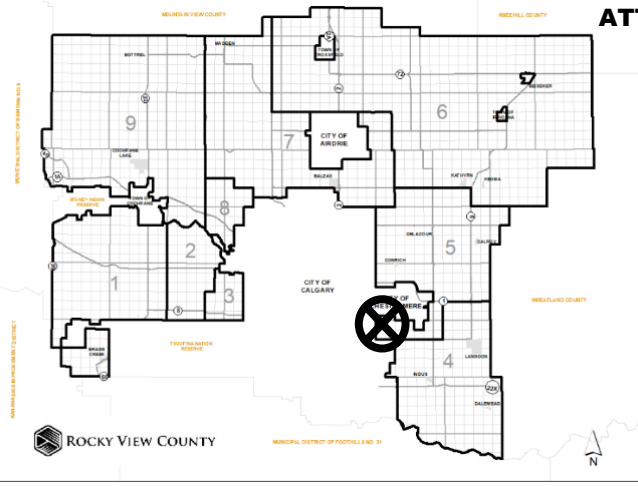


Location & Context

Development Proposal

Freestanding Sign

ATTACHMENT 'B': MAPS AND OTHER INFORMATION



Division: 05
 Roll: 04306011
 File: PRDP20210975
 Printed: March 26, 2021
 Legal: Lot:16 Block:1
 Plan:2010004 within SW-06-24-28-W04M

Aerial Imagery

Development Proposal

Freestanding Sign



Note: First two digits of the Plan Number indicate the year of subdivision registration.

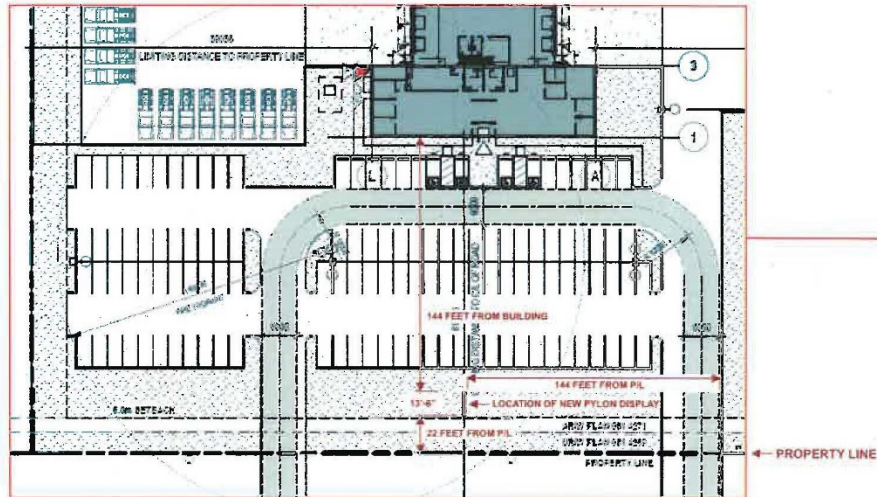
Plan numbers that include letters were registered before 1973 and do not reference a year.

Division: 05
 Roll: 04306011
 File: PRDP20210975
 Printed: March 26, 2021
 Legal: Lot:16 Block:1
 Plan:2010004 within SW-06-24-28-W04M

Site Plan

Development Proposal

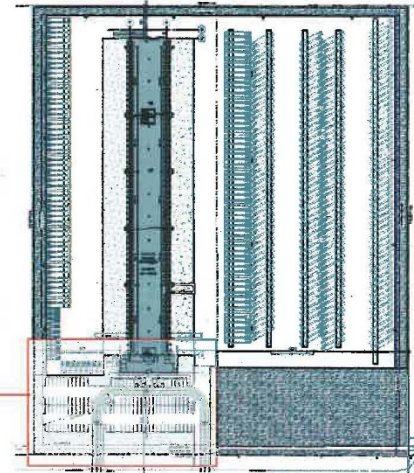
Freestanding Sign



SITE PLAN

SCALE: 1/64" = 1'-0"

LEGAL DESCRIPTION:
 PLAN: 0814268
 BLOCK: 1
 LOT: 5 & 6
 MUNICIPAL ADDRESS:
 285146 & 285164
 FRONTIER ROAD
 ROCKYVIEW, AB



GRAPHIC IMAGE OF PYLON

TFI - SITE PLAN

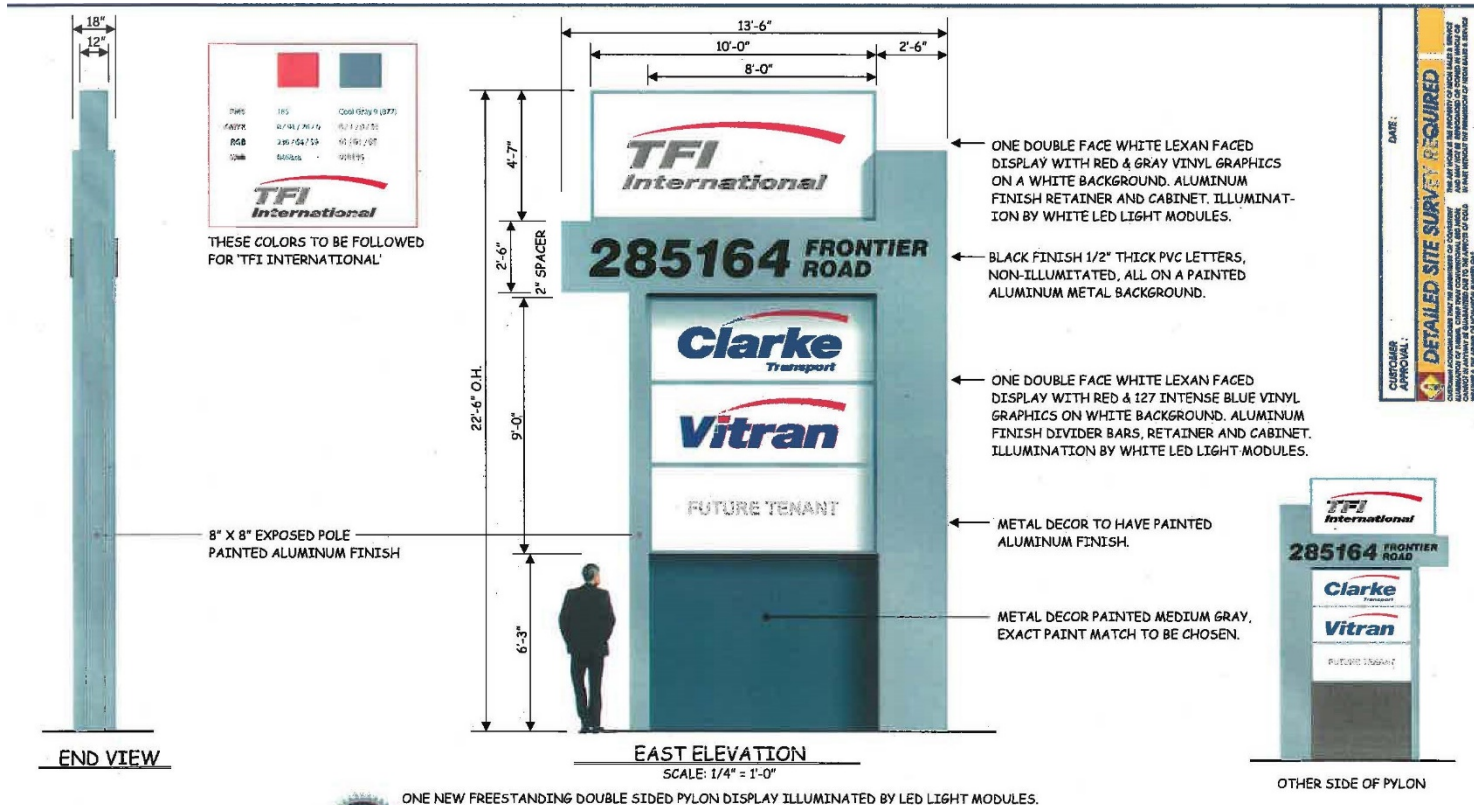
FEBRUARY 25, 2021

Division: 05
 Roll: 04306011
 File: PRDP20210975
 Printed: March 26, 2021
 Legal: Lot:16 Block:1
 Plan:2010004 within SW-06-
 24-28-W04M

Site Plan

Development Proposal

Freestanding Sign



NEON SALES **www.neonsales.ca** **www.signcorp.com**

UNIT 105, 3425 - 29 STREET N.E. CALGARY 1-403-291-3355

CUSTOMER: TFI PROPERTIES **DATE:** JANUARY 19, 2021 **SCALE:** 1/4" = 1'-0"

ADDRESS: 140 - 10 STONEHILL PLACE N.E. / CALGARY **PAGE ONE OF TWO**

DESIGN NO: TFI250-B-CE **APPROVED BY:** BRUCE McADOO **OUR DESIGN**

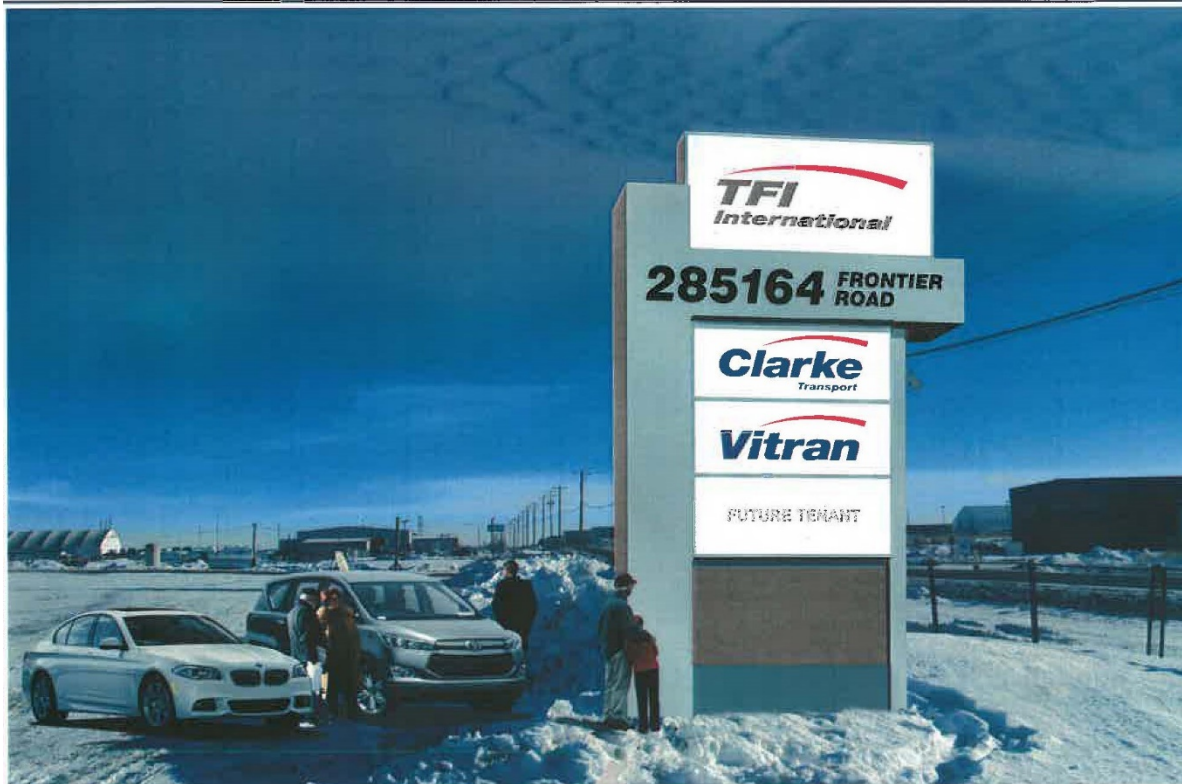
VOLTAJE 120V **CUSTOMER DESIGN**

Division: 05
 Roll: 04306011
 File: PRDP20210975
 Printed: March 26, 2021
 Legal: Lot:16 Block:1
 Plan:2010004 within SW-06-
 24-28-W04M

Site Plan

Development Proposal

Freestanding Sign



CUSTOMER APPROVAL
 DETAILED SITE SURVEY REQUIRED
 THIS SIGNAGE IS A REPRESENTATION OF THE PROPOSED SIGNAGE. IT IS NOT A GUARANTEE OF THE EXACT APPEARANCE OF THE SIGNAGE. THE COLOR SPECIMEN ON THIS DRAWING MAY VARY SLIGHTLY FROM THE FINISHED PRODUCT.



www.neonsales.ca
www.signcorp.com

UNIT 105, 3425 - 29 STREET N.E. CALGARY 1-403-291-3355

CUSTOMER: TFI PROPERTIES
 ADDRESS: 140 - 10 STONEHILL PLACE N.E. / CALGARY
 DESIGN NO.: TFI250-C-CE ACC. EXEC.: BRUCE McADOO

DATE: FEBRUARY 23, 2021

PAGE ONE OF TWO

OUR DESIGN

SCALE: 1/4" = 1'-0"

VOLTAGE 120V

CUSTOMER DESIGN



Division: 05
 Roll: 04306011
 File: PRDP20210975
 Printed: March 26, 2021
 Legal: Lot:16 Block:1
 Plan:2010004 within SW-06-
 24-28-W04M

Site Photos

Development Proposal

Freestanding Sign



Division: 05
Roll: 04306011
File: PRDP20210975
Printed: March 26, 2021
Legal: Lot:16 Block:1
Plan:2010004 within SW-06-
24-28-W04M