

PLANNING AND DEVELOPMENT SERVICES

TO:	Municipal Planning Commission Development Authority	DIVISION: 4
DATE:	April 14, 2021	APPLICATION: PRDP20210795
FILE:	03215060	
SUBJECT:	Dwelling, Single Detached / Permitted use, with Variances	

APPLICATION: Application is for a dwelling, single detached, relaxation of the minimum side yard setback requirement.

GENERAL LOCATION: Located in the hamlet of Langdon.

LAND USE DESIGNATION: Residential, Small Lot District (R-SML) under Land Use Bylaw C-8000-2020.

EXECUTIVE SUMMARY: The Applicant is proposing to construct a dwelling, single detached approximately 1.50 m (4.92 ft.) from the side property boundary. This setback requires relaxation of the minimum side yard setback.

ADMINISTRATION RECOMMENDATION: Administration recommends Approval in accordance with Option #1.

OPTIONS:

- Option #1: THAT Development Permit Application PRDP20210795 be approved with the conditions noted in Attachment 'A'.
- Option #2: THAT Development Permit Application PRDP20210795 be refused for the following reasons:
1. That in the opinion of the Municipal Planning Commission, the development unduly interferes with the amenities of the neighbourhood and materially interferes with and affects the use, enjoyment, and value of neighbouring parcels of land.

Administration Resources

Wayne Van Dijk, Planning and Development

**AIR PHOTO & DEVELOPMENT CONTEXT:****VARIANCE SUMMARY:**

Variance	Requirement	Proposed	Percentage (%)
Side yard setback requirement	3.00 m (9.84 ft.)	1.50 m (4.92 ft.)	50.00%

APPLICATION EVALUATION:

The application was evaluated based on the information submitted with the application and the applicable policies and regulations.

APPLICABLE POLICY AND REGULATIONS: <ul style="list-style-type: none"> • <i>Municipal Government Act</i> • Land Use Bylaw C-8000-2020 • Langdon Area Structure Plan • Bridges of Langdon Conceptual Scheme 	TECHNICAL REPORTS SUBMITTED: <ul style="list-style-type: none"> • No reports submitted
PERMITTED USE: <ul style="list-style-type: none"> • Dwelling, single detached is permitted use 	DEVELOPMENT VARIANCE AUTHORITY: <ul style="list-style-type: none"> • Municipal Planning Commission

Additional Review Considerations

No additional review considerations

CONCLUSION:

Subject to the proposed Development Permit conditions, the application is recommended for approval.



ROCKY VIEW COUNTY

Respectfully submitted,

Concurrence,

“Brock Beach”

“Al Hoggan”

Acting Executive Director
Community Development Services

Chief Administrative Officer

WV/sl

ATTACHMENTS

ATTACHMENT ‘A’: Development Permit Conditions

ATTACHMENT ‘B’: Maps and Other Information



ROCKY VIEW COUNTY

ATTACHMENT 'A': DEVELOPMENT PERMIT CONDITIONS

Option #1:

Approval subject to the following conditions:

Description:

1. That the dwelling, single detached may be constructed on the subject parcel, in general accordance with the drawings and information submitted with the application.
 - i. That the minimum side yard setback requirement shall be relaxed from **3.00 m (9.84 ft.) to 1.50 m (4.92 ft.)**.

Permanent:

2. That during the construction of the building, all construction and building materials shall be maintained on-site, in a neat and orderly manner. Any debris or garbage shall be stored/placed in garbage bins and disposed of at an approved disposal facility.
3. That a Building Permit shall be obtained from Building Services prior to any construction of the proposed dwelling, single-detached.
4. That any over government permits, approvals, or compliances are the sole responsibility of the Applicant/Owner.
5. That if the development authorized by this Development Permit is not commenced with reasonable diligence within 12 months from the date of issue, and completed within 24 months of the issue, the permit is deemed to be null and void, unless an extension to this permit shall first have been granted by the Development Officer.



ROCKY VIEW COUNTY

ATTACHMENT 'B': MAPS AND OTHER INFORMATION

APPLICANT: Kelly Wenstrom (Kelly Kustom Homes)	OWNER: Pollyco (Langdon North Development)
DATE APPLICATION RECEIVED: February 26, 2021	DATE DEEMED COMPLETE: March 16, 2021
GROSS AREA: ± 0.06 hectares (± 0.16 acres)	LEGAL DESCRIPTION: Lot 51, Block 1, Plan 2011558, NE-15-23-27-W04M (165 North Bridges Bay SW)
APPEAL BOARD: Subdivision & Development Appeal Board	
HISTORY: No previous development permit applications	
PUBLIC & AGENCY SUBMISSIONS: The application was circulated to a number of internal and external agencies and, where appropriate, conditions of approval have been proposed based on these comments.	

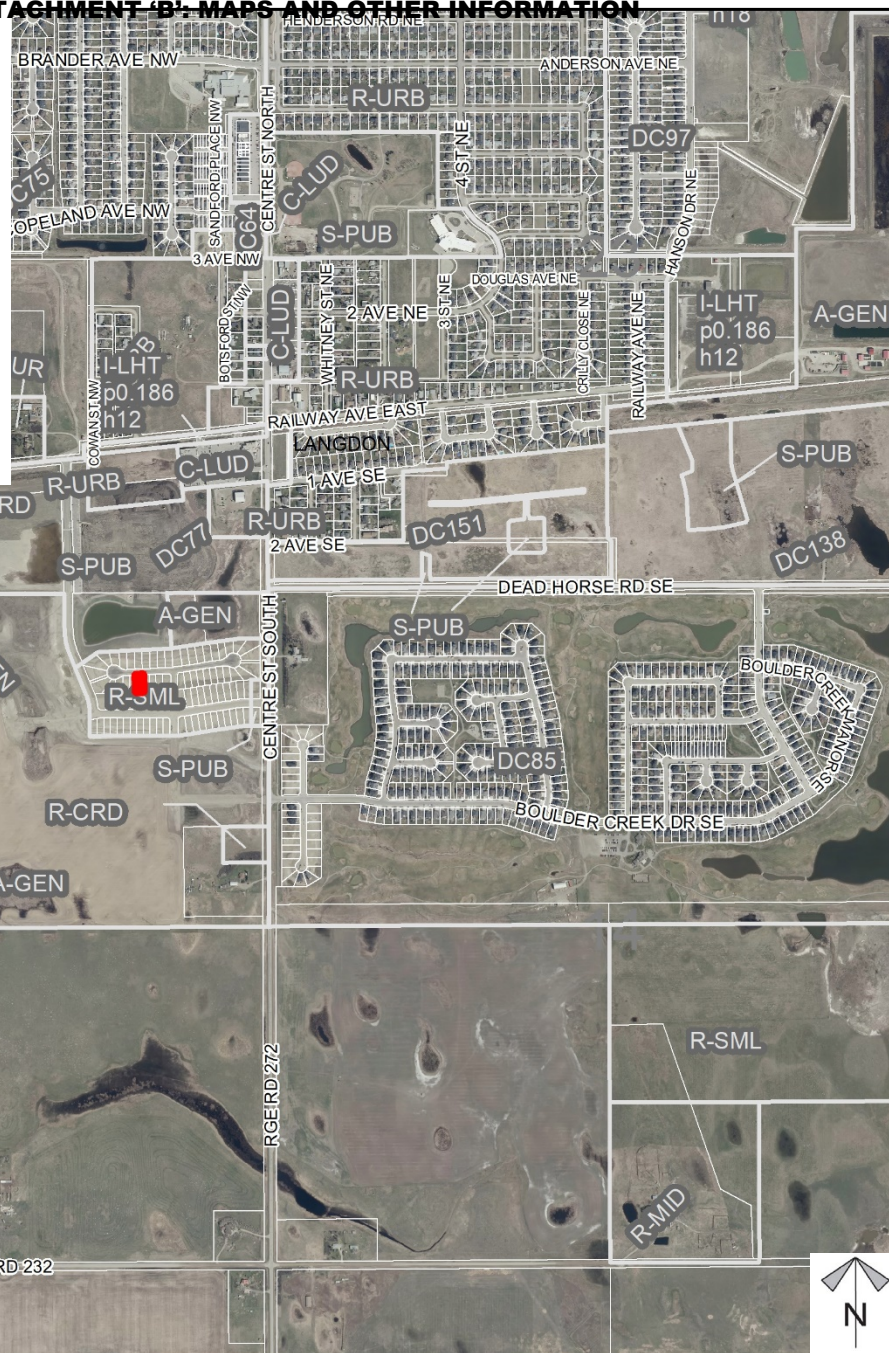
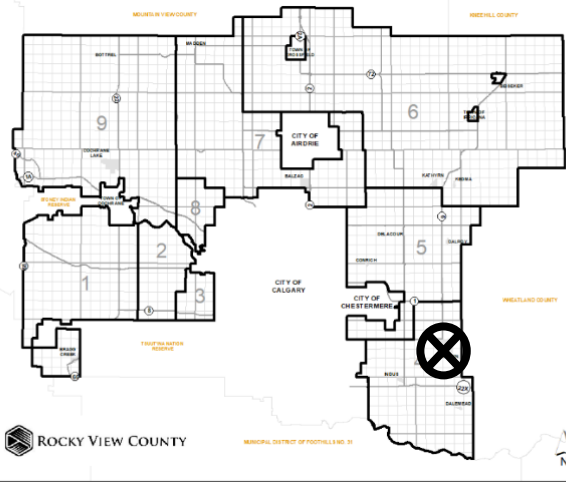


Location & Context

Development Proposal

Dwelling, single detached
with relaxation to the
minimum side yard
setback requirement

ATTACHMENT 'B' MAPS AND OTHER INFORMATION

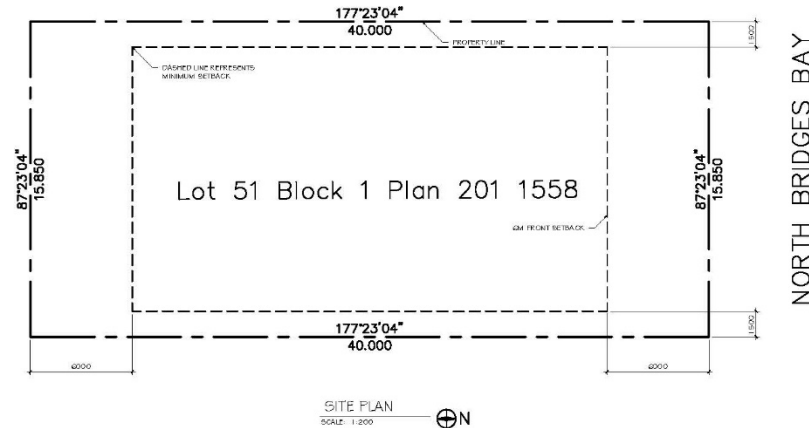


Division: 04
Roll: 03215060
File: PRDP20210795
Printed: Mar 8, 2021
Legal: Lot:51 Block:1
Plan:2011558 within NE-15-
23-27-W04M

Site Plan

Development Proposal

Dwelling, single detached
 with relaxation to the
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 setback requirement



PROJECT LOCATION:
 LOT 51, BLOCK 1,
 PLAN 201 1558
 150 North Bridges Bay
 LANSING, MI

NOTE:
 THE CONTRACTOR AND SUBCONTRACTOR ARE RESPONSIBLE FOR
 VERIFYING THE DRAWING BEFORE CONSTRUCTION HAS BEGUN AND
 FOR AVOIDING THE VIOLATION OF ANY APPLICABLE ORDINANCE OR
 SUBDIVISION REQUIREMENT.
 (DO NOT SCALE DIMENSIONS). ALL DIMENSIONS ARE IN FEET AND INCHES
 AND ROUNDED TO THE NEAREST INCH. IF IN DOUBT PLEASE CONTACT THE
 ENGINEER. NO RESPONSIBILITY CAN BE TAKEN WITH ANY ERRORS
 FOUND BY MEASURING OFF THE DRAWING.



PROJECT: KELLY KUSTOM
 SITE / PLOT PLAN LOT 51, BLOCK 1 PLAN 201 1558
 DATE: FEBRUARY 22, 2021
 JOB NO.:
 DRAWN BY: DJH
 SCALE: 1:200

DRAWING
 A1
 REVISION No.
 0

Note: First two digits of the Plan Number indicate
 the year of subdivision registration.

Plan numbers that include letters were registered
 before 1973 and do not reference a year.



Division: 04
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Building Drawing

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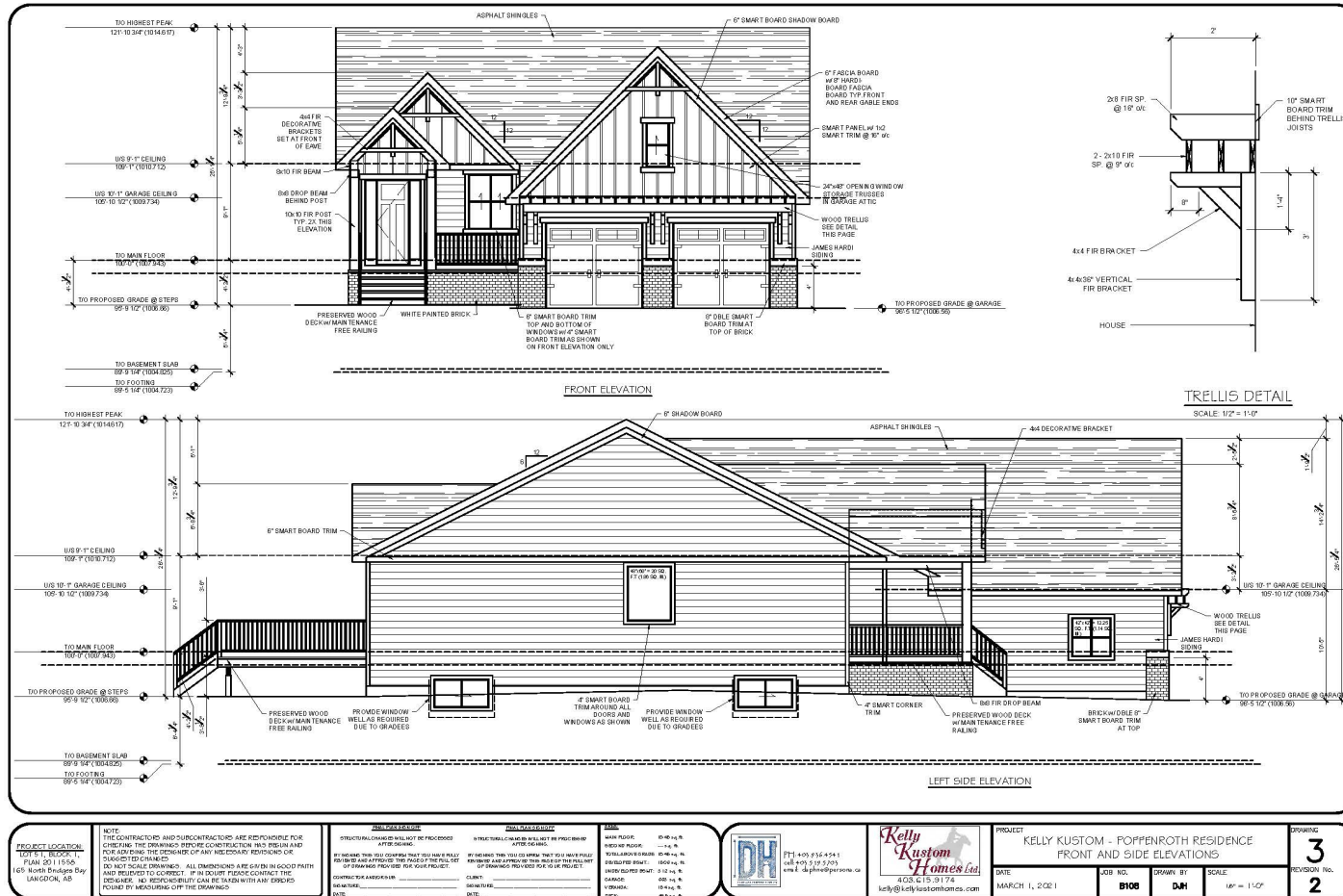


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Aerial Imagery

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