

## PLANNING AND DEVELOPMENT SERVICES

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<b>TO:</b>	Municipal Planning Commission Development Authority	<b>DIVISION:</b> 4
<b>DATE:</b>	April 14, 2021	<b>APPLICATION:</b> PRDP20210793
<b>FILE:</b>	03215055	
<b>SUBJECT:</b>	Dwelling, Single Detached / Permitted use, with Variances	

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**APPLICATION:** Application is for construction of a dwelling, single detached, relaxation of the minimum side yard setback requirements.

**GENERAL LOCATION:** Located in the hamlet of Langdon.

**LAND USE DESIGNATION:** Residential, Small Lot District (R-SML) under Land Use Bylaw C-8000-2020.

**EXECUTIVE SUMMARY:** The Applicant is proposing to construct a dwelling, single detached approximately 1.50 m (4.92 ft.) from both side yards of the property boundary. These setbacks require relaxations to the minimum side yard setback requirements.

**ADMINISTRATION RECOMMENDATION:** Administration recommends Approval in accordance with Option #1.

### OPTIONS:

- Option #1: THAT Development Permit Application PRDP20210793 be approved with the conditions noted in Attachment 'A'.
- Option #2: THAT Development Permit Application PRDP20210793 be refused for the following reasons:
1. That in the opinion of the Municipal Planning Commission, the development unduly interferes with the amenities of the neighbourhood and materially interferes with and affects the use, enjoyment, and value of neighbouring parcels of land.

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### Administration Resources

Wayne Van Dijk, Planning and Development

**AIR PHOTO & DEVELOPMENT CONTEXT:**



**VARIANCE SUMMARY:**

Variance	Requirement	Proposed	Percentage (%)
Side yard setback requirements (north and south sides)	3.0 m (9.84 ft.)	1.50 m (4.92 ft.)	50.00%

**APPLICATION EVALUATION:**

The application was evaluated based on the information submitted with the application and the applicable policies and regulations.

<b>APPLICABLE POLICY AND REGULATIONS:</b> <ul style="list-style-type: none"> <li><i>Municipal Government Act</i></li> <li>Land Use Bylaw C-8000-2020</li> <li>Langdon Area Structure Plan</li> <li>Bridges of Langdon Conceptual Scheme</li> </ul>	<b>TECHNICAL REPORTS SUBMITTED:</b> <ul style="list-style-type: none"> <li>No reports submitted</li> </ul>
<b>PERMITTED USE:</b> <ul style="list-style-type: none"> <li>Dwelling, single detached is permitted use</li> </ul>	<b>DEVELOPMENT VARIANCE AUTHORITY:</b> <ul style="list-style-type: none"> <li>Municipal Planning Commission</li> </ul>

Additional Review Considerations

No additional review considerations



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**CONCLUSION:**

Subject to the proposed Development Permit conditions, the application is recommended for approval.

Respectfully submitted,

Concurrence,

"Brock Beach"

"Al Hoggan"

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Acting Executive Director  
Community Development Services

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Chief Administrative Officer

WV/II

**ATTACHMENTS**

ATTACHMENT 'A': Development Permit Conditions

ATTACHMENT 'B': Maps and Other Information



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## ATTACHMENT 'A': DEVELOPMENT PERMIT CONDITIONS

Option #1:

Approval subject to the following conditions:

**Description:**

1. That the dwelling, single detached may be constructed on the subject parcel, in general accordance with the drawings and information submitted with the application.
  - i. That the minimum north and south side yard setback requirements shall be relaxed from **3.00 m (9.84 ft.) to 1.50 m (4.92 ft.)**.

**Advisory:**

2. That during the construction of the building, all construction and building materials shall be maintained on-site, in a neat and orderly manner. Any debris or garbage shall be stored/placed in garbage bins and disposed of at an approved disposal facility.
3. That a Building Permit shall be obtained from Building Services prior to any construction of the proposed dwelling, single-detached.
4. That any over government permits, approvals, or compliances are the sole responsibility of the Applicant/Owner.
5. That if the development authorized by this Development Permit is not commenced with reasonable diligence within 12 months from the date of issue, and completed within 24 months of the issue, the permit is deemed to be null and void, unless an extension to this permit shall first have been granted by the Development Officer.



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## ATTACHMENT 'B': MAPS AND OTHER INFORMATION

<b>APPLICANT:</b> Kelly Wenstrom (Kelly Kustom Homes)	<b>OWNER:</b> Pollyco (Langdon North Development)
<b>DATE APPLICATION RECEIVED:</b> February 26, 2021	<b>DATE DEEMED COMPLETE:</b> March 16, 2021
<b>GROSS AREA:</b> ± 0.11 hectares (± 0.28 acres)	<b>LEGAL DESCRIPTION:</b> Lot 46, Block 1, Plan 2011558, NE-15-23-27-W04M (145 North Bridges Bay SW)
<b>APPEAL BOARD:</b> Subdivision & Development Appeal Board	
<b>HISTORY:</b> No previous development permit applications	
<b>PUBLIC &amp; AGENCY SUBMISSIONS:</b> The application was circulated to a number of internal and external agencies and, where appropriate, conditions of approval have been proposed based on these comments.	



## Development Proposal

Dwelling, single detached  
with relaxation to the  
minimum side yard  
setback requirement

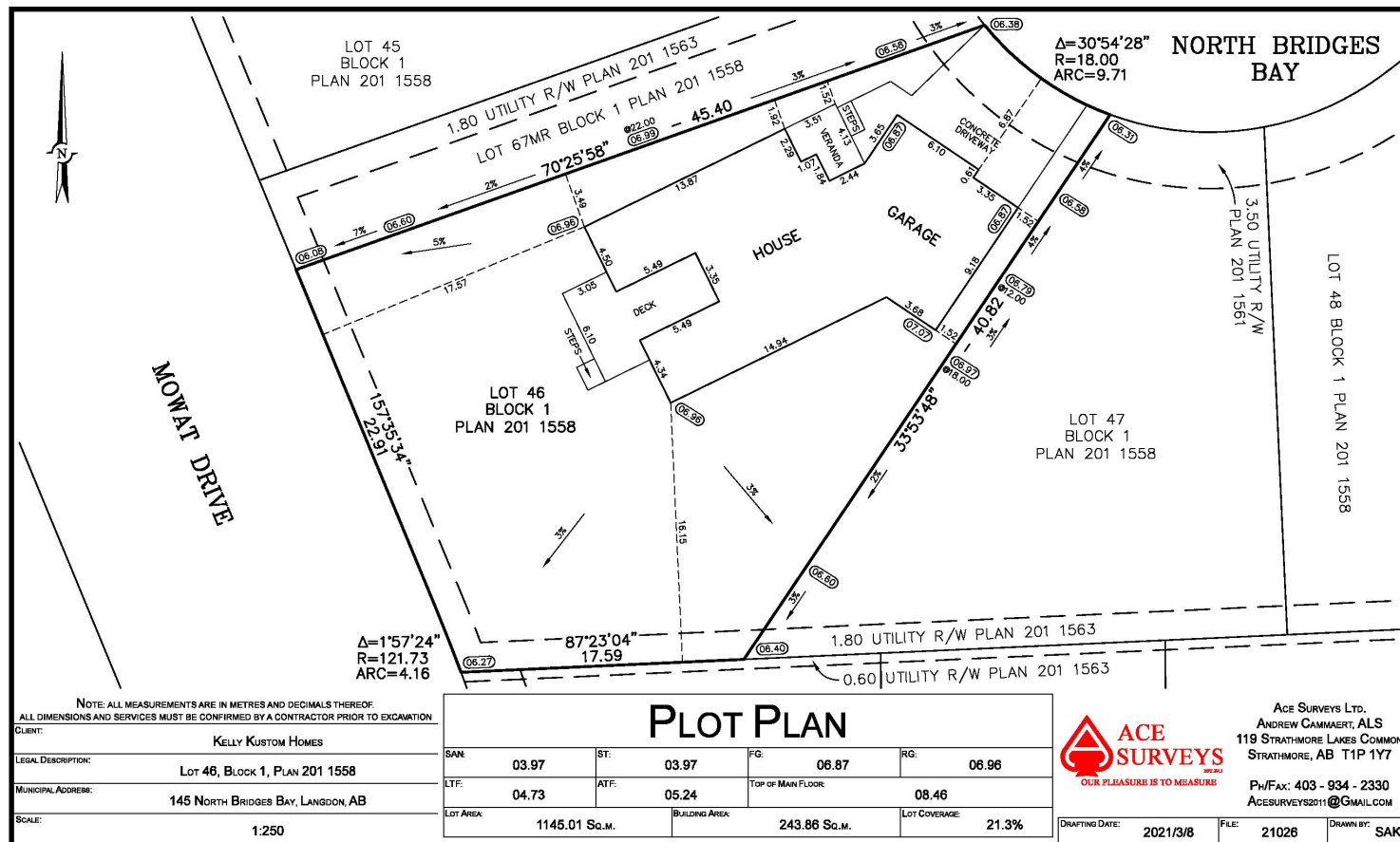
Division: 04  
Roll: 03215055  
File: PRDp20210793  
Printed: Mar 8, 2021  
Legal: Lot:46 Block:1  
Plan:2011558 within NE-15-  
23-27-W04M



## Site Plan

### Development Proposal

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Note: First two digits of the Plan Number indicate the year of subdivision registration.

Plan numbers that include letters were registered before 1973 and do not reference a year.

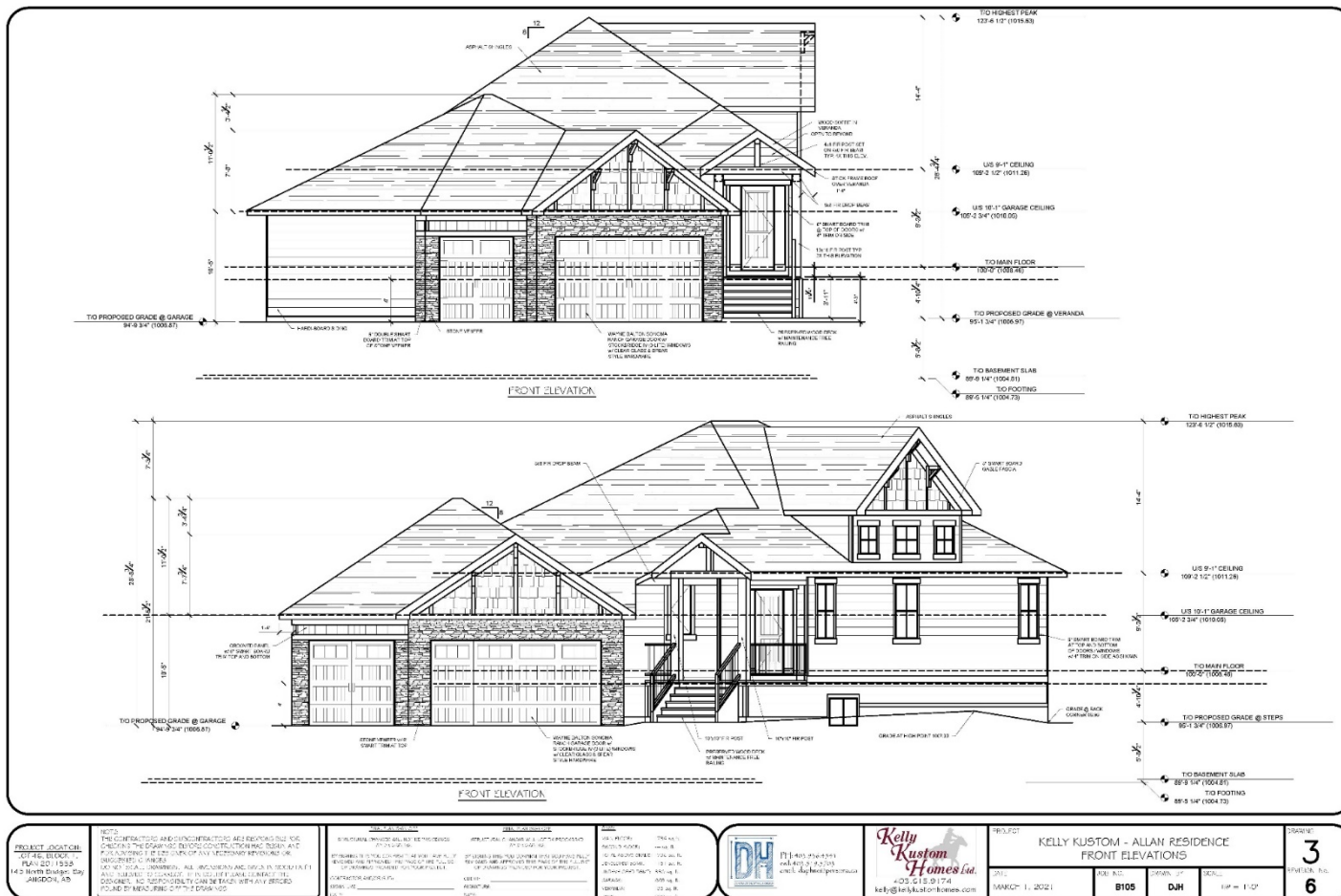
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# Building Drawing

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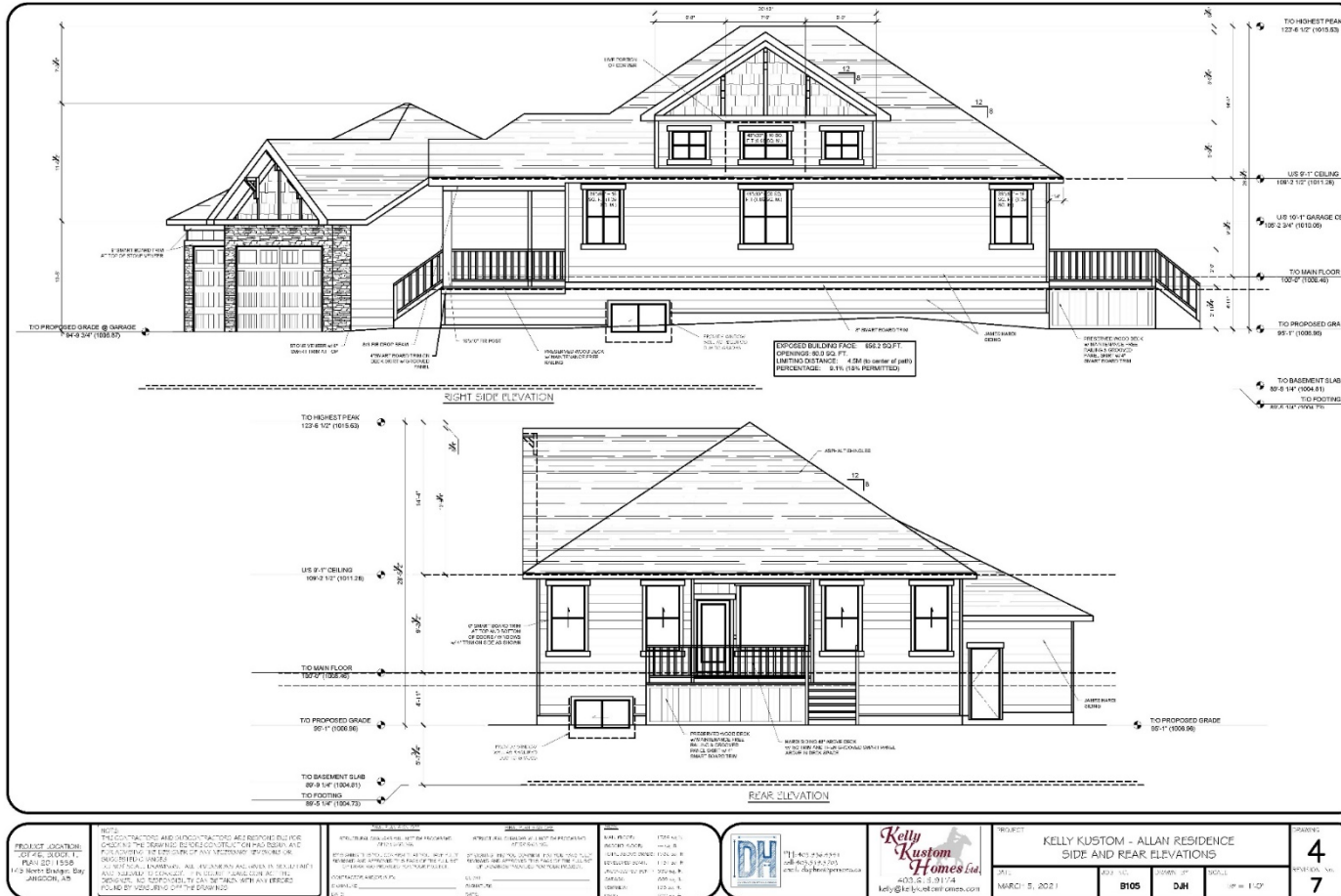
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## Aerial Imagery

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