



# COUNCIL REPORT

## Kineticor Area Structure Plan Terms of Reference

Electoral Division: 5

File: 1013-475

Date:	May 20, 2025
Presenter:	Dalia Wang, Planner
Department:	Planning

### REPORT SUMMARY

The purpose of this report is to present the Kineticor Area Structure Plan (ASP) Terms of Reference (TOR) for Council's consideration (Attachment A). The objective of this new ASP is to outline a plan for the land use and servicing of the site as a data centre complex, which is anticipated to accommodate data centre buildings and a 900MW power generation facility. Land use redesignation will be undertaken concurrently to streamline this process.

On March 4, 2025, Council directed Administration to collaborate with Kineticor to draft a TOR for an ASP. To raise public awareness of the project, B&A Studios delivered a presentation on behalf of Kineticor to the County's Public Presentation Committee on April 16, 2025. This TOR has been prepared in accordance with the direction received from Council; as such, approval from Council is being sought.

The ASP is a developer-led project, and will be delivered and fully funded by the developer, Kineticor, with support from the County's Planning Department. County staff resources will be required to support the progress of the project, and this staff time is estimated to be valued at \$50,000. Staff costs have already been accounted for within the Planning department's operating budget, and the amount would be recovered by the developer, so that the project is net-zero-cost to the County. A budget adjustment is set out in Attachment B to reflect the anticipated revenue from the project proponent.

### ADMINISTRATION'S RECOMMENDATION

THAT Council approves the Kineticor Area Structure Plan Terms of Reference as presented in Attachment A.

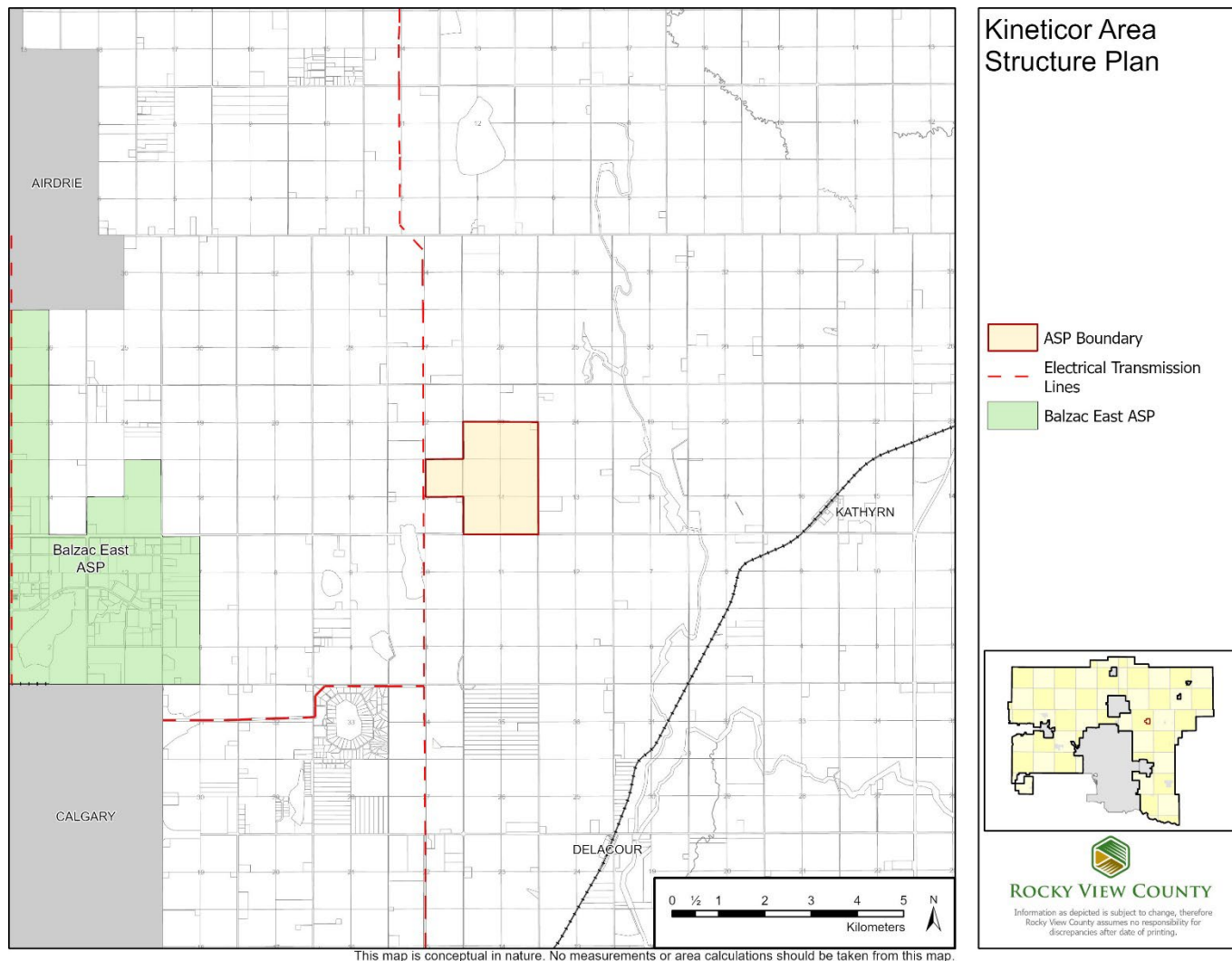
THAT Council approves a budget adjustment of \$50,000 for the Kineticor Area Structure Plan project as presented in Attachment B.

### BACKGROUND

#### Location

The subject site consists of seven quarter sections, measuring approximately 453 hectares (1,120 acres) in area. It is located 4.8 kilometres (3 miles) east of the Balzac East Area Structure Plan area. The site is bounded by Range Road 566 to the south and Range Road 281 to the east. From the closest point, the site is located approximately 4.5 miles northeast of the city of Calgary. Currently the site consists of agricultural land and contains two dwellings and two well sites. Surrounding uses to the north, east, south, and west also largely consist of agricultural uses. A pipeline right-of-way transects through the centre of the site, running north-south. A water line is located along the eastern boundary of the site. The subject site and surrounds are shown below in Figure 1.

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**Figure 1 – Kineticor ASP Site**

### Project Context

The site is currently zoned Agricultural, General (A-GEN), with the exception of a five acre parcel at the northeast corner, which is zoned Residential, Rural (R-RUR). As the development is a new business area, the creation of a new ASP is required under the Municipal Development Plan (MDP).

## ANALYSIS

### Municipal Development Plan (County Plan)

The proposed location allows for connection to the high-voltage electrical network, which is necessary for the function of the proposed data centre use. The development is considered a business area and is subject to the relevant requirements outlined in Section 14 of the Municipal Development Plan. The project will be undertaken in alignment with the business policies of the Municipal Development Plan, as with other County policies, standards and regulations.

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The project is proposed to be undertaken in four phases:

- **Phase 1 – Project Initiation**
  - Workplan and engagement strategy will be prepared.
  - Technical studies will include a transportation network analysis, water and wastewater servicing strategy, stormwater management strategy, economic impact study, and environmental screening report.
  - The proponent will submit a land use redesignation application.
- **Phase 2 – ASP Drafting**
  - The findings from the technical studies will inform the preparation of the ASP and ensure that the development is delivered according to the requirements of Section 14.
- **Phase 3 – Public and Stakeholder Engagement**
  - The draft ASP will be publicized for public review, and the draft will be formally circulated to internal and external agencies.
  - The land use amendment will be circulated alongside the draft ASP.
- **Phase 4 – Finalization**
  - The draft will be revised to incorporate feedback gathered in Phase 3.
  - The ASP and land use amendment will be presented to Council public hearing, and Council will consider approval of the ASP Bylaw.

The TOR for the ASP has been prepared for Council's consideration as per Section 28.0 (Area Structure Plan Preparation and Amendment) of the MDP. The preparation of the ASP will be directed by the County, with the delegation of tasks and input outlined as per page 1 of the TOR.

## COMMUNICATIONS / ENGAGEMENT

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A detailed public engagement strategy is to be prepared by the developer within Q2 of 2025. This strategy is to identify all relevant interest groups within the County as well as other stakeholders affected by the planning outcomes. The strategy will detail the objectives, methodology, and deliverables of engagement endeavors, and will be reviewed and approved by the County. Ultimately, these findings will be captured by an engagement summary, which is to be prepared to the County's satisfaction. Generally, the developer will be responsible for implementing engagement endeavors, with the County providing oversight and approval of the content and activities carried out.

## IMPLICATIONS

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### Financial

As a developer-led project, the developer will be responsible to cover all costs of the project. County staff resources will be required to support the progress of the project, and this staff time is estimated to be valued at \$50,000. The expenditure of these staff resources has already been accounted for within the Planning department's existing budgeted staff, and the amount would be recovered by the developer, so that the project is net-zero-cost to the County. The developer will contribute a lump sum deposit of \$50,000 at the commencement of the project, to be drawn upon by the County throughout the project. In the event of these funds reaching a minimum balance of \$10,000, the developer will replenish the funds with a further \$50,000. Any remaining funds at the conclusion of the project will be refunded back to the developer.

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### STRATEGIC ALIGNMENT

Key Performance Indicators			Strategic Alignment
Thoughtful Growth	TG1: Clearly defining land use policies and objectives for the County –including types, growth rates, locations, and servicing strategies	TG1.2: Complete Area Structure Plans (ASPs) in alignment with the Regional Growth Plan and Council priorities	The proposed ASP will be prepared in alignment with regional growth policies and as directed by Council.
Thoughtful Growth	TG2: Defined land use policies and objectives are being met and communicated	TG2.1: Land use approvals that are supported/aligned with the Regional Growth Plan & MDP	As above.

### ALTERNATE DIRECTION

THAT Council directs amendments to the Kineticor Area Structure Plan Terms of Reference as presented within Attachment A.

### ATTACHMENTS

Attachment A: Kineticor Area Structure Plan Terms of Reference  
Attachment B: Budget Adjustment Request Form

### APPROVALS

Manager:	Dominic Kazmierczak, Executive Director, Community Services
Executive Director/Director:	Dominic Kazmierczak, Executive Director, Community Services
Chief Administrative Officer:	Reegan McCullough, Chief Administrative Officer