



BYLAW C-7956-2019

A Bylaw of Rocky View County pursuant to Division 12 of Part 17 of the *Municipal Government Act* to amend Bylaw C-6260-2006, known as the “Greater Bragg Creek Area Structure Plan” and adopt a Conceptual Scheme known as the “Fawn Hills Conceptual Scheme”

The Council of Rocky View County enacts as follows:

Title

1 This bylaw ~~shall be known~~ may be cited as *Bylaw C-7956-2019*.

Definitions

2 ~~Words in this Bylaw, the definitions and terms shall have the same meanings as those set out in given to them in the Land Use Bylaw C-4841-97 and Municipal Government Act~~ ~~except for the definitions provided below:~~

- (1) **“Council”** means the duly elected Council of Rocky View County;
- (2) **“Land Use Bylaw”** means Rocky View County Bylaw C-8000-2020, being the *Land Use Bylaw*, as amended or replaced from time to time;
- (3) **“Municipal Government Act”** means the *Municipal Government Act*, RSA 2000, c M-26, as amended or replaced from time to time; and
- (4) **“Rocky View County”** means Rocky View County as a municipal corporation and the geographical area within its jurisdictional boundaries, as the context requires.

Effect

3 THAT Bylaw C-6260-2006, known as the “Greater Bragg Creek Area Structure Plan”, be amended in accordance with the amendments contained in Schedule ‘A’, attached to and forming part of the Bylaw; and

4 THAT the “Fawn Hills Conceptual Scheme” be adopted to provide a framework for subsequent redesignation, subdivision and development within NE-15-23-05-W05M, consisting of an area of approximately 76.64 acres as defined in Schedule ‘B’ attached to and forming part of this Bylaw.

Effective Date

5 Bylaw C-7956-2019 ~~comes into~~ ~~is passed and comes into full force and effect~~ when it receives third reading and is signed ~~signed~~ by the Reeve/Deputy Reeve and CAO or Designate, as per ~~the~~ ~~in accordance with~~ the *Municipal Government Act*.



SCHEDULE 'A'
FORMING PART OF BYLAW C-7956-2019

Schedule of Amendments to Bylaw C-6260-2006:

1. Amend the Table of Contents by adding a reference to Appendix D and numbering accordingly:

14.0 APPENDIX D – ADOPTED CONCEPTUAL SCHEMES

- Fawn Hills Conceptual Scheme
2. Attach the Fawn Hills Conceptual Scheme as defined in Schedule 'B' attached to and forming part of this Bylaw.



SCHEDULE 'B'
FORMING PART OF BYLAW C-7956-2019

A Conceptual Scheme affecting the area within NE-15-23-05-W05M consisting of an area approximately 76.64 acres, herein referred to as the "Fawn Hills Conceptual Scheme".

Fawn Hills of Bragg Creek



Conceptual Scheme

NE-15-23-05-W5M, which lies west of Fawn Hills Dr., Greater Bragg Creek on Subdivision Plan 7810784 containing 30.2 ha (74.64 ac); Title 071 127 759



"No Hurdle too high"

Submitted to Rocky View County, July 2019

Revised November 2020

ACKNOWLEDGEMENT PAGE

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Fawn Hills of Bragg Creek Conceptual Scheme

1.0 INTRODUCTION

1.1 Proposal Overview

The subject site is located approximately 3 km west of the bridge in the Hamlet of Bragg Creek. Lands are within quarter-section NE-15-23-05-W5M, which lies west of Fawn Hills Drive, Greater Bragg Creek on Subdivision Plan 7810784 containing ± 30.2 ha (± 74.64 ac). Lands east of Fawn Hills Drive are developed with 13 two-acre lots on communal water distribution. Lands setback from and west of Fawn Hills Drive is proposed for development with 22 two-acre lots on communal water distribution. Remaining lands will be for a) retained lands by owner and b) municipal reserve and open space trails. The proposal is in keeping with the vision of the Greater Bragg Creek Area Structure Plan (ASP) and the Rocky View County (RVC) Plan.

1.2 Purpose of this Plan

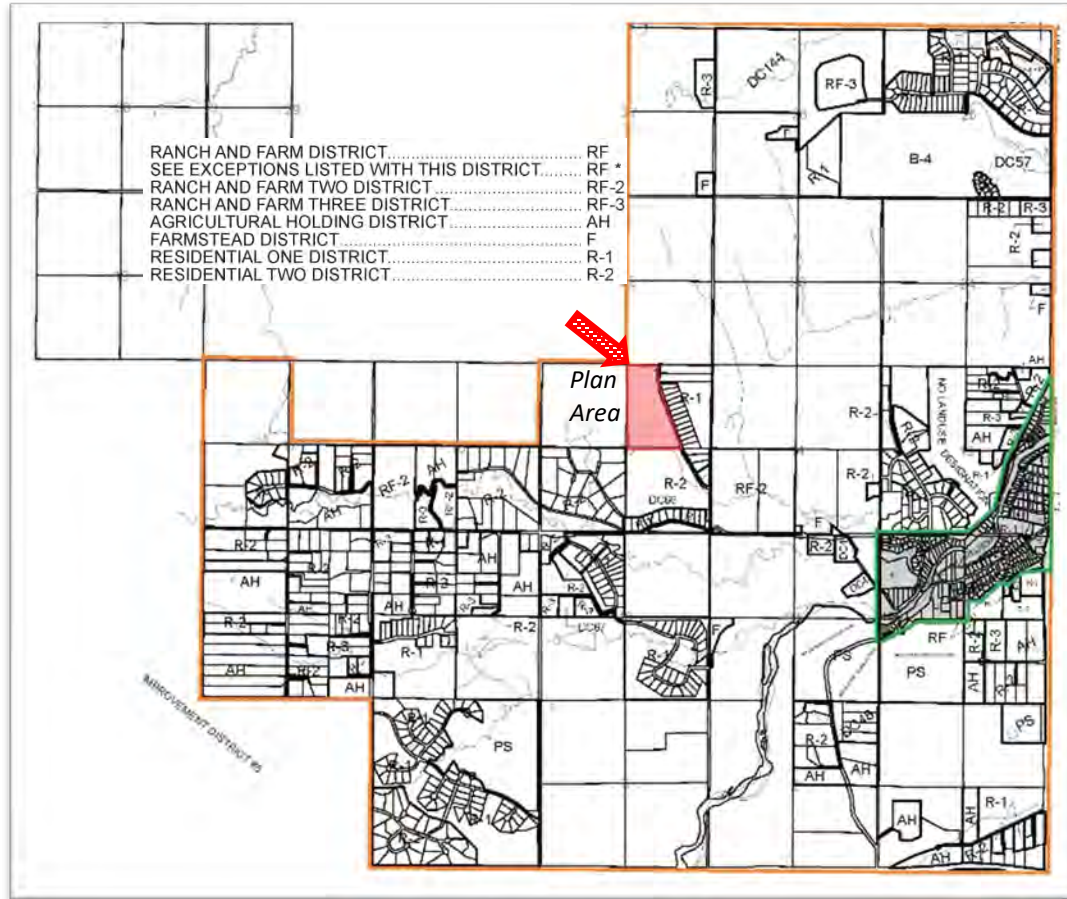
The Conceptual Scheme (CS), named ***Fawn Hills of Bragg Creek***, has been prepared pursuant to the County Plan (Bylaw C-7280-2013) and Greater Bragg Creek Area Structure Plan (ASP) Bylaw C-7602-2016, amending the original Bylaw C-6260-2006. It provides supporting rationale for redesignation and subdivision of the subject lands. The site is municipally known as 79 Fawn Hills Drive. For the purposes of the CS, the subject lands are referred to as the *Plan Area*.

The Conceptual Scheme is a non-statutory plan intended to describe the developer's rationale and motivation to establish a new subdivision with associated land uses. The policies of this Plan have been prepared to provide direction regarding subsequent land use redesignation, subdivision, and development permit applications required to implement the ***Fawn Hills of Bragg Creek*** development.

"A non-statutory plan, subordinate to an area structure plan, and may be adopted by bylaw or resolution. To ensure the opportunity for public input, the County will continue its practice of adopting a conceptual scheme by bylaw with a public hearing. If an area structure plan is amended to include a conceptual scheme, the conceptual scheme becomes a statutory plan. Conceptual schemes provide detailed land use direction, subdivision design, and development guidance to Council, administration, and the public. Conceptual schemes are meant to be developed within the framework of an area structure plan." (RVC County Plan).

It is the intent to apply the policies and design of this CS to guide development in phases. Land use and subdivision for the development will be applied for following adoption of this CS.

Figure 1: Context of Fawn Hills of Bragg Creek Conceptual Scheme (CS)



(Source: RVC, 2019, adapted from <https://www.rockyview.ca/Portals/0/Files/CountyServices/Maps/LandUseMaps/39.pdf>)

Figure 1: Context of Fawn Hills of Bragg Creek Conceptual Scheme (CS), shows the context of Fawn Hills of Bragg Creek CS where residential development in the quarter section has already occurred east of Fawn Hills Rd. (Land Use Bylaw annotations at the time of submission).

1.3 Development Rationale

The subject lands of this Conceptual Scheme are referred to as **Fawn Hills (Fawn Hills of Bragg Creek)** or the *Plan Area* in this document. The Greater Bragg Creek area will continue to experience development pressures due to its proximity to the City of Calgary. It also caters to those seeking to be close for excursions in Bragg Creek Prov. Park, Kananaskis Country, Banff National Park and the Canadian Rockies.

1.4 Primary Development Considerations

Primary development considerations include:

- Compatibility of residential uses to adjacent land uses;
- Transportation access;

- Open space features and connectivity to trails
- Storm water management;
- Provision of potable water;
- Sanitary wastewater treatment;
- Shallow utilities of telecommunications, phone, cable, fiber optics (where available), electrical and natural gas services;
- Solid waste disposal and recycling;
- Protective and emergency services;
- Architectural design; and
- Capital and operational considerations.

1.5 Conceptual Scheme Objectives

The intent of the **Fawn Hills** Conceptual Scheme is to:

- a) Provide a comprehensive summary of existing conditions within the *Plan Area* to identify development opportunities and significant constraints which require appropriate mitigation strategies;
- b) Present a subdivision and development concept that will comprise an appropriate subdivision pattern and density;
- c) Investigate and conclude whether any post development mitigation is necessary to address traffic, environmental, or other identified issues;
- d) Present a public open space to provide connections to adjacent lands; and
- e) Provide a utility servicing strategy that will include stormwater management, potable water and sewage collection and disposal.

2.0 POLICY CONTEXT

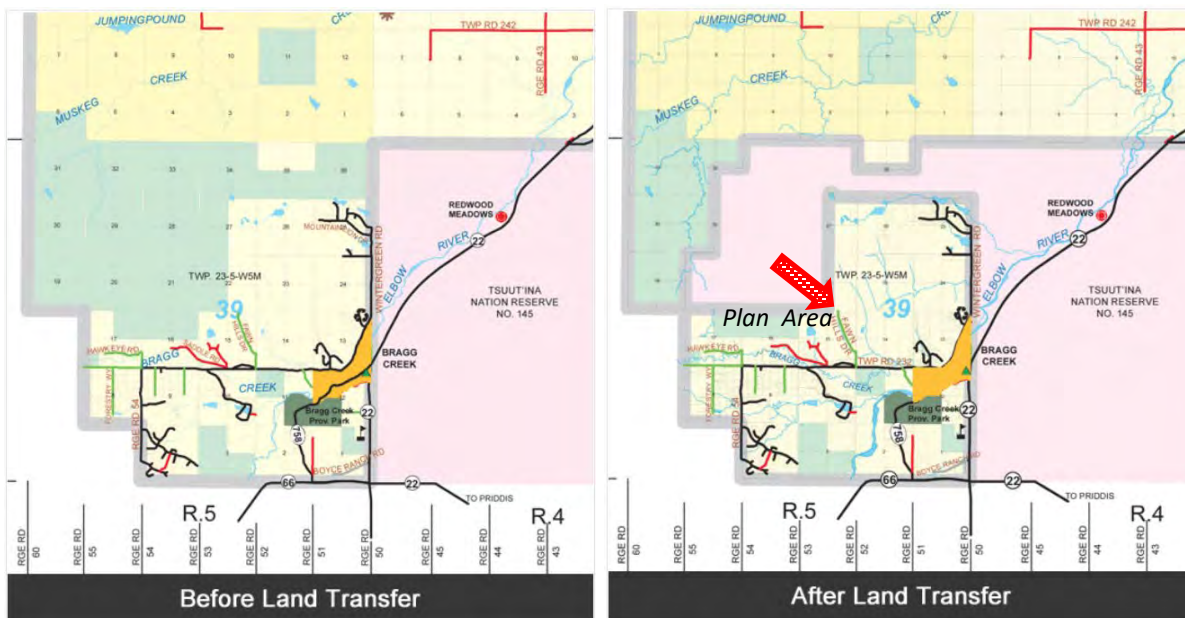
The Municipal Government Act, RVC's County Plan, Agriculture Master Plan, Parks and Open Space Plan, and the Greater Bragg Creek Area Structure Plan all provide guidance to the **Fawn Hills** CS. These documents establish a policy framework to ensure that development respects rural character, promotes open space and recreational opportunities, respects the natural environment, implements cost-effective servicing and provides for well-planned development.

2.1 Tsuut'ina Nation

The northwest corner of the subject lands touch the southeast corner of lands on Tsuut'ina Nation Reserve #145, which neighbour the Greater Bragg Creek Area Structure Plan (ASP). Public engagement is expected and encouraged to consult with the Tsuut'ina Nation to review the development proposal in terms of identifying and preserving any significant natural environmental areas that cross the two jurisdictions such as water, wildlife, etc.. As per policy 9.1.1 of the ASP, "Applications for redesignation, subdivision or development affecting lands within 800 metres of the boundary of an adjacent municipality and/or jurisdiction should be referred for comment to the Tsuut'ina Nation Reserve #145, the MD of Foothills, Kananaskis Improvement District, Bragg Creek Provincial Park and/or the Province, as appropriate and relevant." In this case, it is appropriate to refer the proposal to Tsuut'ina Nation Reserve #145.

In 2015 the Alberta and federal governments finalized the transfer of over 2,000 ha (5,000 ac.) of Crown land to the Tsuut'ina Nation as part of the Southwest Calgary Ring Road deal. The property is now First Nations land as shown (in pink) by Figure 2: Tsuut'ina Nation Mapping NW of *Plan Area*. This *Plan Area* does not currently have a Historic Resource Value (HRV) as per the current (October 2018) Listing of Historic Resources, and there are no previously recorded sites in the vicinity. However, due to its proximity to the Tsuut'ina Reserve, there may be unknown sites within the footprint. A Historic Resources Application was submitted May, 2019 (#016692198) to verify. Approval was provided August, 2019 (HRA Number: 4835-19-0053-001).

Figure 2: Tsuut'ina Nation Mapping NW of *Plan Area*



(Source: RVC, 2015, <https://www.rockyview.ca/NewsEvents/News/tabid/145/Article/1080/Public-Reminded-of-Crown-Land-Changes-Near-Bragg-Creek.aspx>)

2.2 RVC County Plan

The County Plan supports development of existing country residential communities, including Greater Bragg Creek, in accordance with their Area Structure Plan (ASP). This proposal provides for orderly, efficient, and cost-effective development of a fragmented quarter section while retaining a wooded landscape that is the character of Greater Bragg Creek. In keeping with this, the *Plan Area* has a restrictive caveat on title that ensures retention of most of the wooded areas on the property except for building sites and access to the sites. Both the County Plan and the ASP encourages alternative residential development forms that reduce the overall development footprint while retaining the natural landscape where possible. **Fawn Hills** aligns with the County's Plan by concentrating rural development in an ASP favouring the land use proposed, its density and its form.

2.3 Greater Bragg Creek Area Structure Plan (ASP)

The Greater Bragg Creek ASP, Bylaw C-7602-2016, amending the original Bylaw C-6260-2006.

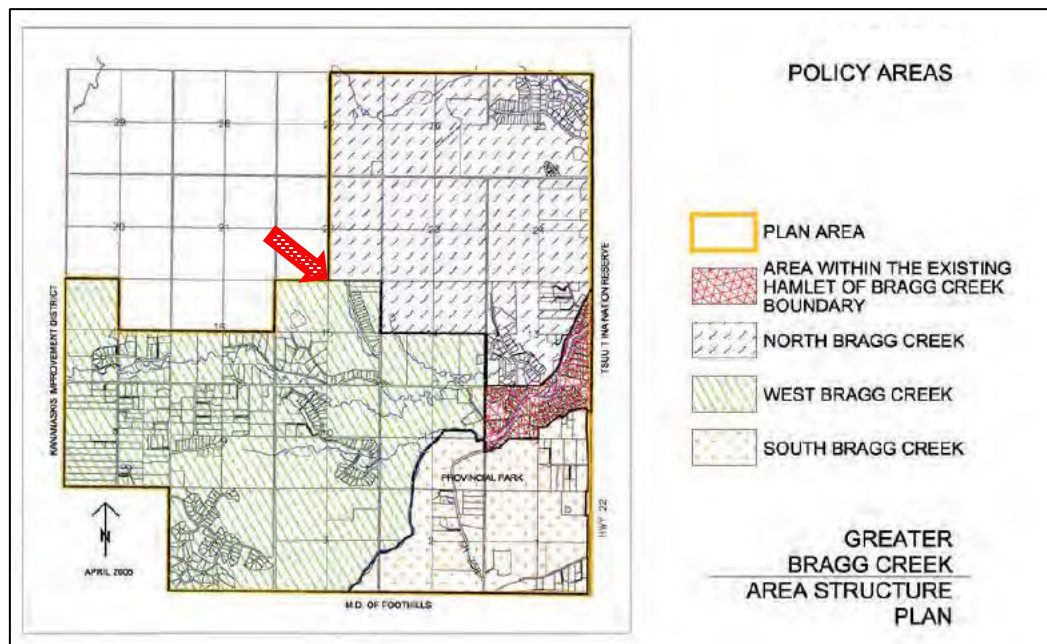
Introduction

The subject lands are within the Greater Bragg Creek ASP. The MGA requires that all statutory plans adopted by a County must be consistent with each other. The ASP is the guiding document for this proposal. An ASP describes:

- the sequence of development proposed for the area;
- the land uses proposed for the area, either generally or with respect to specific parts of the area;
- the density of population proposed for the area either generally or with respect to specific parts of the area; and
- the general location of major transportation routes and public utilities; and
- may contain any other matter the Council considers necessary.

Figure 3: Subject Lands in West Bragg Creek, shows the ASP boundary and the subject property in West Bragg Creek where specific policies apply. There are a number of matters to address. Infrastructure to support physical development is to ensure adequate potable water, safely treat wastewater and manage stormwater in a manner that does not devalue the integrity of the natural environment. Additionally, transportation including internal roads and trails are supported. The proposal intends to have trails within and connecting outside of the subject lands.

Figure 3: Subject Lands in West Bragg Creek



(Source: RVC, 2019, <https://www.rockyview.ca/Portals/0/Files/BuildingPlanning/Planning/ASP/ASP-Greater-Bragg-Creek.pdf>)

Municipal Reserve

The ASP Vision is to achieve a balance between the natural environment and the impacts of human settlement. The subject lands are in the West Bragg Creek policy area. As per policy 5.2.1, policies to preserve rural characters, include the dedication of Municipal Reserves (MR) provide a visual buffer between existing and new developments. Policy 5.2.6, policies to provide community recreational amenities, MR should be dedicated as land rather than payment of cash-in-lieu of land. Consideration of MR should look to maximize opportunities to improving or enhancing the communal recreational benefit provided. This is further reinforced by policy 10.1.5 a), "Generally, the County should require dedication of municipal reserves as land rather than cash-in-lieu of land when subdivision occurs."

Water

Water for multi-lot developments outside of the service area should implement privately owned decentralized communal water systems to distribute potable water. The following policies are 'should' statements that suggest a preference.

As per policy 6.1.2 c), "Multi-lot subdivisions that propose lot sizes less than 4 acres (on average) outside the Hamlet Servicing Area should provide potable water via a communal water treatment and distribution system that is designed with potential to connect to a future regional water utility. When small-scale multi-lot subdivisions are being proposed, consideration should be given to the impact that this requirement may have on the financial feasibility of the development."

As per policy 6.1.2 d), "Developers who propose installation of communal water treatment and distribution systems should provide assurance that the infrastructure can be designed and constructed to maximize its utility and minimize its life cycle costs and should prepare an operational plan that clearly demonstrates the affordability of the utility for the proposed subdivision it is planned to serve.

As per policy 6.1.2 e), "A deferred servicing agreement should be registered against each newly created parcel that is serviced by a communal water system to identify the owner's responsibility to connect to a regional water utility, should one become reasonably available outside the hamlet service area. The decision to make a regional water utility available in un-serviced parts of the Plan area should be planned by the County in collaboration with current potential customers of the utility. Special consideration should be given to issues of public health and environmental protection, and affordability of a regional water utility."

For the Plan Area, these policies make sense where communal water distribution is more effective than individual wells in support of development; communal water treatment does not. For some areas in the ASP, connection to the existing municipal water treatment plan is not financially feasible, nor is a new water treatment facility. Treatment outside the service area is an individual responsibility similar to how individual wells are dealt with now.

Wastewater

Wastewater outside of the Hamlet Servicing Area is provided via Private Sewage Treatment Systems (PSTS). The following policies are 'should' statements that suggest a preference.

As per policy 6.1.3 b), “Developers should be required to submit geotechnical assessments, prepared by a qualified professional, to demonstrate which minimum PSTS technologies are capable of safely and effectively treating wastewater over the long term, given the soil and groundwater conditions within the subdivision and/or development area.”

As per policy 6.1.3 f), “In order to provide a higher level of environmental protection, a more consistent and higher quality of wastewater treatment and reduced risks against contamination of raw water supplies, multi-lot subdivisions that propose lot sizes less than 4 acres (on average) should provide wastewater service via municipally approved wastewater treatment systems that encourage accountability for installation, operation and maintenance of wastewater technologies, or they should transport collected, untreated wastewater to a point where it can be safely disposed of. When small-scale multi-lot subdivisions are being proposed, consideration should be given to the impact that this requirement may have on the financial feasibility of the development.” This essentially advocates for tertiary treatment systems on-site. Initial investigation of soils and slopes show favourable conditions for PSTS to treat wastewater.

As per policy 6.1.3 h), “Communal wastewater treatment systems should be designed to connect to a regional wastewater utility.” This is the same as what would be expected of water servicing as well.

Stormwater

Development in ASP has adopted an “ecological” approach to stormwater management by implementing engineering practices that preserve and maintain the land’s natural capacity to accommodate surface drainage. The subject lands are mostly wooded with moderate slopes that allow for surface water to be absorbed into the forest floor with root uptake by vegetation as part of the natural cycle, such that most stormwater is dealt with on-site using low impact development and best management practices. In addition to the existing pond, additional ponds are anticipated as part of stormwater management, one serving the northern lots and one serving the southern lots next to the existing pond.

As per policy 6.1.4, Stormwater Management Within the Plan Area, “a) Low impact development (LID) stormwater management methods should be considered within all future subdivision and/or developments to encourage the retention of 65% native vegetation, 10% maximum impervious surfaces, and 0% effective impervious surfaces.” The subject lands have a restrictive covenant protecting the wooded lands with provisions for building lots and access. A mapping exercise by Carswell Planning Inc. delineated 20.6 ha of the total 30.2 ha as wooded. This will ensure the retention of at least 65% native vegetation and impervious surfaces limited primarily to the internal road surface and buildings.

As per policy 6.1.4 c), “...the County may require that a proponent for conceptual scheme, redesignation, subdivision, or development application prepare and implement a ...stormwater management plan...” Further, as per policy 6.1.4 f), “Developers shall be required to prepare site implementation plans that:

- assess detailed design of stormwater control facilities and their interaction with the immediate surroundings;

- assess rainfall-runoff models that simulate single and continuous storm events based on 1:100 year, 12-hour and 24-hour storm events;
- provide a cost analysis that outlines capital and operational costs for all stormwater control facilities; and
- indicate how best management practices will be observed during construction and maintenance of all stormwater control facilities.”

Utilities

Shallow utilities are part of any new multi-lot subdivision development.

As per policy 6.1.5, Utilities, locations include common rights-of-way (r-o-w); in road r-o-w where there is sufficient width; and in open space lands, such as the trail connections shown as Municipal Reserve (MR) on the proposal. The proposal has all of these options. Cellular or telecommunication facilities are encouraged if possible and has been identified by residents of Bragg Creek as needed.

Transportation

Fawn Hills Drive provides access to the subject lands and ends at a cul-de-sac near the north end of the property. Currently, there are entrances from 2 acre lots on the east side of Fawn Hills Drive and limited entrances on the west side. New development on the west side would better utilize this chip-sealed County road. The internal road is proposed to have two entrances to serve the two dozen lots and would likely be chip-sealed or alternative surface treatment meeting County Servicing Standards.

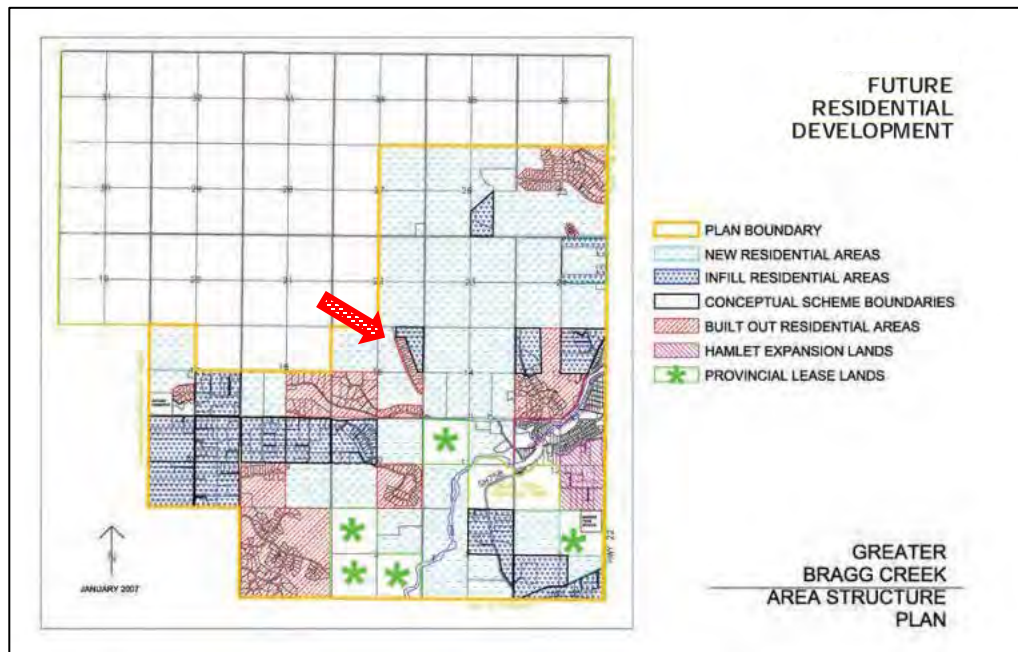
As per policy 6.2.3, The Municipal Road Network (when future subdivision and/or developments are proposed), “b) Developers should prepare traffic impact assessments to evaluate anticipated immediate and/or cumulative impacts to the municipal road network either in the vicinity of or downstream of all proposed subdivision and/or developments within the Plan area.” Further, as per policy 6.2.3 c), “Developers should pay all costs associated with the construction of local roads that provide direct access to new subdivision and/or developments.” It is recommended to address the matter of traffic which is anticipated to be a concern of neighbouring residents on Fawn Hills Drive.

As per policy 6.2.3 g), “New subdivision and/or developments should accommodate at least two points of access/egress.” This is further supported in policy 411 of the RVC Servicing Standards.

Trails

Greater Bragg Creek is becoming known as a destination because of its well-developed trails. The West Bragg Creek Day Use Area at the end of W Bragg Creek Rd has new, expanded parking area at the hub of its trails for hiking, biking, dog walking, cross-country skiing, snowshoeing, etc. particularly with recent improvements to the trails towards the western area.

Figure 4: Subject Lands Defined as New Residential Area



(Source: RVC, 2019, <https://www.rockyview.ca/Portals/0/Files/BuildingPlanning/Planning/ASP/ASP-Greater-Bragg-Creek.pdf>)

Parcel Size and Density

Figure 4: Subject Lands Defined as New Residential Area has specific policies which apply to lot sizes and layout. Policy 7.4.4, New Residential Areas, has policies on parcel size and density. New residential areas also require Conceptual Schemes (CS) for all redesignation and/or subdivision application.

As per policy 7.4.4 d), "Parcel sizes within new residential areas in west and north Bragg Creek should not be less than .25 acres, and not greater than 2 acres, with an overall density of not greater than one lot per 4 acres of Gross Developable Area (GDA)." Further, policy 7.4.4 f) states, "Notwithstanding 7.4.4.(d) and 7.4.4.(e), parcel sizes greater than 2 acres may be considered when it can be demonstrated, to the satisfaction of the County, that a larger parcel size will support agriculture and/or open space planning; however, these parcels must form part of the gross developable area (GDA)." The proposal attempts to achieve this with 22 new lots on 75 acres and an open space component as MR lands, albeit 10% of the subject lands, while having wooded lands protected by restrictive covenant on title. Wooded lands make up the majority of the subject lands.

Policy 7.4.4 goes on to encourage open space for the benefit and enjoyment of residents, as well as maintain open space in an undeveloped state for such purposes and stormwater management; protection of wildlife movement corridors. As previously stated, there is a restrictive caveat on title where, "No bushes, trees or similar vegetation may be cut or removed except as required for building sites, services and amenities for building sites and access to and from building sites." With the buildings located off the internal road, the wooded area downslope is preserved for all these functions.

Wildfire Management

The subject lands are largely undisturbed, with approximately 80% of the land being dense mixed-wood forest on a hillside, and the remaining 20% along the east boundary being a grassed meadow. Less than 10% of the area is currently disturbed land, which includes a homestead with an access driveway and an excavated pond, all located in the south end of the project area within the meadow. Also, an area of the forest has been cleared along a route of the proposed new local road.

All new subdivision within the community has been required to implement specific architectural standards that encourage use of fire resistant construction materials and appropriate site design and landscape techniques. Additionally, all local landowners regularly participate in fuel-reduction programs designed to reduce unnecessary vegetation.

As per policy 8.2.2, Long Term, “b) Proposals for new multi-lot subdivision within the Plan area should be supported by a wildfire risk assessment, prepared by a qualified professional, that examines the following criteria:

- Existing vegetation and topography to determine the site’s susceptibility to wildfire;
- Location of existing/proposed water bodies within the area capable of providing a supply of water for fire suppression purposes (see Section 6.1.4 for Stormwater Management within the Plan area);
- An assessment of the proposed subdivision layout, density, and development phasing to encourage implementation of a comprehensive design that recognizes and mitigates susceptibility to wildfire risks (e.g. appropriate building spacing, reduced cul-de-sac lengths, appropriate clearing of building sites, deck enclosure restrictions, etc.);
- An assessment of local traffic circulation patterns, both existing and proposed, to determine the availability of safe access for fire and other emergency equipment and apparatus; and
- An assessment of proposed architectural controls within the subdivision designed to encourage fire suppression within each new building site (e.g. appropriate roofing and siding materials, landscaping, interior/exterior sprinklers, etc.).”

Montane Forest Management Ltd., 2012, “Greater Bragg Creek Wildfire Mitigation Strategy’ was prepared for RVC to develop and implement a comprehensive plan to reduce the threat of wildfire to development and wildlands. Extrapolating general mapping to the specific property indicates Boreal Spruce (C-2) in the *Plan Area* with Deciduous (D-1) fuel types towards the west on the property. Wildfire behavior potential from mid-August to late-October is extreme to low corresponding to these fuel types respectively. The option of fuel removal/reduction or species conversion is hindered by the goal of preserving woodlands and habitat. Fawn Hills of Bragg Creek has an underground fire suppression water tank.

ASP Direction for CS

The ***Fawn Hills of Bragg Creek*** Conceptual Scheme (CS) and implementation through land use designations, subdivisions and development permits shall be consistent with the relevant policies of the Greater Bragg Creek ASP discussed as follows. CSs usually include surrounding lands to address potential impacts and long-term planning implications of the proposed development. Given that the areas to the west and south are developed, lands to the north shall be considered in the context of the CS. RVC has determined that a CS is required for the site.

Any constraints to development, may include but not be limited to: geotechnical, environmental, and hydrogeological conditions; and archaeological or historically significant features may be included in this CS. Stormwater management, traffic impact assessments (TIA), landscaping plan, and architectural guidelines may also be included.

As part of the CS, input from all directly and indirectly affected landowners within and adjacent to the CS area throughout the preparation of the CS, including a minimum of one (1) open house to gain feedback on the proposal. Public consultation involves input from affected community stakeholders, including community organizations (stewardship, maintenance and operation of open space and reserves).

3.0 GUIDING PRINCIPLES

Guiding principles for ***Fawn Hills of Bragg Creek*** include a safe, healthy, attractive, orderly, efficient, and cost-effective development of a fragmented quarter section while retaining a wooded landscape that is the character of Greater Bragg Creek. In keeping with this, the *Plan Area* has a density and form intended to reduce the overall development footprint while retaining the natural landscape where possible. This is compatible with the adjacent development to the east and will seek a similar designation to further optimize land use within the Greater Bragg Creek ASP.

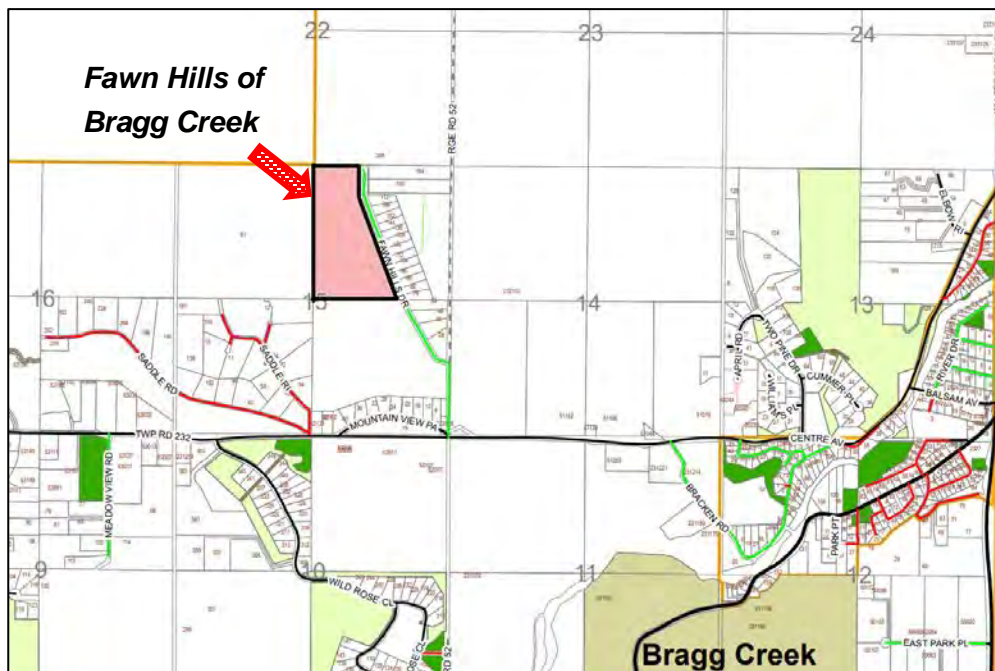
4.0 PLAN AREA DESCRIPTION

4.1 Location

Fawn Hills of Bragg Creek is on a ±30.2 ha (±74.64 ac) parcel in NE-15-23-5-W5M, municipally known as 79 Fawn Hills Drive, Rocky View County. The site is located west of the road on Subdivision Plan 78107084, except Plan 8610299 (which provides for a communal water well to neighbours east of the road). Subject lands are a new residential area in the west policy area of Greater Bragg Creek ASP. Bragg Creek is located 30 km west of Calgary at the confluence of Bragg Creek and the Elbow River before the river travels downstream to the Glenmore Reservoir in Calgary. The subject lands are approximately 2 km from, and 50 m above, lands flooded during the 2013 event.

Immediately northwest of the site is the Tsuut'ina Reserve on former Crown lands. Lands are heavily wooded with Kananaskis Country and its mountains to the west. Views are impressive with the closest mountain peak of Moose Mountain about 15 km to the west. Outdoor enthusiasts visit the popular West Bragg Creek Trailhead about 6 km to the west.

Figure 5: Location



(Source: Rocky View County, 2019, <https://www.rockyview.ca/Portals/0/Files/CountyServices/Maps/Bragg-Creek-Map.pdf>)

4.2 Legal Descriptions & Ownership

Alan Hudye and Ozark Resources Limited each have an undivided $\frac{1}{2}$ interest in the property. The land is registered on Title 071 127 759. Legal description is Meridian 5, Range 5, Township 23, Section 15 that portion of the north east quarter which lies west of road on subdivision Plan 7810784 containing 30.2 hectares (74.64 acres) more or less excepting thereout: Subdivision Plan 8610299 containing 0.004 hectares (0.01 acres). This small parcel that is excluded is a PUL for communal water supplied to existing lots east of Fawn Hills Drive.

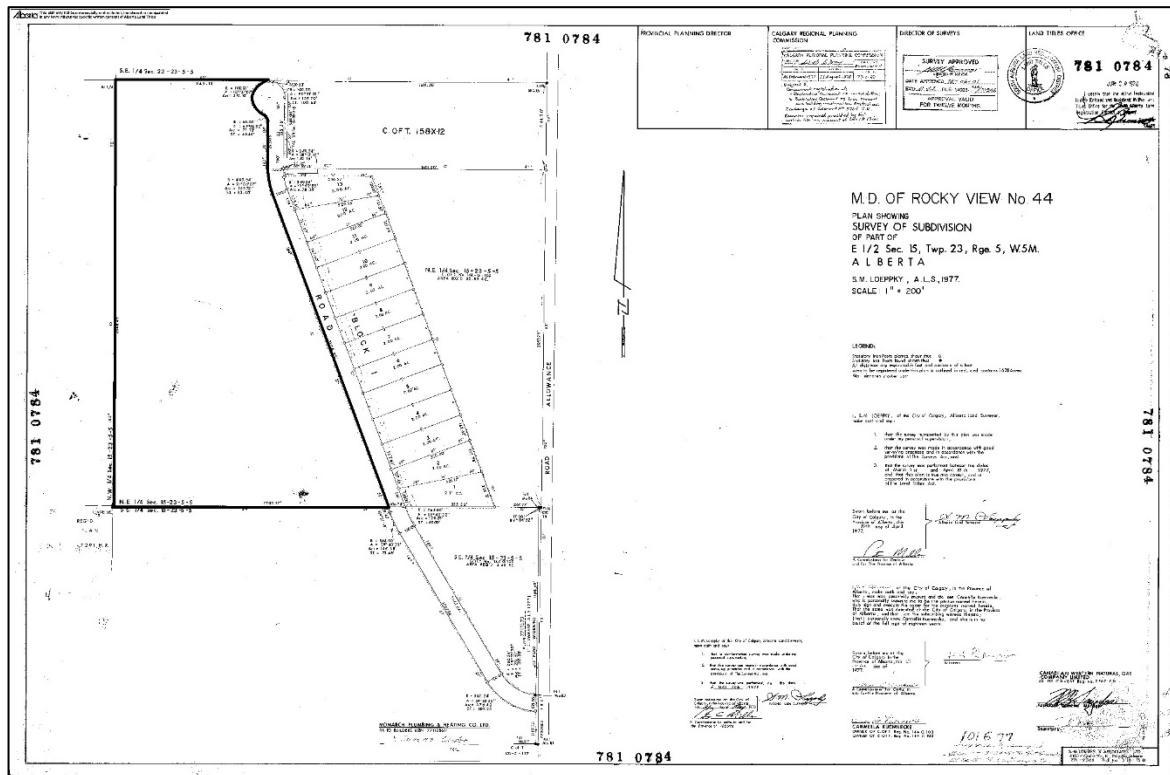
There is a utility right-of-way for Canadian Western Natural Gas Company Limited. A caveat exists for road widening (Fawn Hills Drive) to Rocky View County. There is a utility right of way for Rockyview Gas Co-op Ltd., Fortis Alberta Inc. on title. A restrictive covenant 981 264 397 exists for the subject lands (owned at the time by Susan E. K. Winsor in 1998 under title 901 253 734) where Schedule "B" 5. states....:

" A. No bushes, trees or similar vegetation may be cut or removed except as required for building sites, services and amenities for building sites and access to and from building sites.

B. No building shall occur on any of lands where the slope of the land is not sufficiently stable to accommodate the proposed building sites. In cases of uncertainty the stability of the slope will be determined by an independent engineering study."

An easement 931 044 978 exists over the east half of section 15 for the benefit of NW-15-23-5-W5M (for the neighbouring property to have a driveway to their property) that is located along the southern property line of the subject lands. An easement 931 044 937 from the neighbouring lands in NW-15 for NE-15 provides access ending at a crest of a ridge on a 10 acre portion to crown land adjacent to the northwest corner of the *Plan Area*. Figure 6: Survey shows the lands.

Figure 6: Survey



4.3 The Site

The site is largely undisturbed, with approximately 80% of the land being dense mixed-wood forest on a hillside, and the remaining 20% along the east boundary being a grassed meadow. Less than 10% of the site is currently disturbed land, which includes a homestead with access road and an excavated pond, all located in the south end of the project area within the meadow. Also, an area of the forest has been cleared along the route of the proposed new local road.

The flatter meadow area on the east side of the property, adjacent to Fawn Hills Drive has been used for agricultural purposes over the years. The area has been disturbed, including improving drainage by formalizing a more defined flow path through this area.

4.4 Local Development Context

Bragg Creek promotes itself as, "Gateway to Kananaskis" through the website, www.braggcreek.ca, especially [/braggcreek/welcome](http://braggcreek/welcome). Numerous attractions, trails maps, wildlife opportunities, community and recreational facilities including: Elbow Valley, Kananaskis, Bragg Creek Prov. Park, and Elbow Falls 22 km W of Bragg Creek off Highway 66.

There is a strong sense of community in Bragg Creek as shown in facilities and activities:

- Bragg Creek Community Centre, 23 White Av. (featuring: Full Gym; Kitchen; Youth Room; Meeting Room; Parented Play Group ages 5 & under, Lego Club or Board Game Explorers

ages 5+; events like Friday Fun Rollerblading & Dance party, Friday Movie Night, Tunes for Trails, community rummage sale; bookings for weddings and birthday parties, etc.)



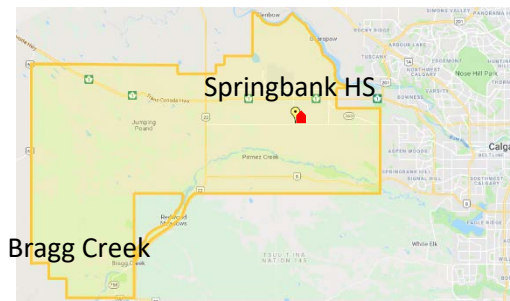
- Community Groups include: Artisans, Chamber of Commerce, Redwood Meadows, Performing Arts, Tennis Club, Trails Association, Bragg Creek Wellness Committee, Family Community Support Services, Snowbirds 50+ Club, Bragg Creek Ladies Auxiliary)
- Snowbirds Seniors' Centre, and
- Bragg Creek Provincial Park (available all year round, water pump, firewood, fire pits, pit toilets, shelter with stove, hiking/cross-country skiing, river access)

Schools serving the area include (<https://braggcreek.ca/braggcreek/schools/>):

- The Little Schoolhouse for Kindergarten as well as a 3 & 4 year-old Preschool
- Banded Peak School for Kindergarten and Grades 1 – 8 (Highway 22, 254 students)



- Springbank High School for Grades 9 – 12 (Bragg Creek in catchment area, 750 students)



- Springbank Middle School for Grades 5 – 8 in both English and French Immersion (just north of the High School at 244235 Range Rd. 33, 560 students)
- Montessori of Redwood Meadows – Bragg Creek for Preschool and Kindergarten

Among the emergency services serving the area are:

- Elbow Valley Fire Station 101 at 31040 Lott Creek Drive which is a full-time station built in 2012 providing fire coverage for the southwest area of RVC.

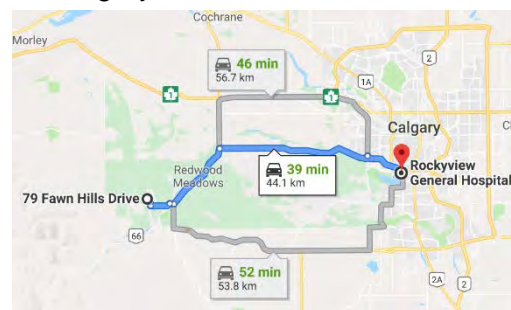
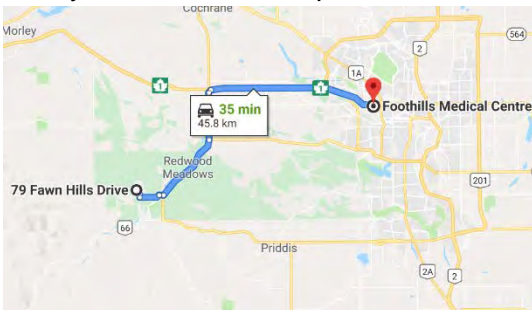


- Springbank Fire Station 102 at 128 MacLaurin Drive
- Redwood Meadows Emergency Services at Redwood Meadows Drive for the townsite of Redwood Meadows and Tsuu T'ina First Nation Reserve and RVC including Bragg Creek



Among the acute care hospitals with emergency services serving the area are:

- Alberta Children's Hospital, 2888 Shaganappi Trail NW, Calgary
- Cochrane Community Care Centre, 60 Grande Boulevard, Cochrane
- Foothills Medical Centre, 1403 29 St. NW, Calgary
- Rockyview General Hospital, 7007 14 St. SW, Calgary



The nearest disposal site is a transfer site accepting: household garbage, yard waste, tires, hazardous waste, and most other waste.

- Bragg Creek Transfer Site, 90 Elbow Rise NE-13-23-5-W5M about 1 km north of the bridge on Wintergreen Rd. operating Wed. 11 a.m. – 7 p.m. & Sat. 9 a.m. – 5 p.m.

RCMP and County Peace Officers serving Bragg Creek include:

- RCMP Cochrane Detachment, complaints 403.932.2211
- RVC, enforcement & compliance 403.230.1401 or on-line form
(<https://www.rockyview.ca/CountyServices/BylawsEnforcement/ReportanIssue.aspx>)

4.5 Adjacent Lands

Geographically, buildings within the *Plan Area* are centred on 50.96° N, 114.61° W at elevation 1350 m above sea level (asl). It provides contiguous development to neighbouring properties as shown in Figure 7: Aerial Image of Adjacent Lands. Locally, the topography is moderately sloped from west to east with drainage towards the southeast. The Fawn Hills of Bragg Creek *Plan Area* is located in an area characterized as country residential. To the east is a 13 lot development of 2 acre lots on Fawn Hills Dr. with some potential for further development in behind. To the south is a 12 lot development of 2 acre lots on Mountain View Park. To the west is a large property that shares a common access over the subject lands. To the north is agricultural land.

Figure 7: Aerial Image of Adjacent Lands



4.6 Existing Transportation Infrastructure

The transportation system serving the area and connecting the hamlet is primarily Township Rd. 232 (W. Bragg Creek Rd.), a two lane, paved roadway and associated trail. Both Fawn Hills Dr. (1.3 km) and Range Rd. 52 (0.45 km section) are two lane, chip-sealed gravel roadways to a 'T' intersection with Township Rd. 232. Fawn Hills Dr. ends in a cul-de-sac at the north east corner of the property. The proposal would add a road, not only to serve the *Plan Area*, but also connections to quarter sections to the west and south. Roads are under the control and jurisdiction of the County.

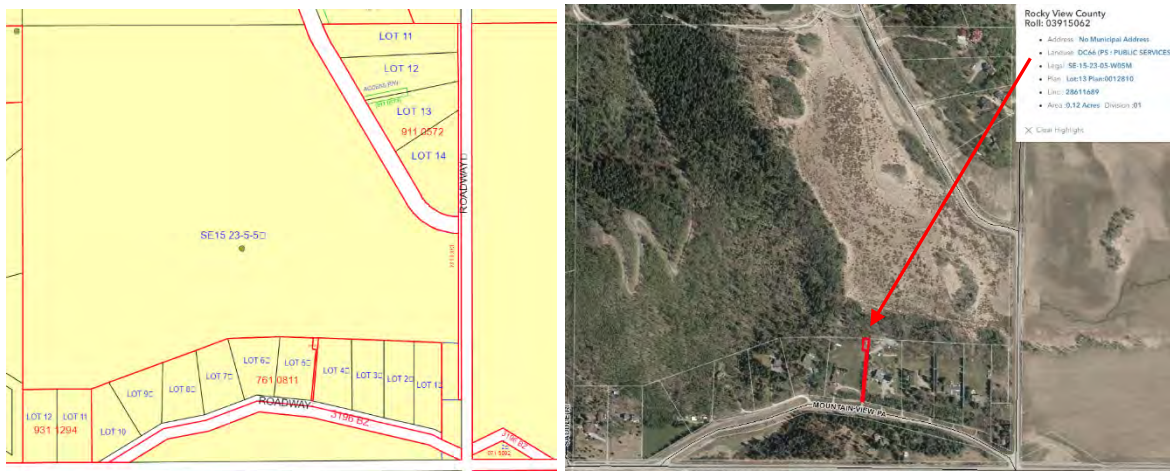
4.7 Existing Groundwater Supply

Figure 8: Communal Well Locations in the Vicinity, shows existing groundwater supply in the immediate area is serviced by communal wells. The *Plan Area* is proposing communal water distribution similar to development to the east and to the south. Lands east of Fawn Hills Drive in the same quarter section are served by a communal well located on lands west of Fawn Hills Drive, being Plan of Subdivision 8610299 Lot 14PUL (Public Utility Lot licensed by F.H.N. Water Association Ltd.) at 12.2 – 15.2 m depth on 0.004 ha (0.1 ac.) adjacent to the *Plan Area*, as confirmed on title. A waterline right-of-way runs parallel and east of Fawn Hill Drive and a pumphouse right-of-way, being Plan 7810784, is directly across the road from the well to distribute potable water serving the existing 13 lots.

Figure 8: Communal Well Locations in the Vicinity

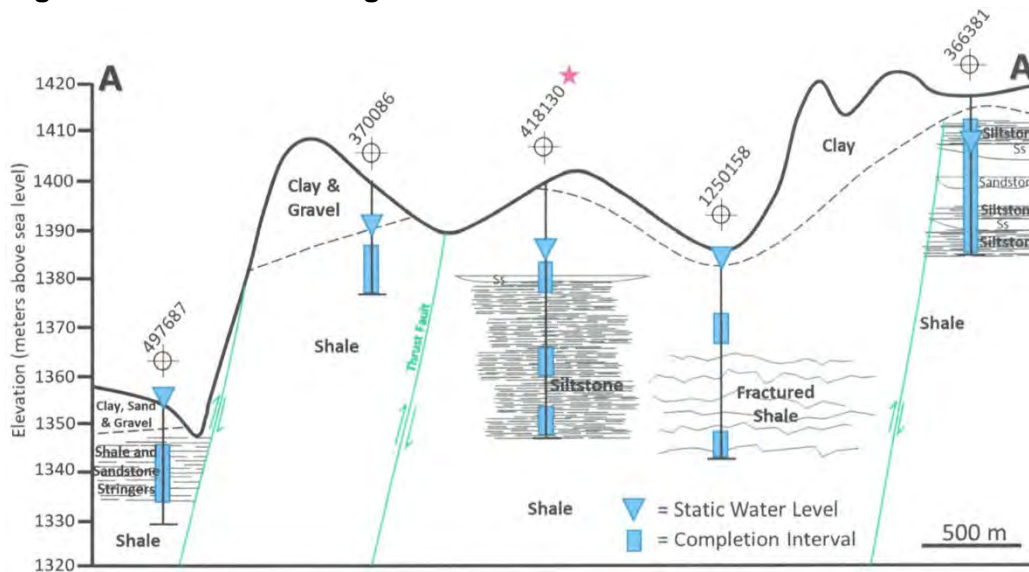


Lands to the south in SE-15-23-5-W5M being the quarter section south of the *Plan Area* are served by a communal well located on Mountain View Park, being Plan of Subdivision 0012810 Lot 13 PS (Public Service lot licensed by Mountain View Park Water & Sewer Cooperative Ltd. and zoned DC-66 by Bylaw C-5129-99) at 29.0 – 35.1 m depth on 0.049 ha (0.12 ac.). The road right-of-way is widened to run parallel to the road known as Mountain View Park to distribute potable water serving the existing 12 lots. Treatment is handled individually at each of the lots.

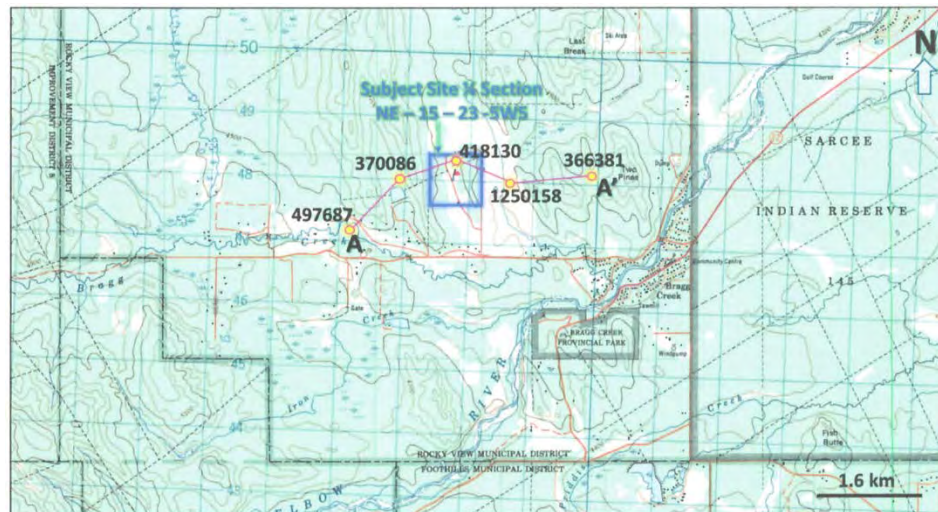


Ken Hugo and Alanna Felske of Groundwater Information Technologies Ltd. (GRIT), 2019 undertook a "Phase 1 Groundwater Site Assessment for 79 Fawn Hills Drive NE-15-23-5-W5M Rocky View County, AB". GRIT looked at well records from 17 wells in the area as part of the reconnaissance report. Wells in the area are completed over shale, fractured shale, siltstone and minor sandstone aquifers. Bedrock strata in this area are predominantly shales of Wapiti and Fernie formation that have undergone thrust faulting leading to a fracture network for groundwater pathways. This explains some similar water levels found, despite being in different aquifer units.

Figure 9: Well Data Geologic Cross Section A – A'



(Source: GRIT, 2019, Phase 1 Groundwater Site Assessment 79 Fawn Hills Drive NE-15-23-5-W5M)



The groundwater well shown as a pink star (418130) in the above figure is in the same quarter section as the *Plan Area* and is in a siltstone aquifer (Wapiti formation). Analysis supports that a future well at the site would also likely be completed in siltstone or fractured shale aquifers at depths between 20 and 50 meters below ground surface. The well could have an anticipated yield between 10 and 75 m³/day (1.5 to 10.5 igpm).

Groundwater chemistry shows a calcium bicarbonate type water with a low concentration of dissolved solids suitable for the intended use. Potential exists for future removal of iron from the water to meet aesthetic objectives in drinking water standards. All other parameters met drinking water standards.

To conclude, the Phase 1 study found sufficient aquifer supplies should exist for the proposal. Water would likely be able to be supplied at rates, as defined in the Water Act, without causing adverse affects to existing domestic, traditional agricultural or licensed groundwater users in the area. Recharge to aquifers by surface water sources and precipitation in this area should serve to make aquifer supplies sustainable.

Wastewater

Wastewater outside of the Hamlet Servicing Area is provided via Private Sewage Treatment Systems (PSTS). Where development shares a communal well, separation distances to septic systems is not an issue on individual properties on private wastewater systems. This further supports 2 acre parcel sizes that do not have to ensure separation distances from an on-site well because the communal well is off-site. There is a reduced risk against contamination of raw water supplies for multi-lot subdivision in the scenarios shown above for groundwater supply. These lots have the ability to connect to a regional wastewater utility should it become available, but is not anticipated in the foreseeable future.

Stormwater

Development in ASP has adopted an “ecological” approach to stormwater management by implementing engineering practices that preserve and maintain the land’s natural capacity to accommodate surface drainage. The *Plan Area* is mostly wooded with moderate slopes that allow for surface water to be absorbed into the forest floor with root uptake by vegetation as part of the natural cycle, such that most stormwater is dealt with on-site using low impact development and best management practices. The subject lands have a restrictive covenant protecting the wooded lands with provisions for building lots and access. A mapping exercise by Carswell Planning Inc. delineated 20.6 ha of the total 30.2 ha *Plan Area* as wooded. This will ensure the retention of at least 65% native vegetation and impervious surfaces limited primarily to the internal road surface and buildings for the benefit of stormwater management.

There is an existing pond to a 10 m (35 ft.) depth over an area of 0.24 ha (0.59 ac.) constructed by the applicant with permissions obtained from Alberta Environment. This is a stocked with trout for the pleasure of the owner and is anticipated to be retained by the owner. For the benefit of stormwater management, another pond will be constructed west of the existing pond with a culvert going under the future road to a ditch towards Fawn Hills Drive. In addition, another pond will be constructed to serve the northern portion of the property in the Phase 1 development, likely at the north end of the MR lands.

Figure 10: Existing Subwatershed Boundary, shows the existing properties east of Fawn Hills Dr. drain onto the subject lands through culverts. Pre-development shows surface water draining downstream to the property to the south. Post-development would direct water to stormwater ponds for sediment to settle and contain storm events for the future plan of subdivision.

Figure 10: Existing Subwatershed Boundary



		OZARK RESOURCES LTD.	
		FAWN HILLS DRIVE SWMP EXISTING CONDITIONS	
SCALE: 1:7500	DATE: JULY 2019	JOB: 2739-001-00	FIGURE: 2.1

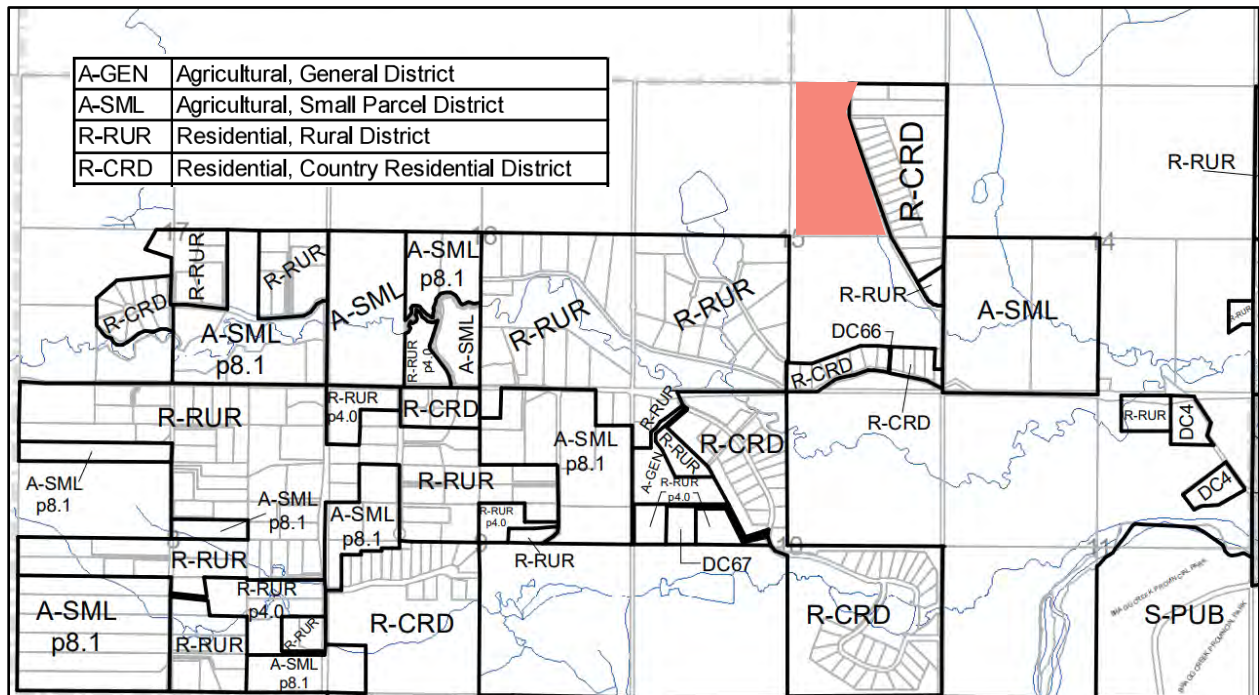
4.8 Existing Soils and Wastewater Servicing

The site is underlain by slightly leached till of Cordilleran provenance. The surficial geology is a ground moraine composed of silty-sand till that is leached from 15 – 45 cm and also contains clast-carbonate and clastic rocks broken down from the weathering of nearby mountain ranges. Underlying this at a depth of approximately 1.2 m is shale bedrock which serves to protect groundwater from contamination by septic fields. In this area of Greater Bragg Creek, wastewater servicing is through a private sewage treatment system. Percolation rates for on-site sewage disposal systems are favourable in the silt soils of the area, provided the septic beds are sufficiently above the water table.

4.9 Existing Land Use

Fawn Hills of Bragg Creek Plan Area is currently designated Agricultural, General (A-GEN) in accordance with RVC Land Use Bylaw C-4841-97, as shown in Figure 11: Current Land Use Bylaw Districts. The *Plan Area* is bordered by Country Residential (R-CRD) to the east in the same quarter section. R-RUR and R-CRD are in the quarter section to the south. Being at the edge of the Greater Bragg Creek ASP, R-RUR is to the west and north.

Figure 11: Current Land Use Bylaw Districts



5.0 DEVELOPMENT CONCEPT

5.1 Development Concept

Figure 12: Development Concept

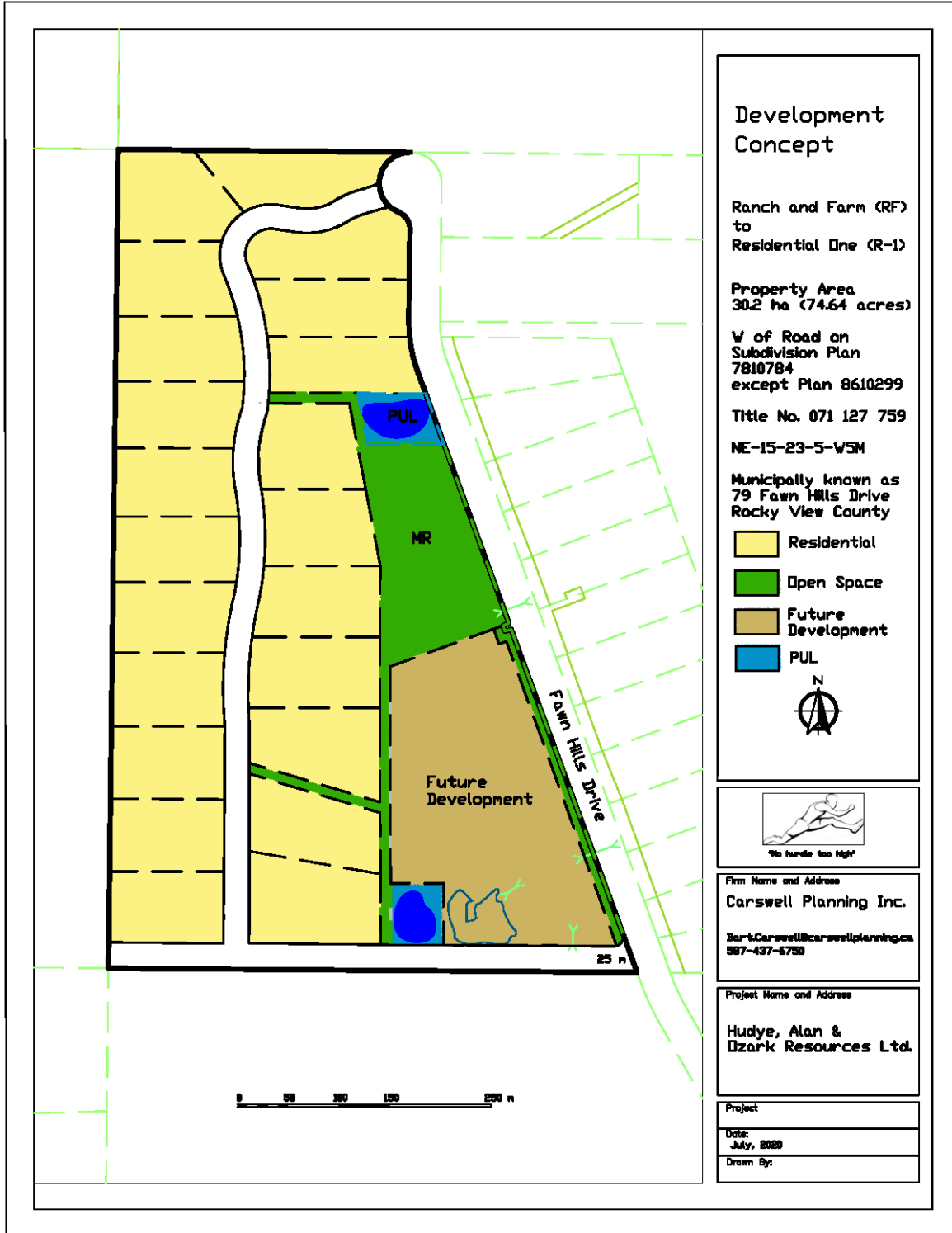


Table 1: Development Concept Calculations

	Land Use	Hectares	Acres	Percentage
	Lot 1	0.83	2.05	2.75%
	Lot 2	0.87	2.15	2.88%
	Lot 3	0.90	2.22	2.98%
	Lot 4	0.82	2.03	2.71%
	Lot 5	0.80	1.98	2.65%
	Lot 6	0.80	1.98	2.65%
	Lot 7	0.80	1.98	2.65%
	Lot 8	0.80	1.98	2.65%
	Lot 9	0.80	1.98	2.65%
	Lot 10	0.81	2.00	2.68%
	Lot 11	0.80	1.98	2.65%
	Lot 12	0.84	2.08	2.78%
	Lot 13	0.80	1.98	2.65%
	Lot 14	0.90	2.22	2.98%
	Lot 15	0.80	1.98	2.65%
	Lot 16	0.95	2.35	3.14%
	Lot 17	0.80	1.98	2.65%
	Lot 18	0.88	2.17	2.91%
	Lot 19	0.80	1.98	2.65%
	Lot 20	1.03	2.55	3.41%
	Lot 21	0.80	1.98	2.65%
	Lot 22	0.80	1.98	2.65%
	Sub-Total	18.43	45.54	61.01%
	PUL (N)	0.36	0.89	1.19%
	PUL (S)	0.32	0.79	1.06%
	MR	2.98	7.26	9.73%
	Future	4.83	11.94	15.99%
	Roads	3.30	8.15	10.92%
	Total	30.2	74.64	100.00%

Figure 12: Development Concept, supports Country Residential (R-CRD) land use designation comprised of: residential lands, open space lands, retained lands, and public utility lots (PUL). Figure 13: Lot Acreage, provides the area of those lots. Table 1: Development Concept Calculations, summarizes the acreage associated with each lot, PULs, MR, roads, and future lands. As the table shows, 22 residential lots are proposed on approx. 75 acres, which is confined to internal road separated by woodlands and meadowlands from the neighbouring properties to the east. The proposed residential lots account for about sixty percent of the total property. MR lands account for about ten percent and the PULs account for about two percent.

The subject lands are located within the Greater Bragg Creek ASP, an area identified for growth in the County. Lot sizes, densities and retention of the natural landscape form the character of Greater Bragg Creek. To look at one aspect without the other considerations would be taking the ASP out of context.

Lot density can be looked at as a character issue. For example, west Bragg Creek is encouraged to have 2 acre parcels with a density of one lot per 4 acres; the south is encouraged to have one lot per 3 acres. There is no justification for these numbers which implies they are based on character. For compatibility, character of the area should take into account the number of lots and density of the neighbouring built out lands.

As stated earlier, adjacent lands to the east have the same land use that the proponent is seeking. Density translates to one lot per 2 acres for total acreage or about one lot per 1 acre for gross developable area acreage (<15% slopes). At this density, the subject lands would have at least 56 lots for gda acreage (<15% slopes). The application is for 22 lots. Carswell Planning Inc., ISL, and Almor, 2020, "Density Report", provides rationale for densities and the number of lots proposed, under separate cover.

Within each lot there is a Development Area of at least 0.4 ha (1 ac.) with most of the parcel being wooded. Development Areas are the portion of lands utilized directly for development purposes, and includes: the driveway access, all structures (buildings), the storage and display areas directly associated with the use, the required landscaping and parking areas as defined in the Land Use Bylaw, and any other area used for development purposes.

The *Plan Area* has set aside open space for the benefit and enjoyment of residents, stormwater management, protection of wildlife movement corridors and the natural environment. With the buildings located off the internal road, the wooded area downslope is preserved for all these functions. In addition, the retained lot has a constructed pond used by wildlife on lands the owner has no intention of developing in the foreseeable future.

5.2 Phasing

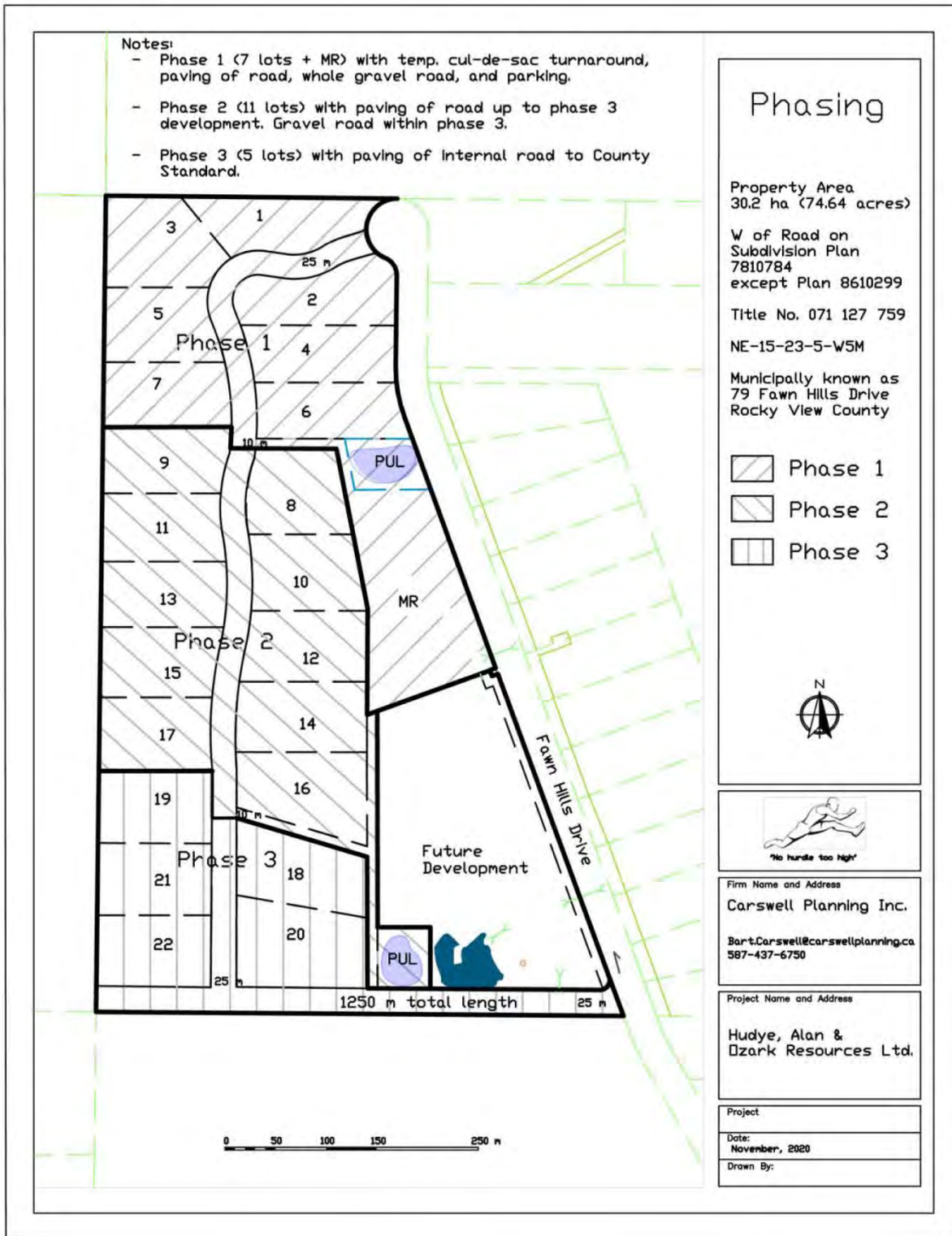
Figure 14: Lot Numbering and Phasing, shows the anticipated progress of development.

Phase 1 is proposed to start from the north utilizing an existing driveway entrance off the Fawn Hills Dr. cul-de-sac. It could consist of seven (7) lots, the proposed north stormwater pond and a connecting trail within open space. The existing driveway would also be the location of the Country Residential road paved to a County standard. A communal well would be installed within Phase 1 to serve the needs of the residents.

Phase 2 is proposed to be a continuation of Phase 1 for an additional ten (10) lots, the proposed south stormwater pond and a second connecting trail with open space. The existing paved road from Phase 1 would be extended and the second access will be gravelled for emergency egress, as per Policy 411 of the RVC Servicing Standards.

Phase 3 is proposed to complete the development for an additional five (5) lots, and a third connecting trail with open space next to the road. The entire internal road (approx. 1.25 km) would be a Country Residential road paved to a County standard.

Figure 14: Lot Numbering and Phasing



Policy

- 5.2.1** Policies contained in this Conceptual Scheme shall apply to lands identified in NE-15-23-05-W5M, which lies west of Fawn Hills Dr., Greater Bragg Creek, Rocky View County on Subdivision Plan 7810784.
- 5.2.2** Lot sizes and configurations shall generally be as described in the Figure 12: Development Concept, Figure 14: Lot Numbering and Phasing, and Table 1: Development Concept Calculations.

5.3 Land Use Concept

Greater Bragg Creek is a highly sought-after community that offers a rural lifestyle with natural areas within driving distance from urban areas utilizing access to major highways. The area will continue to experience development pressures due to its proximity to the Town of Cochrane and the City of Calgary. It also caters to those seeking to be close for excursions such as Kananaskis (K Country), Banff National Park and the Canadian Rockies. **Fawn Hills of Bragg Creek** has its identity as a country residential neighbourhood in the Greater Bragg Creek ASP with proximity to both Cochrane and Calgary.

5.4 Residential Area

As guided by the Greater Bragg Creek ASP, the minimum residential parcel size within the “New Residential Area” can be two acres and the Design Concept reflects that. Figure 15: Potential Country Residential Dwelling, shows how landscaping, driveway configuration and architecture can influence the look of a property, while still meeting Fire Smart recommendations.

Figure 15: Potential Country Residential Dwelling



Policy

- 5.4.1 Single family dwelling units shall be the dominant land use for residential development.
- 5.4.2 The lot sizes of the residential development should be approximately 0.80 ha (1.98 ac).
- 5.4.3 Private lighting, including security and parking area lighting, shall be designed according to the County's "dark sky" Land Use Bylaw requirements for residential lighting in outdoor areas to be directed downward.
- 5.4.4 Steep slopes towards the back of lots on the east side of the internal road should be avoided and left in their natural wooded state as stated by the caveat on title.
- 5.4.4 Home-based businesses may be pursued in accordance with the provision of the Land Use bylaw.

5.5 Municipal Reserves

The dedication of Municipal Reserve (MR) land may be in the form of: land, money in place of land, or a combination of land and money. In this case the ASP asks for land dedication, as per the Municipal Government Act (MGA), of 10%. Identification of a large proposed MR complex is recognized and needs to demonstrate the tangible recreational and park use of these lands and why the County should entertain taking these as MR.

For the roughly 3 ha (7.5 ac.) Municipal Reserve lands, a Disc (Frisbee) Golf Course would be a good fit. This proposal would provide an entry level course designed for families and those wishing to get into the sport. Disc golf courses are popular, especially during times of physical distancing. Parks matter to people. They are cherished places where we play, connect with each other and immerse ourselves in nature. Parks development is vital to the creation of healthy, innovative and liveable communities. "Get Open", RVC Parks and Open Space Master Plan, 2011 identified niche markets for recreation as priority projects and included discs in its promotion.

Disc Golf improvements include a parking area suitable for ten (10) parking stalls, a practice area and nine (9) fairways. The planting of native trees species is shown in the course layout to help define the fairways and provide a visual feeling of focus to the fairway in play. Attention is given integrating the course and enhancing the natural features on the property. Design details will be provided at the subdivision stage. Carswell Planning Inc. 2020, "Fawn Hills Disc Golf -Proposal for MR Lands," provides details on: space, hole count, length, hole notes, tees, targets, discs, signs, par, and layout are provided under separate cover. Figure 16: Disc Golf Course Layout, provides a glimpse of the proposed use of the MR lands. The owner shall build the course and parking area, as well as maintaining the lands. The applicant has demonstrated the tangible recreational use of these lands. There are negligible capital or operation costs expected of RVC.

Figure 17: Disc Golf Tees and Targets, provides an example of the sport, as enjoyed by families for this popular sport. This may be RVC's first Disc Golf Course on MR lands.

Figure 16: Disc Golf Course Layout

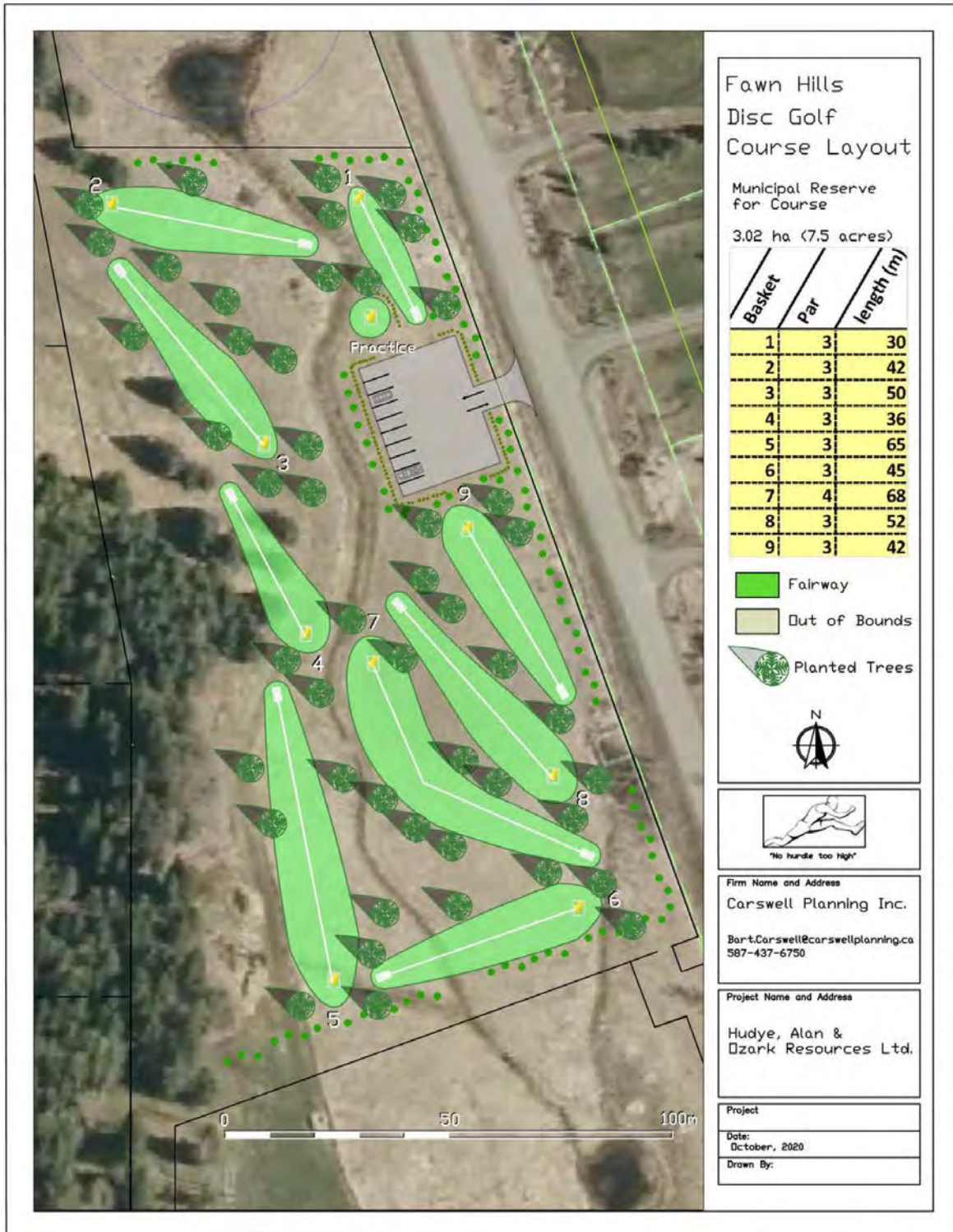


Figure 17: Disc Golf Tees and Targets



Policy

- 5.5.1** Municipal Reserve will be provided as land to contribute to the improvement of public open space systems or recreation facilities in the County.
- 5.5.2** At the subdivision stage, the proponent is expected to provide for construction of a Disc Golf Course, as detailed in *Fawn Hills Disc Golf -Proposal for MR Lands*, in accordance to the terms of an applicable Development Agreement.
- 5.5.3** The maintenance of the Course, in addition to landscape maintenance of dedicated MR lands, shall be in accordance to the appropriate Maintenance Service Level as described in the RVC Parks and Pathways- Planning, Development and Operational Guidelines.
- 5.5.4** The developer shall be responsible for the maintenance and operation of all MR improvements until assumed by the County.
- 5.5.5** The developer agrees to a release agreement, renewable on a periodic basis, with the County for maintenance of the Disc Golf Course fairways on MR lands.

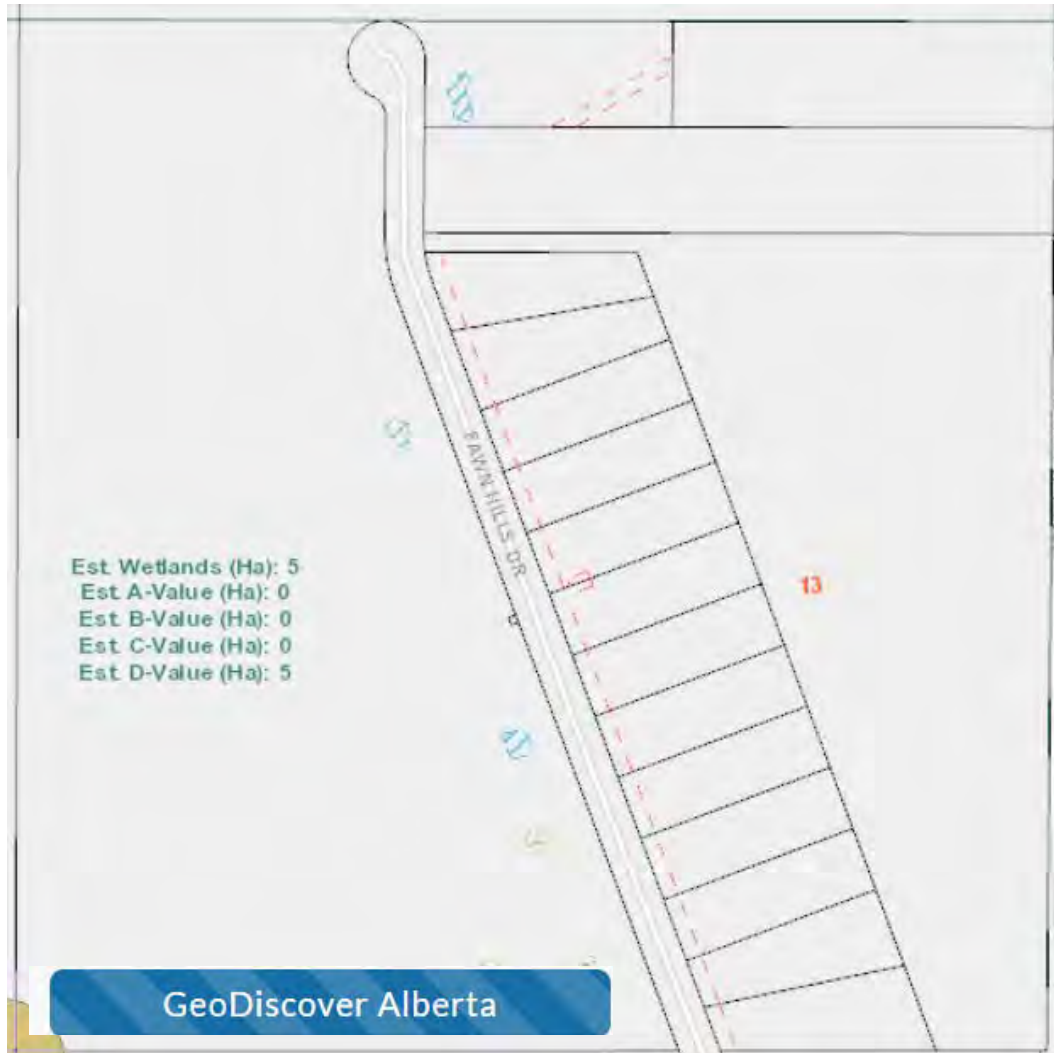
5.6 Environmental Considerations

Wetlands in the Greater Bragg Creek region have been previously identified and mapped according to Alberta Environment and Parks (AEP) Standards (MPE, 2013, Bragg Creek Master Drainage Plan). Figure 18: Wetland Mapping, shows minimal wetlands. The excavated pond was originally a graminoid fen, however it is understood that the owner has previously obtained approval to modify this wetland (available under separate cover).

Overland drainage from the neighbouring properties via culvert onto the subject lands currently occur on the future development area as a meadow adjacent to Fawn Hills Drive. This is intended to be being left in a natural state. Further west, the wooded lands are protected by a restrictive caveat on title where, "No bushes, trees or similar vegetation may be cut or removed except as required for building sites, services and amenities for building sites and access to and from

building sites.” Strict environmental recommendations for the preservation of environmental features are already in place for the *Plan Area*.

Figure 18: Wetland Mapping



Policy

- 5.6.1** Any environmental concerns for the development area of the lands for buildings, structures and access found in the *Plan Area* shall be addressed to the satisfaction of Rocky View County.
- 5.6.2** Encouragement should be given to the County to upgrade ditching adjacent to Fawn Hills Dr. to capture drainage from lands east of Fawn Hills Dr. from discharging onto the subject lands.
- 5.6.3** Existing Restrictive caveats on title protecting the woodlands shall be transferred to any new lots created, as a condition of subdivision.

5.7 Slope Considerations

Figure 19: Photo of Internal Road and Low Slopes (looking south), shows slopes are not an issue for development. Figure 18: Slopes, shows the potential building areas are well away from slopes greater than 15%. Given slopes, stormwater measures, as shown in Figure 28, will be located at the edge of trails in order to divert water off trails.

Almor Testing Services Ltd. was requested to complete a site observations review of the Fawn Hills of Bragg Creek CS on July 10, 2020. Data included Slope and Contour plans provided by ISL Engineering, that indicated very isolated areas at the front and/or back of lots that have a slope of greater than 15%, which is the limits of Rocky View County for slope considerations and review of Factors of Safety. Jim Montgomery, P.Eng. of Almor and geotechnical engineer notes, "We walked through each lot as noted on the plans for proposed building envelopes in the middle of the lots, which are well away from any 15% or greater slopes in either the front or back of lots."

"In review of the actual site conditions, sandy silty clay till and very stiff subsoils, there are no slope stability considerations if the building envelopes and septic fields are placed away or adjacent to slopes greater than 15%. There is well over 1 contiguous acre of development in each of these lots..."

Figure 19: Photo of Internal Road and Low Slopes (looking south)



Policy

- 5.7.1** Steeper slopes towards the back of lots, well away from the internal road, should be avoided for building and left in their natural wooded state, as stated by the caveat on title.
- 5.7.2** Building envelopes and septic fields should be placed away or adjacent to slopes greater than 15% where possible and avoid disturbance of slopes greater than 30%.

Figure 20: Slopes



5.8 Historic Resources Considerations

Circle CRM Group Inc. submitted an historic resource statement of justification under the *Alberta Historical Resource Act*. The *Plan Area* does not currently have a Historic Resource Value (HRV) as per the current (October 2018) Listing of Historic Resources, and there are no previously recorded sites in the vicinity. However, due to its proximity to the Tsuut'ina Reserve, there may be unknown sites within the footprint. The historic resources application was submitted May, 2019 (#016692198) to verify.

Policy

5.8.1 Any historic resources found in the *Plan Area* shall be addressed to the satisfaction of the Historic Resources Management Branch, Alberta Culture and Tourism.

5.9 Transportation -Roads

Addoz Engineering Inc, 2019 prepared a *Brief on Transportation Impact of the Fawn Hills Redesignation to a Residential Development, 79 Fawn Hills Dr., Rocky View County, Alberta* to satisfy consideration of **Fawn Hills of Bragg Creek CS** and future redesignation and plan of subdivision. It addresses the location of existing and future transportation networks detailing traffic generation and its cumulative impacts on the road network, including necessary improvements based upon traffic volume and engineering advice.

Using the Institute of Transportation Engineers (ITE) Trip Generation Manual 10th Edition for a single-family detached housing, additional trip generation is based the proposed development during weekday a.m. and p.m. peak hours and daily trips. A traffic count and the intersection of Fawn Hills Drive and Range Road 52 was completed during a 24-hour period from 4:30 p.m on Wednesday May 8, 2019 to 4:30 p.m. Thursday May 9, 2019. The proposed development was added to these counts, as well as on Range Road 52 between Fawn Hills Drive and Township Road 232.

Figure 21: Country Residential (CR) Cross-Section, shows how the internal road would be designed. RVC Servicing Standards would apply and paving would occur with each approved phase of development.

Figure 21: Country Residential (CR) Cross-Section

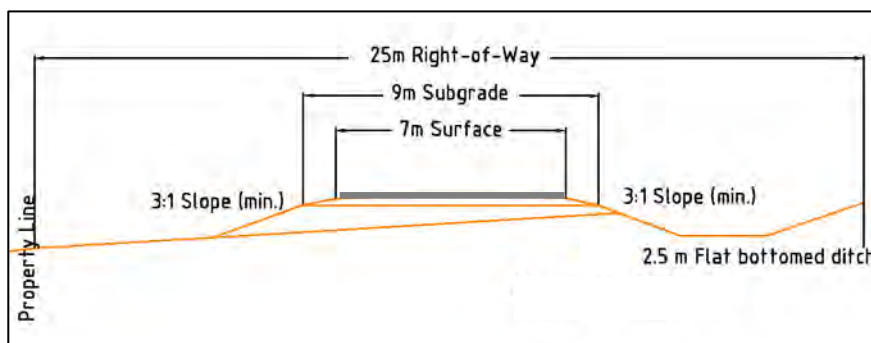
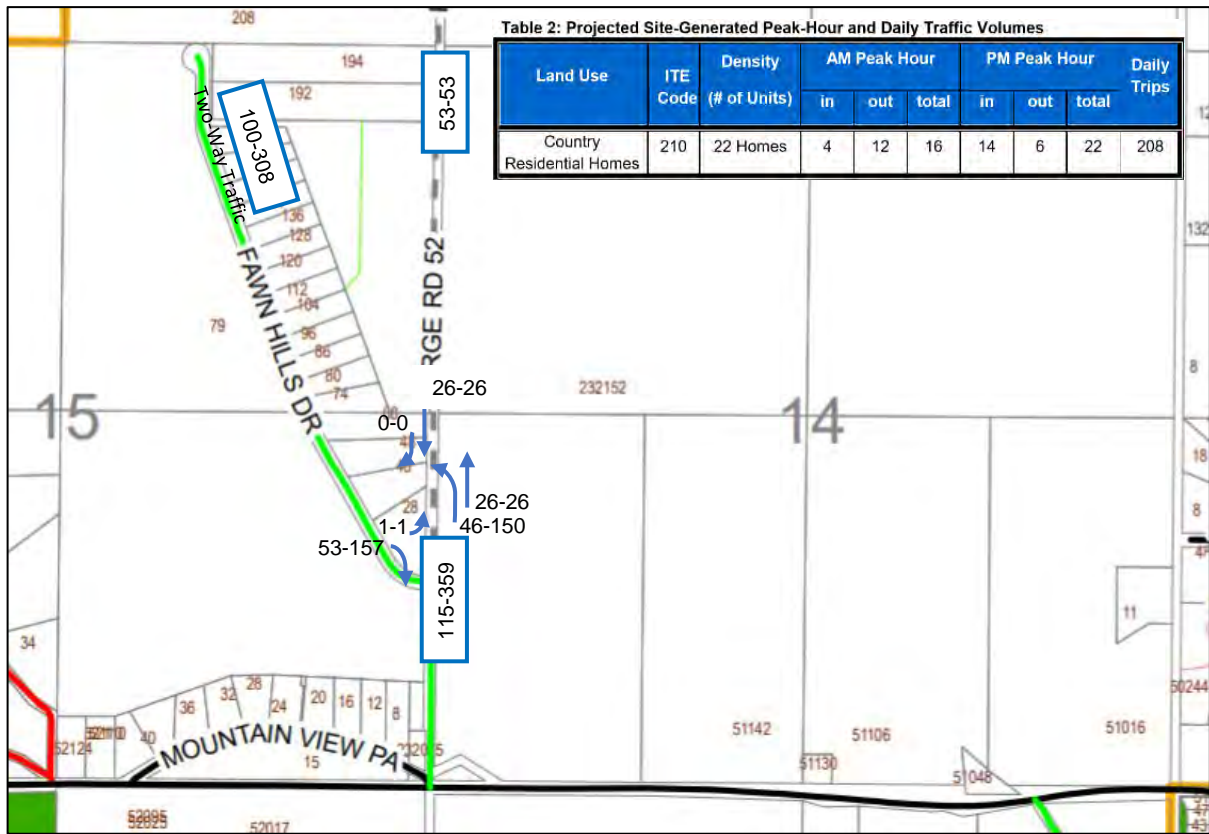


Figure 22: Range of Existing–Future Average Daily Traffic Volumes



(Source: Adapted from Addoz Engineering Inc., 2019, Brief on Transportation Impact of Fawn Hills Redesignation, RVC)

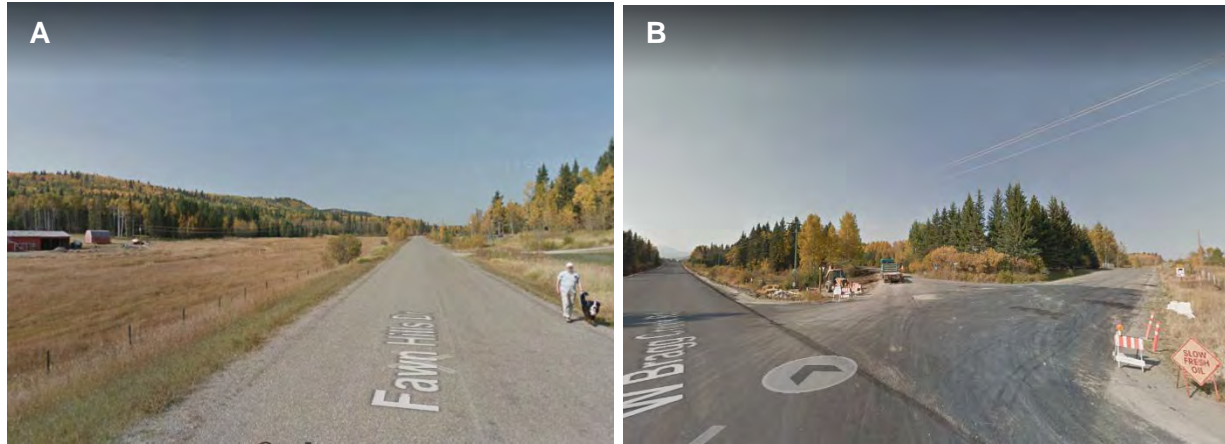
Figure 22: Range of Existing–Future Average Daily Traffic Volumes, graphically shows the proposed development would generate low numbers of peak hours and daily traffic volumes that would not be expected to negatively impact the operations of the vicinity roadway system.

RVC 2013 Servicing Standards, Table 400-F was consulted in order to check if the future traffic volume levels on Fawn Hills Dr. and Range Road 52 would still meet the servicing standards for their current road type. The classification of these two roads is considered “Regional Moderate Volume (400.9)”, which are described as moderate traffic volume regional network roads; through and non through road with less than 500 vehicles per day (vpd). Existing and proposed traffic counts combined suggest Fawn Hills Dr. is projected to carry 308 vpd and Range Road 52 south of Fawn Hills Dr. is projected to carry 359 vpd, both of which are less than 500 vpd. Therefore, these two roadway sections would continue to meet the Rocky View County Servicing Standards, with the proposed 22 Lot Residential Development.

Figure 23: Streetview Showing A) Fawn Hills Dr., B) Twp. Rd. 264 and Range Rd. 41, shows the chip-seal of the former and pavement of the later. The distance from the intersection of W Bragg Creek Rd. (Twp. Rd. 232), along Range Rd. 52, then north to where Fawn Hills Drive ends is approximately 1.8 km long and provides access to the subject lands. Currently, there are driveway entrances from 2 acre lots on the east side of Fawn Hills Drive and limited entrances on the west side. New development on the west side would better utilize both sides of the County

road. The internal public road is proposed to have two entrances to serve the proposed lots and would likely be paved, chip-sealed like Fawn Hills Drive, or alternative surface treatment meeting County servicing standards.

Figure 23: Streetview Showing A) Fawn Hills Dr., B) Twp. Rd. 264 and Range Rd. 41



The Addoz *Brief* concluded that there should be no requirement for future expansion of the existing transportation network to accommodate traffic generated from the proposed development. Further, there should be no mitigation measures needed to ensure the function and integrity of the transportation network (ie. noise attenuation measures, buffering or screening, setbacks).

Further to the Addoz *Brief*, Bunt and Associates Transportation Planners and Engineers Ltd., May 2020 prepared a *Transportation Brief*, available under separate cover. It addresses the outstanding scope including the intersection of TWP 232/RR 52 for the Opening Day (5 year) and Future (20 year) horizon and after development scenarios. Scope is to look at the following:

- Review the intersection of Fawn Hills Drive/Range Rd. 52 for the Opening Day horizon (utilizing the counts completed by Addoz Engineering).
- Review link volumes and provide commentary on the environmental capacity of the roads.

In addition to this scope, Bunt's *Brief* also reviewed the following aspects;

- Geometry of the Twp 232/Range Rd. 52 intersection,
- Illumination Warrant,
- Sight Lines

Figure 24: Existing Intersection Configuration, shows the geometry of the Twp 232/Range Rd. 52 intersection poses an existing safety concern with visibility with other vehicles approaching the intersection, as well as pedestrians and cyclists on the multi-use path. Figure 25: Intersection Improvements shows recommendations to improve the safety of this intersection. It is noted that these recommendations are valid with or without consideration of the development of the subject site and should be identified by RVC as a roadway improvement despite development proposed. Figure 26: Roads, provides the internal road layout for the proposal with two entrances. A portion of the internal road already exists as a driveway from the northern cul-de-sac of Fawn Hills Drive.

Figure 24: Existing Intersection Configuration

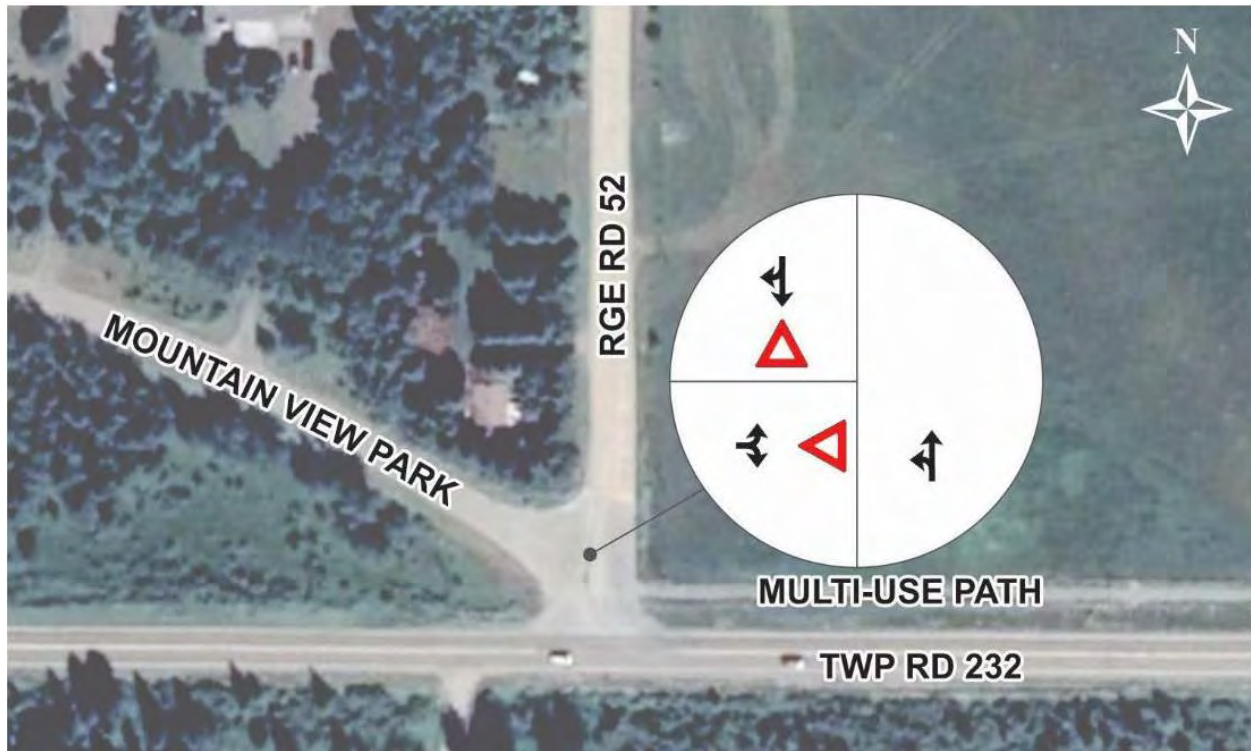


Figure 25: Intersection Improvements

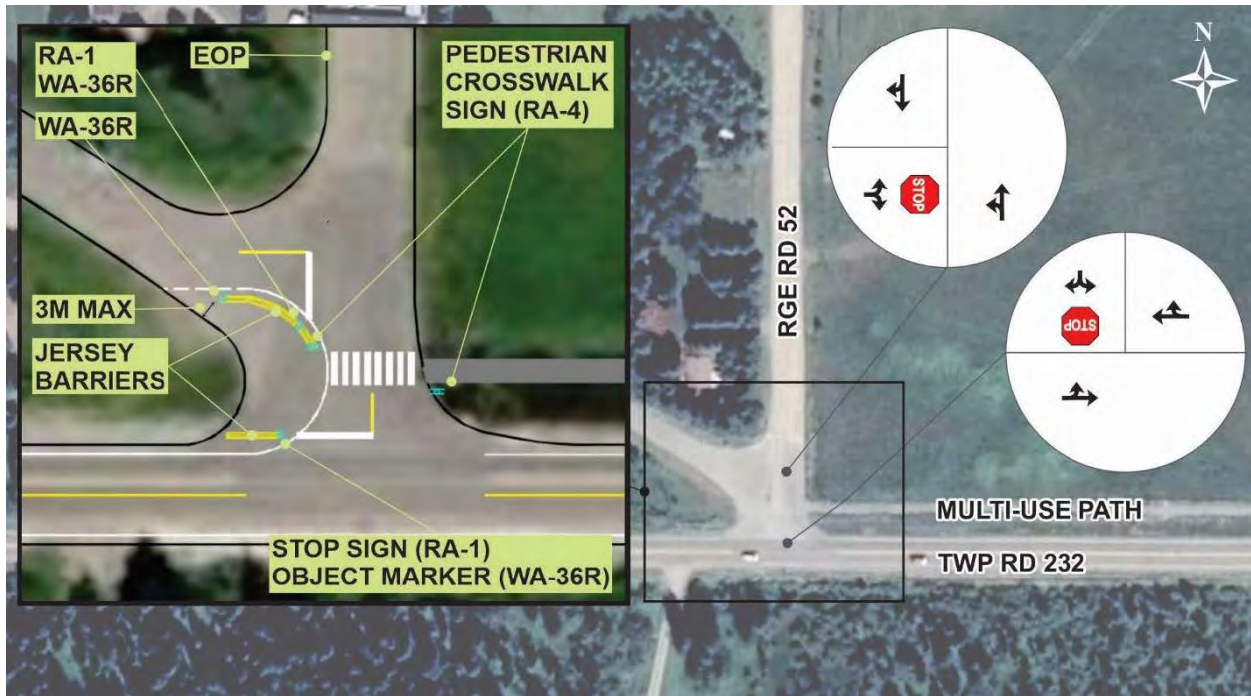
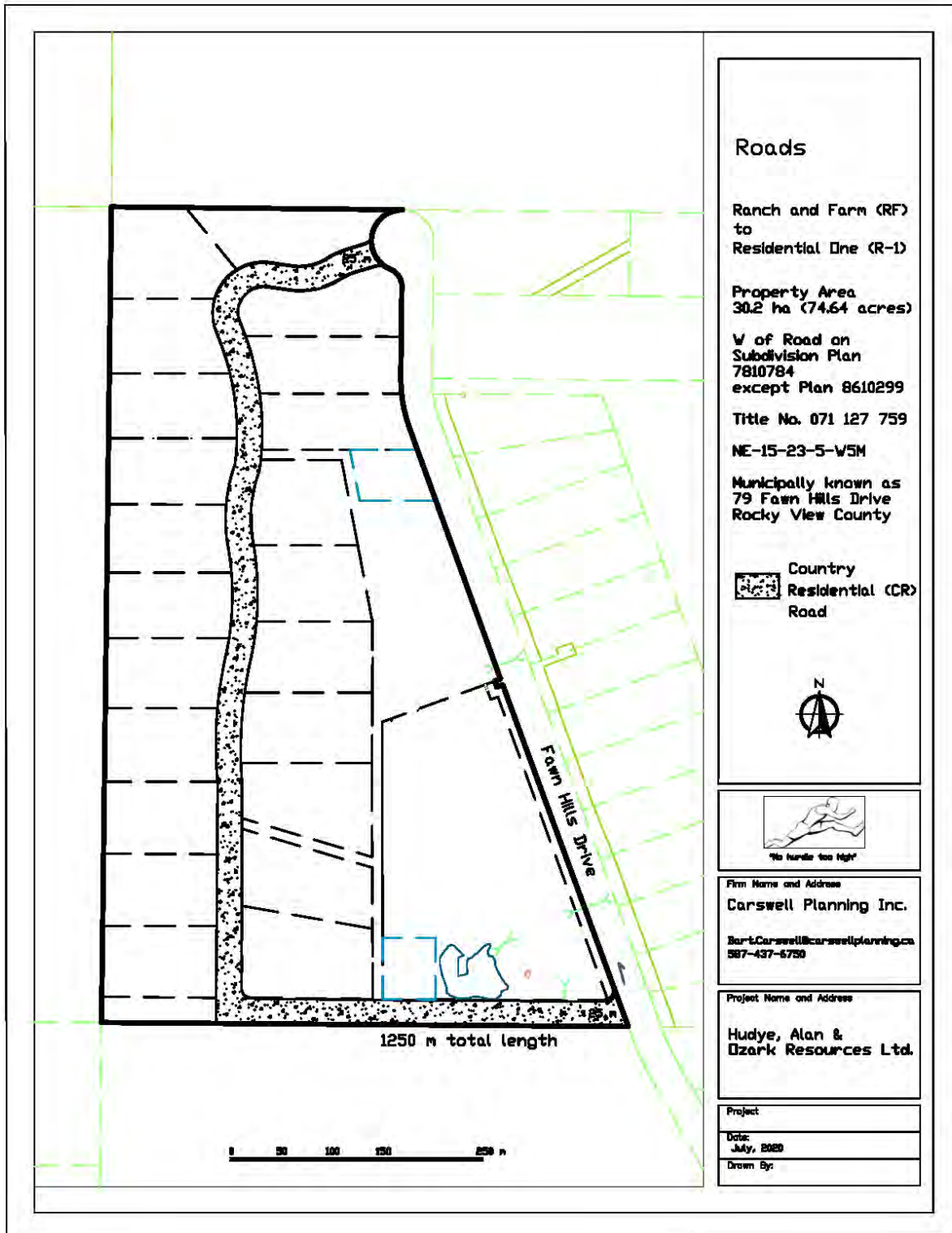


Figure 26: Roads



Policy

- 5.9.1** Roads shall be established in the Plan Area, as generally identified on Figure 24: Roads.
- 5.9.2** Roads shall be constructed in accordance with Rocky View County Servicing Standards.
- 5.9.3** Consideration will be given to a second entrance for vehicular traffic once the number of lots result in 10 lots or greater, as per Section 411 of the Servicing Standards, 2013.
- 5.9.4** Consideration will be given to coordinate future development and access patterns and shall address relationships and linkages with lands beyond the *Plan Area* in order to promote integrated connections.
- 5.9.5** Consideration will be given to recommendations of the *Bunt Transportation Brief, 2020* with respect to improvements to the Twp. Rd. 232 / Range Rd. 52 intersection.
- 5.9.6** Consideration will be given to entering into a development agreement with the County, at the subdivision stage, for any off-site transportation improvements to the intersection of Range Road 52 and Twp. Rd. 232, as noted in Figure 21: Intersection Improvements in the Bunt report, to the satisfaction of the County.
- 5.9.7** Compensation of Transportation Offset Levies imposed at the subdivision stage should be provided in exchange for the upgrading of any road or intersection serving the subject lands and environs.
- 5.9.8** Road names, in accordance with approved municipal policy, will be determined at subdivision stage.

5.10 Transportation – Trails

Figure 27: Local Pathway or Trail

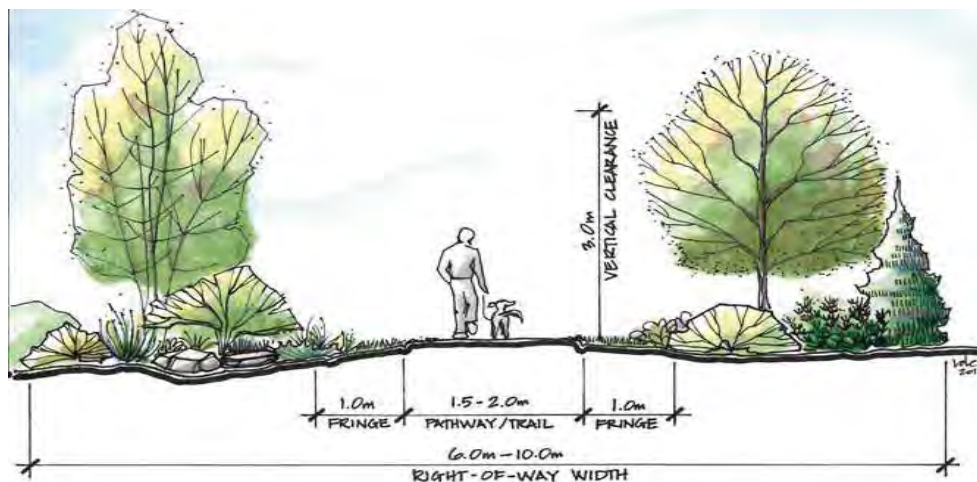


Figure 27: Local Pathway or Trail, shows how the trails on the subject lands could be designed, as per RVC Parks and Pathways -Planning Development and Operational Guidelines.

Figure 28: Trails and Open Space, shows a 10 m wide offsite connection to trails in the northwest and a 10 m wide future connection the Great Trail of Canada aka Trans Canada Trail to the south.

Figure 28: Trails and Open Space

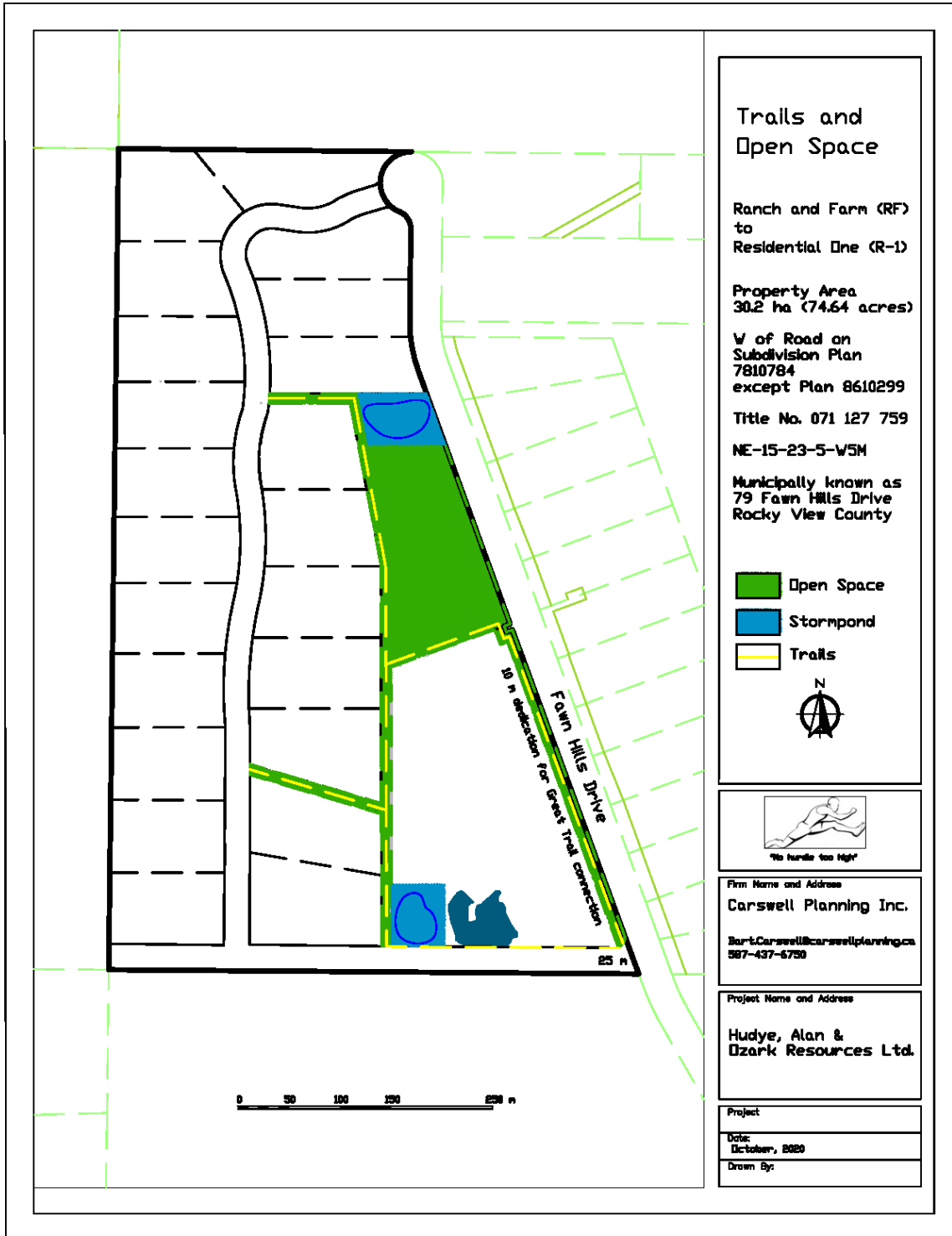
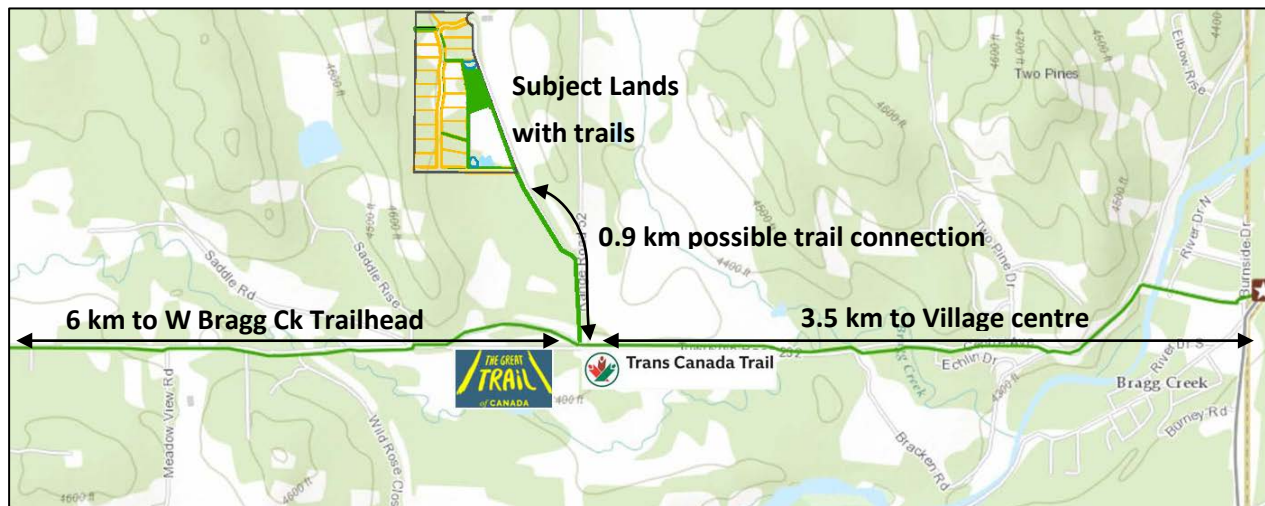


Figure 29: Great Trail Connection, shows a relatively small distance needed for the subject lands to reach the Great Trail of Canada aka Trans Canada Trail. To the west, The West Bragg Creek Day Use Area at the end of W Bragg Creek Rd has a relatively new, expanded parking area. This provides a hub of other trails for hiking, biking, dog walking, cross-country skiing, snowshoeing, and other activities. To the east, the Great Trail connects to the village of Bragg Creek.

Figure 29: Great Trail Connection



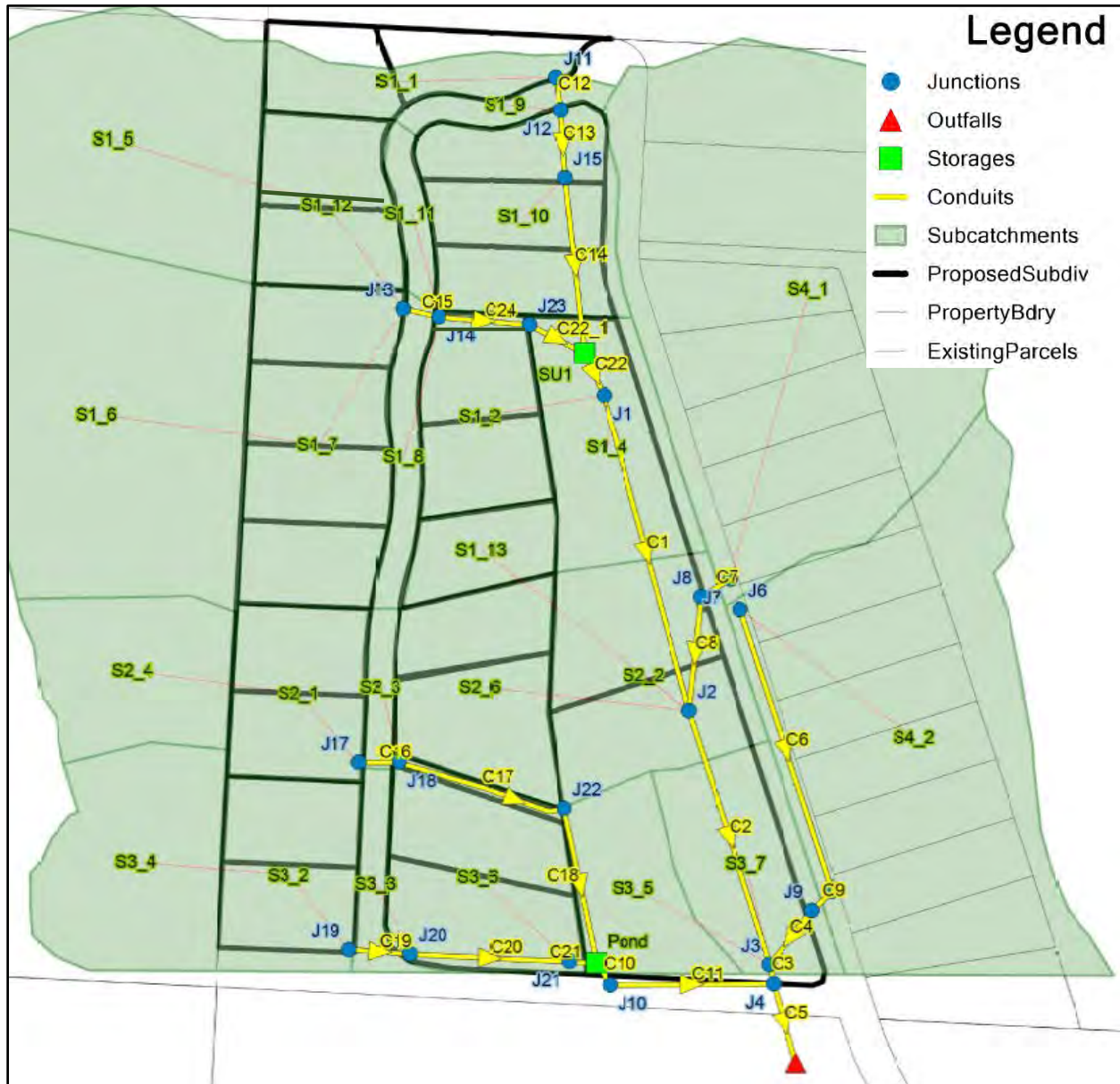
Policy

- 5.10.1 Local trails shall be established in the Plan Area, as generally identified on Figure 26: Open Space and Trails.
- 5.10.2 Encouragement should be given to the County to connect the subject lands to the trail system along Township Road 232.
- 5.10.3 All pathway or trail design, and construction shall be in accordance with the Servicing Standards. At the subdivision stage, the proponent is expected to provide typical park amenities in accordance to the terms of an applicable Development Agreement
- 5.10.4 The maintenance of trails in addition to landscape maintenance of dedicated MR lands shall be in accordance to the appropriate Maintenance Service Level as described in the RVC Parks and Pathways- Planning, Development and Operational Guidelines.
- 5.10.5 The developer shall be responsible for all maintenance and operation of all MR improvements (including pathway or trail infrastructure) until assumed by the County.
- 5.10.5 To ensure encroachment does not occur from private lots into the indicated 10 m wide linear MR access points and SE road/private property alignment, fencing will be required to be installed on adjacent property.

5.11 Utility Services - Stormwater

Figure 30: Proposed Stormwater Model, shows subdrainage areas affecting the SWMP for the subject lands. Properties off-site that are east of Fawn Hills Dr. drain onto the subject lands via culverts towards the outfall in the south over natural drainage paths that should not be confused as riparian in nature.

Figure 30: Proposed Stormwater Model



MPE Engineering Ltd. conducted a Stormwater Management Report (SWMP), revised May 2020, for the *Plan Area* and environs. The report is available under separate cover. The drainage system for the proposed development is planned to be typical of rural settings, using vegetated grass swales to convey flow to the stormwater ponds. Two new ponds are proposed, one serving the north and one serving the south portion of the development. The existing pond will remain as an aesthetic feature, which will continue to pick up minor amounts of groundwater and have little effect on peak flow rates or runoff volume.

The two proposed stormwater ponds are designed to release at a flow rate that does not exceed existing predevelopment conditions, and therefore avoid adverse impacts downstream, such as flooding. To help reduce post-development runoff volume, absorbent landscape (300 mm thick topsoil) is proposed on each residential lot. Runoff from the impervious areas of the lot are to be directed towards the absorbent landscape to encourage increased evaporation and infiltration; however peak discharges will not be significantly affected. Runoff from the absorbent landscape will then be directed through the existing native vegetation, depending on the configuration of the lot.

Development in ASP has adopted an “ecological” approach to stormwater management by implementing engineering practices that preserve and maintain the land’s natural capacity to accommodate surface drainage. The subject lands are mostly wooded with low to moderate slopes that allow for surface water to be absorbed into the forest floor with root uptake by vegetation as part of the natural cycle. This allows for most stormwater to be dealt with on-site using low impact development and best management practices.

Figure 31: Post – Development Drainage Conditions, shows drainage managed with ditching, rain gardens for select lots and the use of grassed and rock-lined swales along the pathways leading to the stormwater ponds. Rain gardens would be shaped to fit the slope of the land. Culverts will provide stormwater conveyance at driveway entrances and road crossings. Grassed swales will intercept flow from residential lots that grade away from the road. Swales located on steeper slopes will be reinforced to prevent erosion where they have significant slopes due to the natural topography. Swales with slopes between 2% and 5% will be reinforced grass lined and slopes greater than 5% slope will be rock lined where shear thresholds are exceeded.

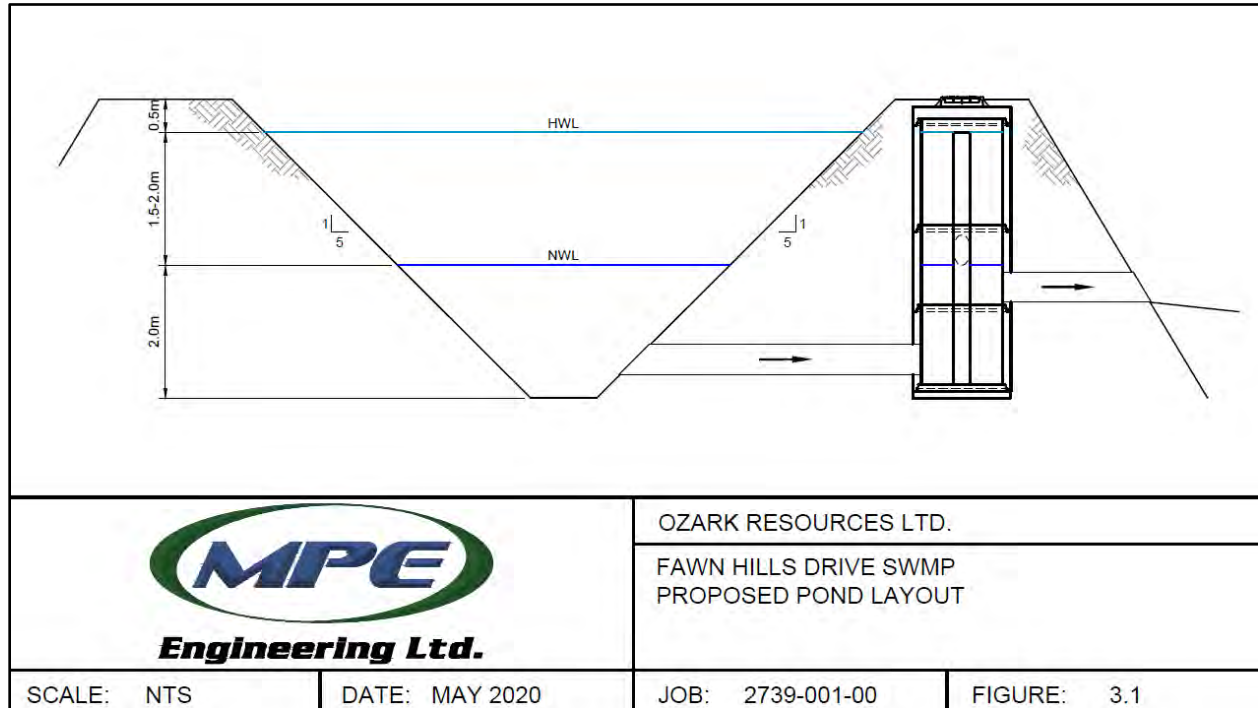
Runoff from the 5 lots directly adjacent to the municipal reserve (MR) will be managed using Low Impact Development practices such as absorbent landscaping and rain gardens. This will avoid the need for swales to intercept and convey runoff from these lots to the stormwater ponds. The impervious area from downspouts and paved area will be generally directed to the rain gardens and then overflow to the landscaped areas. Approximately 80 m² of rain garden area for every 500 m² of impervious area has been assumed to manage the site runoff and control peak flows. Due to the absorbent landscape and routing of the proposed drainage into the stormwater ponds, the runoff volume decreases by approximately 10% in the proposed scenario.

Figure 31: Post - Development Drainage Conditions



Figure 32: Storm Ponds, shows a typical cross-section of a wet pond. The intent is to have these as wet ponds not only for stormwater, but also additional water sources for fire suppression using the drainage swales for firehoses to reach the future plan of subdivision or woodlands.

Figure 32: Storm Ponds



Conclusions and recommendations from the *Stormwater Management Report* include:

- The overland stormwater drainage system has the capacity to safely manage the 1:100 year storm event.
- Stormwater ponds are sized to control the post-development release rate off the site to match the existing conditions.
- Five adjacent lots west of the municipal reserve (MR) area will control their stormwater discharge using on-site rain gardens rather than being directed to the stormwater ponds.
- Utilizing absorbent landscape on the lots will provide additional runoff volume control to help ensure no erosion impacts downstream.
- Velocity depth relationships of the proposed grassed swales are all below the AEP guideline limits.
- Water quality will be controlled adequately using absorbent landscape, grassed swales and pond settlement.
- It is recommended that this stormwater management design be utilized in the proposed development in order to adequately control unit area release rate (UARR) and runoff volume.
- Stormwater management plans should be submitted to Alberta Environment and Parks (AEP) for approval prior to construction.

Policy

- 5.11.1 Development within the *Plan Area* shall generally conform with the stormwater management plan referenced in this Conceptual Scheme.
- 5.11.2 Consideration will be given to low impact development (LID) stormwater management methods for the proposed lots by having: an absorbent landscape directed to existing native vegetation where possible and the use of grass swales, as a condition of subdivision approval.
- 5.11.3 Consideration will be given to minimizing extensive stripping and grading, while also protecting natural depressions in the landscape as part of the overall design of the stormwater management, as a condition of subdivision approval.
- 5.11.4 Consideration will be given to indicate how best management practices will be observed during construction of all stormwater control facilities, as a condition of subdivision approval.
- 5.11.5 Public Utility Lots (PUL) will be dedicated to the County that are identified as stormwater ponds as per the stormwater management plan referenced in this Conceptual Scheme, in accordance with the MGA and the County Plan, as a condition of subdivision approval.

5.12 Utility Services – Water

Ken Hugo of Groundwater Information Technologies (GRIT) conducted a Phase 1 Groundwater Study for a proposed subdivision located in NE-15-23–5-W5 in order to understand the quality and distribution of aquifer resources in the area as they relate to the future development of the property and its water requirements. Expansion of the County system is not feasible at this time and a communal water system is preferred in order to facilitate future expansion of the County system to the subject land.

Sufficient aquifer supplies should exist for the proposal. Water would likely be able to be supplied at rates as defined in the *Water Act* without causing adverse effects to existing domestic, traditional agricultural or licensed groundwater users in the area. Recharge to aquifers by surface water sources and precipitation in this area is expected to occur which should serve to make aquifer supplies sustainable.

The best aquifer target would be fractured aquifer units belonging to the folded and faulted siltstone or shale units found at depths between 20 - 50 meters below ground surface. Projected water yields within this unit are likely up to 100 m³/day (15 imperial gallons per minute) based on pumping test data from surrounding wells and maps generated in previous consulting reports.

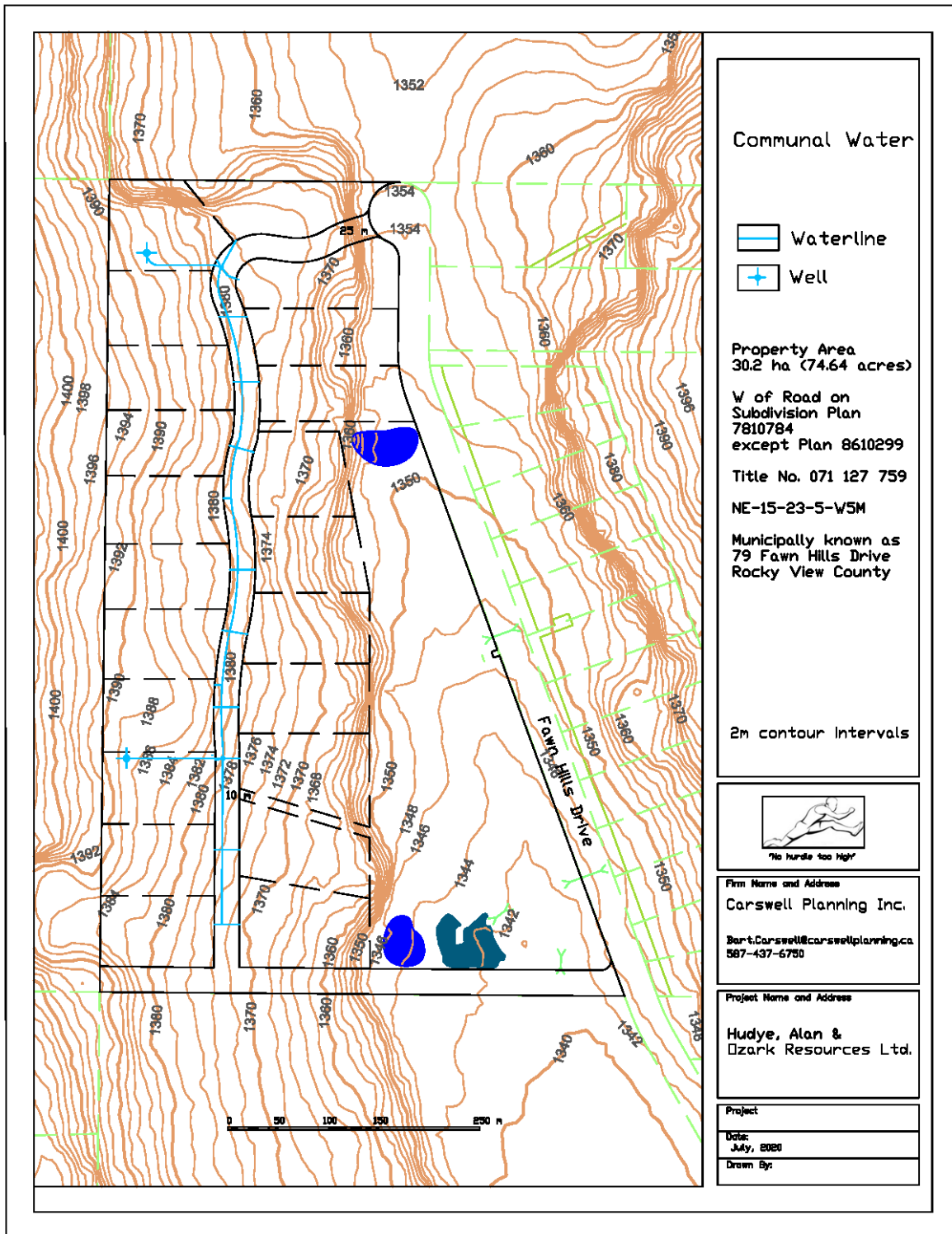
Groundwater chemistry reports from wells in the area were evaluated for their suitability of the water to be used as a drinking water source. A treatment facility could be part of the water supply as well. Groundwater in the area contained a low concentration of dissolved solids (Total Dissolved Solids Concentration of 248 mg/L). Overall, the distribution of potable water for ***Fawn Hills of Bragg Creek*** can be met via communal wells.

Figure 33: Communal Water, shows a concept of two communal wells serving the area. Both could be located above 1386 m asl via easements to ensure pressurized water serves the lots. It would also provide alternative sources for water to ensure good pumping rates at source.

Policy

- 5.12.1 Consideration will be given to private communal water servicing solutions to distribute potable water for new lots.
- 5.12.2 If a communal water system is approved for the proposed development, it should be established in accordance with County Policy 415, including a turn over strategy for water infrastructure and licensing. The County may require that deferred servicing agreements be secured in order to ensure that new lots connect to regional, municipal or co-op water utility system, when those systems become available, as a condition of subdivision approval.
- 5.12.3 A water treatment facility serving the communal water supply is recommended prior to use as a drinking water source.
- 5.12.4 The water system should take into account fire protection standards and best practices for water distribution.

Figure 33: Communal Water



5.13 Utility Services – Sanitary Wastewater

Sewage treatment and disposal should be managed on site with individual septic tank and tile field installations. RVC prefers a minimum of 0.4 ha (1 acre) of developable land on each lot proposed.

Almor Testing Services Ltd., 2001 *Preliminary Shallow Subsurface Conditions* was prepared for geotechnical work in accordance with RVC Standards. Soil conditions at the septic tile field locations consist predominately of light olive clayey silt (till), with a trace to some sand and a trace of pebbles. Percolation rates were recorded between the specified limits of 2 min/cm and 23.6 min/cm. The groundwater table is below a minimum of 1.5 m distance from the weeping lateral trench for the most part.

Figure 34: Private Treatment Retrofit to Public Treatment, shows private wastewater servicing solutions for new lots. Should the County extend County sewer mains to the subject lands, a pressure sewer line could be run from the dwellings to the sewer line, where it continues on gravity. A feasibility study conducted by Ken Hugo of Solstice (formerly GRIT) determined it to be cost prohibitive at this time.

Figure 34: Private Treatment Retrofit to Public Treatment

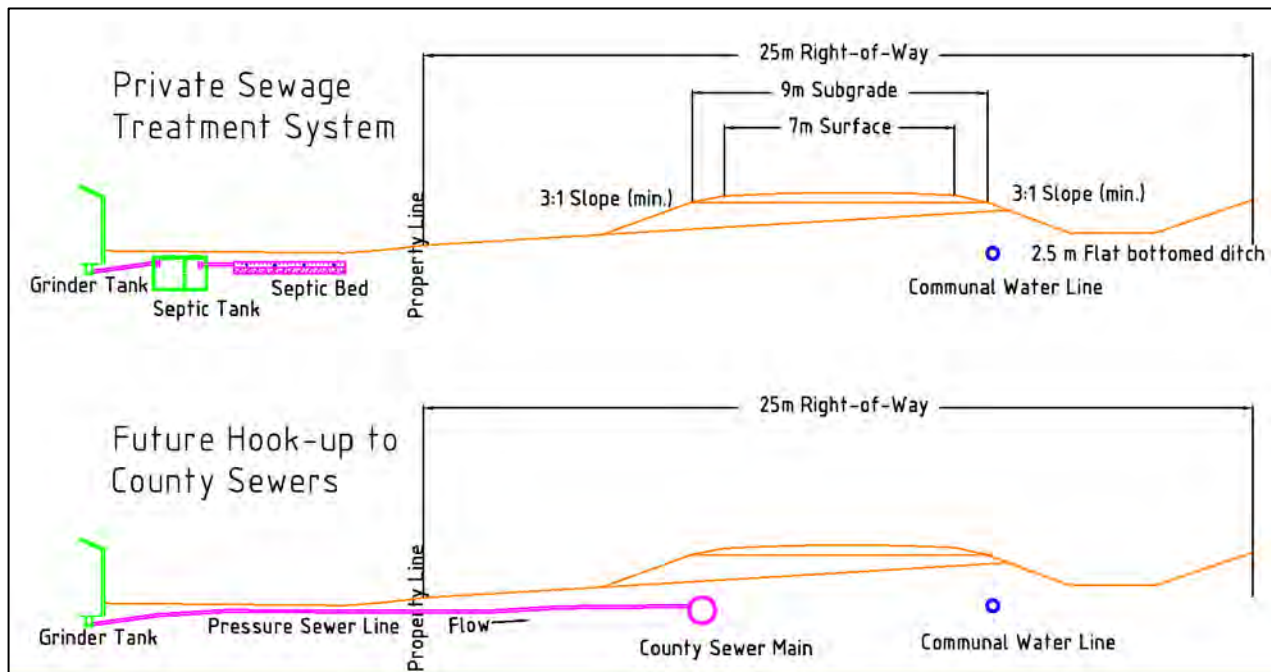
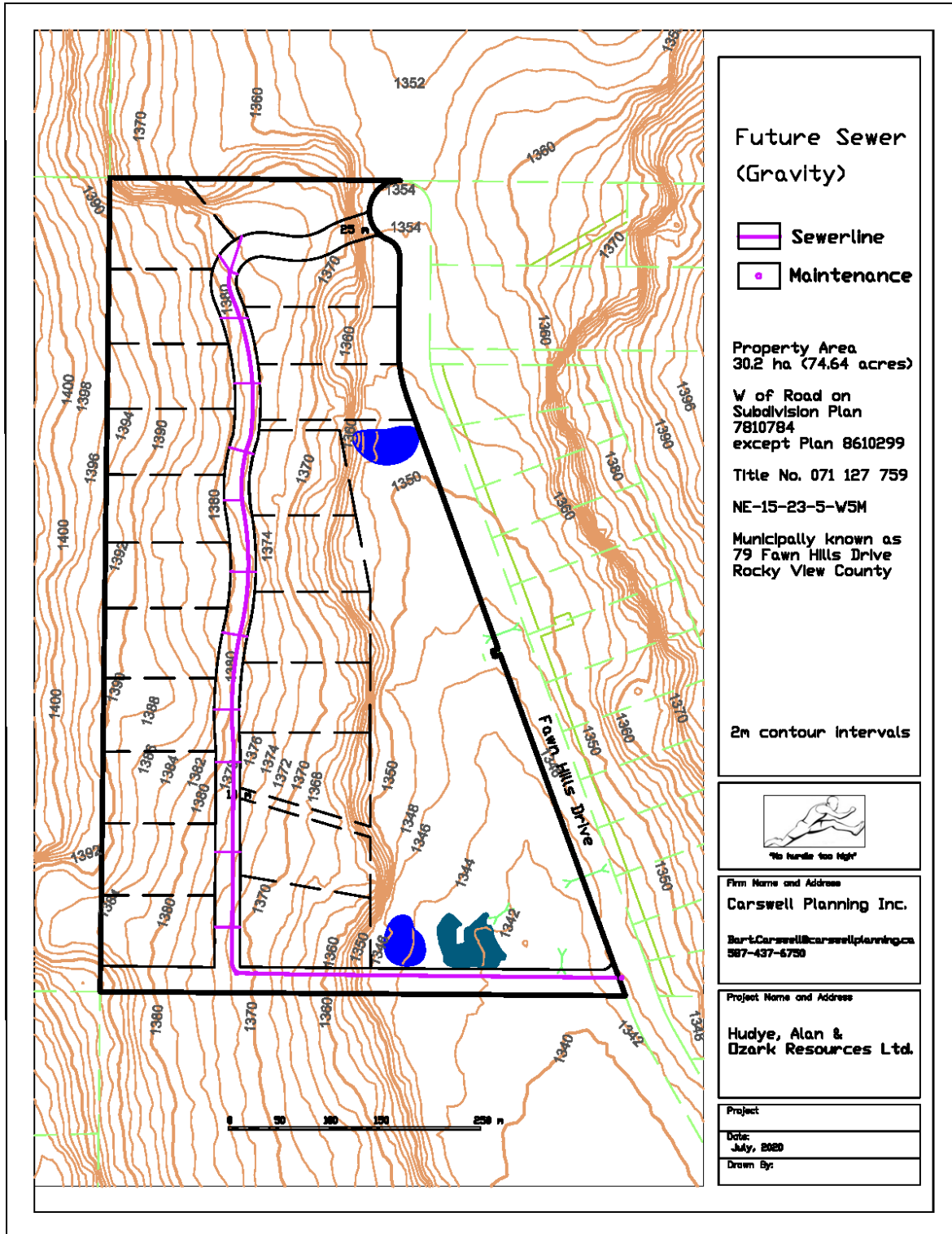


Figure 35: Future County Sewer Line, shows gravity feed from the north towards the point where the sewer would connect to the property in the southeast. The proposed location of the internal road generally follows a topographic contour. It could be graded to support future installation of sewer lines, should the County extend services in the future. Being a gravity system, both capital costs of installation and operating costs would be reduced.

Figure 35: Future County Sewer Line



Policy

- 5.13.1** Consideration will be given to private, individual, on-site wastewater servicing solutions for new lots. The County may require that deferred servicing agreements be secured in order to ensure that new lots do connect to regional or municipal utility systems, when those systems become available, as a condition of subdivision approval.
- 5.13.2** Sewage treatment shall be by individual septic tank and tile field for each lot proposed for residential development to meet Alberta Private Sewage Systems Standard of Practice and Rocky View County standards.
- 5.13.3** Consideration will be given to higher quality of wastewater treatment through individual tertiary treatment in order to reduce risks against contamination of raw water supplies and provide a higher level of environmental protection, as a condition of subdivision approval.

5.14 Shallow Utilities

Telecommunications, phone, cable, fiber optics (where available), electrical and natural gas services will be provided to the *Plan Area* at the subdivision stage, as per utility owner's guidelines and availability.

Policy

- 5.14.1** The development shall be serviced with private shallow utility systems such as electrical, natural gas, and telecommunications.
- 5.14.2** Locations for easements and line assignments for shallow utility extensions shall be determined at the subdivision endorsement stage.
- 5.14.3** Shallow utilities will be provided by the appropriate utility company providing service to the *Plan Area* at the sole expense of the Developer. The Developer of the lands will provide easements to any utility company requiring them to provide services to the *Plan Area*.

5.15 Solid Waste and Recycling

Limited solid waste and recycling services Greater Bragg Creek, as described early in this Conceptual Scheme under 4.1 Local Development Context.

Policy

- 5.15.1** A solid waste and recycling management plan in accordance with the current Solid Waste Master Plan should be provided for the *Plan Area* prior to endorsement of subdivision approval. Implementation of the solid waste and recycling management plan shall be the responsibility of the Developer and/or a homeowners' association, at the discretion of the Municipality.

5.16 WildFire Management

A number of *Fire Smart* recommendations have been put into the ASP. From west to east, the *Plan Area* includes a Deciduous (D-1) forest of low risk, a Boreal Spruce (C-2) forest of extreme risk and a field acting as a firebreak. The internal road proposed has two entrances for safe access serving fire and other emergency vehicles. The proposed road itself acts as a fire break. There would be access to a number of water sources: west of the property is a large pond in the adjacent quarter section, on the southern portion of the property a deep pond, another pond is proposed next to it to serve the southern lots, and another pond is proposed to serve the northern lots with cut trails to the internal road. The clearing of trees is limited to the building site and access due to the restrictive caveat on title protecting the woodlot.

Fire Smart recommends a defensible space around structures, removal of ground fuel and clearing of lower branches within 30 m, separation of flammable woodpiles for 10 m from structures, and a non-combustible surface cover for 2 m from structures. Figure 36: Example of Woodlands Pruned 30 m from Structures, shows what this looks like for forested areas.

Policy

- 5.16.1 Consideration will be given to maintaining a *Fire Smart* defensible space around structures, as a condition of subdivision approval.
- 5.16.2 Consideration will be given to having fire suppression water sources through surface ponds, underground fire suppression water tanks or alternate means with access to reach structures on the internal road, as a condition of subdivision approval.
- 5.16.3 Consideration will be given to fire resistant materials for roofing materials, siding, and sheathing under decks, as a condition of subdivision approval.
- 5.16.4 It is recommended that all forested areas located on MR lands are to be subjected to formal vegetation management using *Fire Smart* principles to ensure the County does not receive public lands that pose a threat to the general community due to high fuel loading.

Figure 36: Example of Woodlands Pruned 30 m from Structures



5.17 Protective and Emergency Services

As previously discussed, a number of fire stations are in the area: Elbow Valley Fire Station 101, Springbank Fire Station 102 and Redwood Meadows Emergency Services. Police services are provided by the R.C.M.P. enforcing the law through a detachment in Cochrane or RVC Peace Officers enforcing selected government acts and municipal bylaws. Medical emergencies are directed to the Cochrane Community Care Centre or facilities in the City of Calgary.

Policy

5.17.1 Crime prevention through environmental design principles shall be adopted. Adequate lighting, visibility and safety will be provided along streets and trails to create a sense of security and to ensure a safe pedestrian environment.

6.0 IMPLEMENTATION FRAMEWORK

6.1 The Conceptual Scheme Implementation Process

Adoption of this Conceptual Scheme will establish specific expectations that will guide the implementation of *Fawn Hills of Bragg Creek*. The Conceptual Scheme policies must be considered prior to a land use amendment and/or subdivision approval. Consideration of this Conceptual Scheme by Council will occur following a statutory Public Hearing. RVC will consider adoption pursuant to the MGA. Subsequently, consideration of land use amendment, subdivision and development permit applications will follow.

6.2 Land Use Redesignation

Fawn Hills of Bragg Creek intends to work with the County to apply relevant land use districts for a land use redesignation application. A land use amendment is expected to be applied by Council in accordance with the RVC Land Use Bylaw at the time of redesignation.

6.3 Architectural Design Considerations

The developer will establish and implement specific Architectural and Design Guidelines to ensure all development and landscape design reflects a consistent style and theme.

Policy

6.3.1 In order to ensure aesthetically coordinated development, design guidelines and architectural controls, a document outlining Architecture and Design Guidelines for residential buildings will be submitted at the subdivision stage of the development approval process.

6.3.2 The establishment of Homeowner Associations, Community Associations, or similar organizations is encouraged in order to assume responsibility for common amenities and to enforce agreements such as registered architectural guidelines.

7.0 PUBLIC ENGAGEMENT

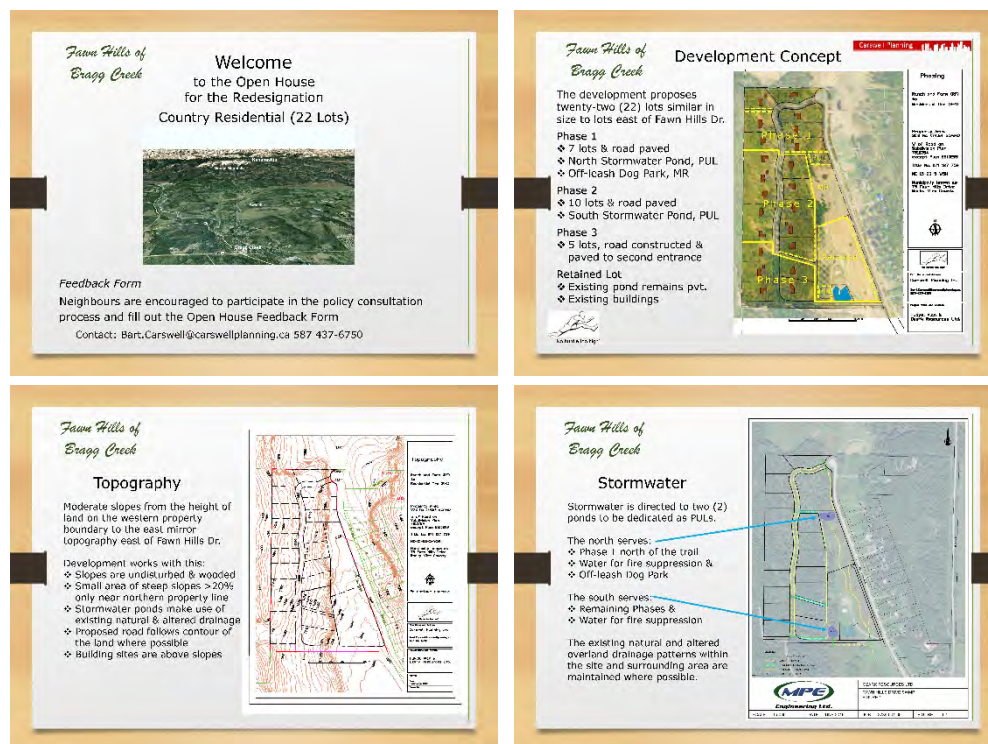
7.1 Open House

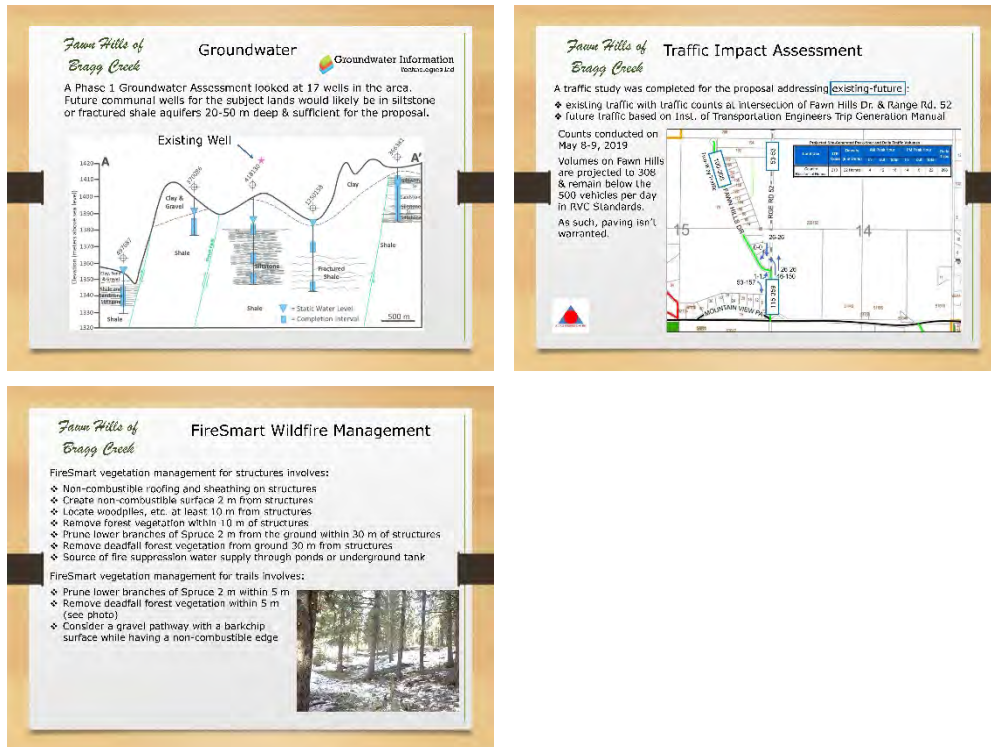
In order to ensure input from all directly and indirectly affected landowners within and adjacent to the CS are throughout the preparation of the CS, including a minimum of one (1) open house to gain feedback on the proposal. In addition, the CS seeks input from affected community stakeholders. Administration at RVC ensured proper circulation of notices.

An open house was held on the site to engage the neighbours regarding the proposed development. Notices supplied were mailed by RVC. The open house was at the site on June 27, 2019 from 6:00 – 8:00 pm and at least 35 neighbours attended. Numerous storyboards were on display and the planner, groundwater engineer, councillor, and owner were also present to engage in dialogue. Brief surveys were distributed to seek public input and provided with timely responses. Figure 37: Storyboards of Open House, is a representation of those storyboards which address key issues that were anticipated from the public.

Most comments supported the scheme as it fits within the definition of the Greater Bragg Creek Area. Some concerns were density, natural areas, noise, traffic, sewage and water, and emergency egress, and lack of support for an “off-lease dog park” on MR lands. Basically, the neighbours view towards the subject lands would remain the same and the meadowlands left natural.

Figure 37: Storyboards of Open House





7.2 Model of the Proposed Development

Figure 38: 3-D Model, Plan View and Oblique Views, show various perspectives of the potential building lots and open space system on a 3-D model. The model is scaled without vertical exaggeration to provide a visual of what the property looks like. Some grading of the interior road may occur to ensure for gravity flow for a future sewer line, in the event that the County extends services. Building is proposed to be in proximity to the road in order to preserve woodlands, avoid slopes and reduce costs of servicing hookups. Lands in proximity to Fawn Hills Drive will essentially remain in their current state. Slopes are somewhat mirrored on the other side of Fawn Hills Drive where existing development occurs for the same land use district that the proposal is seeking.

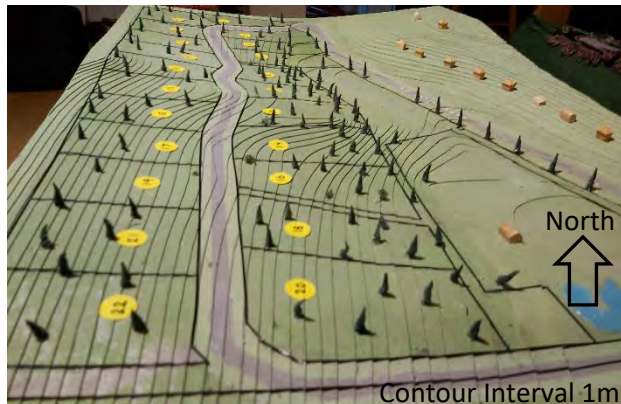
Figure 38: 3-D Model Plan View (north to the right)



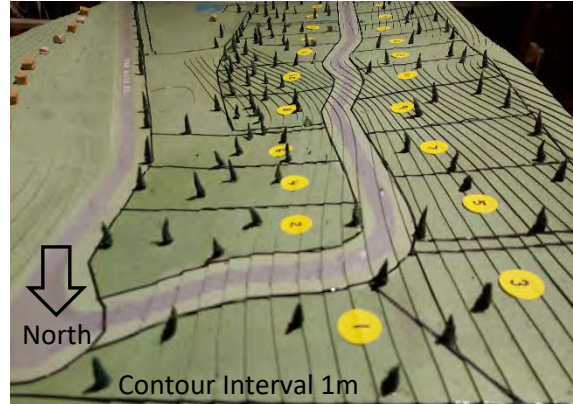
Oblique View (north to the right)



Oblique View (looking north)



Oblique View (looking south)



8.0 CONCLUSION

The ASP is the guiding document for this proposal. The ASP Vision is to achieve a balance between the natural environment and the impacts of human settlement. If this were south Bragg Creek, 25 lots would be supported. Because it is west Bragg Creek, 19 lots would be supported. This implies that parcel count and density is more of a preference based on character. In looking at the character of the subject lands and the length of the internal road, 22 lots of about 2 acres each would be more appropriate. This would provide an optimal lot number of lots to cover costs of the paved internal road; communal water supply and treatment; off-site improvements; and future connectivity to County sewers in Bragg Creek.

About two-thirds of the land is wooded and development is towards the proposed internal road. This protects slopes, wooded lands and maintains views from existing development. This coincides with the ASP vision that two-thirds of properties remain wooded, where possible. The site also lends itself well to generally having two acre lots reducing the footprint on the environment and promoting compact form that also balances protection of the environment. Redesignation to Country Residential (R-CRD) would be compatible with the existing development.

Area Structure Plans are typically where growth is supported and west Bragg Creek has not seen significant development for the past few decades. **Fawn Hills of Bragg Creek** is a well-designed neighbourhood with careful planning considerations for the benefit of existing and future residents and businesses in Bragg Creek and should be supported.