ROCKY VIEW COUNTY

MUNICIPAL PLANNING COMMISSION MEETING AGENDA

Date:	Thursday, December 10, 2020	
Time:	9:00 AM	
Location:	Council Chambers	
	262075 Rocky View Point	
	Rocky View County, AB T4A 0X2	

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January 13, 2021

F.

G.

н.



#### MUNICIPAL PLANNING COMMISSION MEETING MINUTES

Thursday, November 26, 2020 9:00 AM

#### Council Chambers 262075 Rocky View Point Rocky View County, AB T4A 0X2

Present:	Chair J. Gautreau Vice-Chair A. Schule Member K. McKylor (participated electronically) Member M. Kamachi Member K. Hanson (arrived at 9:02 a.m.) Member G. Boehlke Member D. Henn (arrived at 11:06 a.m.)
Absent:	Member S. Wright
Also Present:	<ul> <li>A. Hoggan, Chief Administrative Officer</li> <li>B. Riemann, Executive Director, Operations</li> <li>T. Cochran, Executive Director, Community Development Services Division</li> <li>G. Nijjar, Manager, Planning and Development Services</li> <li>C. Lombardo, Planner, Planning and Development Services</li> <li>O. Newmen, Planner, Planning and Development Services</li> <li>X. Deng, Planner, Planning and Development Services</li> <li>J. Targett, Senior Development Officer, Planning and Development Services</li> <li>S. Thompson, Development Technician, Planning and Development Services</li> <li>K. Tuff, Appeals Coordinator, Municipal Clerk's Office</li> <li>M. Mitton, Legislative Coordinator, Municipal Clerk's Office</li> </ul>

# A Call Meeting to Order

The Chair called the meeting to order at 9:00 a.m. with all members present, with the exception of Member Hanson, Member Henn and Member Wright.

# B Updates/Approval of Agenda

MOVED by Vice Chair Schule that the November 26, 2020 Municipal Planning Commission meeting agenda be accepted as presented.

Carried



# C-1 November 12, 2020 Municipal Planning Commission Minutes

MOVED by Member Boehlke that the November 12, 2020 Municipal Planning Commission meeting minutes be approved as presented.

Carried

Member Hanson arrived to the meeting at 9:02 a.m.

# D-1 Division 4 - Rural Residential Subdivision

MOVED by Vice Chair Schule that condition 4 for subdivision application PL20200077 as noted in Attachment 'C' of Administration's report be amended to read:

The provision of Reserve in the amount of 10 percent of the area of Lot 1 as determined by the Plan of Survey, is to be deferred. provided by payment of cash-in-lieu in accordance with the per acre value listed in the land appraisal prepared by Weleschuk Associates Ltd. dated August 11, 2020, pursuant to Section 666(3) of the Municipal Government Act.

Carried

MOVED by Vice Chair Schule that condition 4 for subdivision application PL20200077 as noted in Attachment 'C' of Administration's report be amended to read:

a. Reserves owing on Lot 2 shall be deferred by caveat.

Carried

MOVED by Vice Chair Schule that Subdivision Application PL20200077 be approved with the conditions noted in Attachment 'C', as amended.

- A. The application to create a  $\pm$  4.04 hectare ( $\pm$  10.00 acre) parcel (Lot 1) with a  $\pm$  50.08 hectare ( $\pm$  123.76 acre) remainder within SW-34-23-27-W04M, having been evaluated in terms of Section 654 of the *Municipal Government Act* and Section 7 and 14 of the Subdivision and Development Regulations, and having considered adjacent landowner submissions, is recommended to be approved as per the Tentative Plan for the reasons listed below:
  - 1. The application is consistent with the County Plan;
  - 2. The subject lands hold the appropriate land use designation;
  - 3. The technical aspects of the subdivision proposal have been considered, and are further addressed through the conditional approval requirements.



- B. The Applicant/Owner is required, at their expense, to complete all conditions attached to and forming part of this conditional subdivision approval prior to Rocky View County (the County) authorizing final subdivision endorsement. This requires submitting all documentation required to demonstrate each specific condition has been met, or agreements (and necessary securities) have been provided to ensure the conditions will be met, in accordance with all County Policies, Standards, and Procedures, to the satisfaction of the County, and any other additional party named within a specific condition. Technical reports required to be submitted as part of the conditions must be prepared by a qualified professional, licensed to practice in the province of Alberta within the appropriate field of practice. The conditions of this subdivision approval do not absolve an Applicant/Owner from ensuring all permits, licenses, or approvals required by Federal, Provincial, or other jurisdictions are obtained.
- C. Further, in accordance with Section 654 and 655 of the *Municipal Government Act*, the application shall be approved subject to the following conditions of approval:

#### Survey Plans

1) Subdivision is to be effected by a Plan of Survey, pursuant to Section 657 of the *Municipal Government Act*, or such other means satisfactory to the Registrar of the South Alberta Land Titles District.

# Transportation & Access

2) The Owner is to dedicate by Plan of Survey, a 5.00 m wide portion of land for road widening along the entire western boundary of Lot 1 and the remainder (Lot 2) per the Tentative Plan.

#### Payments and Levies

3) The Owner shall pay the County Subdivision Endorsement fee, in accordance with the Master Rates Bylaw, for the creation of one (1) new lot.

#### Municipal Reserve

- 4) The provision of Reserve in the amount of 10 percent of the area of Lot 1 as determined by the Plan of Survey, is to be deferred.
  - i) Reserves owing on Lot 2 shall be deferred by caveat.

#### Taxes

5) All taxes owing up to and including the year in which subdivision is to be registered are to be paid to Rocky View County prior to signing the final documents pursuant to Section 654(1) of the *Municipal Government Act*.

# D. SUBDIVISION AUTHORITY DIRECTION:

1) Prior to final endorsement of the subdivision, the Planning Department is directed to present the Applicant/Owners with a Voluntary Recreation Contribution Form and ask them if they will contribute to the Fund in accordance with the contributions prescribed in the Master Rates Bylaw.

Carried

Member McKylor left the meeting at 9:24 a.m. and returned at 9:25 a.m.



#### D-2 Division 1 - Other Subdivision

Presenter: Jaro Wardwell, the Applicant

The chair called for a recess at 9:44 a.m. and called the meeting back to order at 9:51 a.m. with all previously mentioned members present.

The chair called for a recess at 9:57 a.m. and called the meeting back to order at 10:07 a.m. with all previously mentioned members present.

MOVED by Member Kamachi that Subdivision Application PL20200141 be tabled and to recommend that Administration (Transportation Department) create an estimate of costs to bring the road to the standard required, and to bring back that information to the Commission when the report is completed.

Carried

# D-3 Division 4 - Request to Defer Transportation Off-Site Levy

MOVED by Vice Chair Schule that the request to defer the Transportation Off-Site Levy be approved.

AND THAT Condition # 2 from the Transmittal of Decision of PL20190074 is considered met through the deferral of the Transportation Off-Site Levy.

Lost

MOVED by Member Hanson that the request to defer the Transportation Off-Site Levy be denied.

Lost

MOVED by Vice Chair Schule that the Request to Defer Transportation Off-Site Levy of PL20190074 be tabled until the next scheduled MPC meeting.

Lost

#### E-1 Division 4 - Kennel

MOVED by Member Kamachi that Development Permit Application PRDP20203196 be approved with the conditions noted in the report.

#### Description:

- 1. That a *Kennel (existing)*, construction of an accessory building (oversize kennel building [indoor dog exercise arena]), approximately 706.00 sq. m. (7,600.00 sq. ft.) in footprint, may take place on the subject site in accordance with the Site Plan as submitted with the application.
- 2. That the maximum accessory building parcel coverage is relaxed **from 380.00 sq. m** (4,090.29 sq. ft.) to ± 1,750.29 sq. m (± 18,840 sq. ft.).



#### Prior to Issuance:

- 3. That prior to issuance of this permit, the Applicant/Owner shall submit payment of the Transportation Offsite Levy in accordance with Bylaw C-8007-2020 for the total gross area associated with the proposed kennel operation. The Applicant/Owner shall be required to submit a revised site plan identifying the development area of the proposal.
  - i.) The development area refers to the portion of lands utilized directly for development purposes, and includes: the driveway access; all structures (buildings), the storage and display areas directly associated to the use; and the required parking area (as defined in the Land Use Bylaw)
- 4. That prior to issuance of this permit, the Applicant/Owner shall provide Hydrant location, the hydrant location may apply depending on the 3.2.2 classification chosen, Access Routes location and design and water supply.

#### Permanent:

- 5. That upon request from the County, the operator shall engage a qualified Acoustical Engineer to monitor the sound levels at the nearest residence, not at this property. Any recommendations of the report, shall be implemented by the Applicant/Owner, to the satisfaction of the County.
- 6. That all waste shall be stored in a dry state in metal or plastic containers, and shall be disposed of off-site in a manner satisfactory to the County.
- 7. That the kennel area and any outside runs shall be enclosed with fencing constructed at a minimum of 1.20 m (3.94 ft.) in height.
- 8. That it is the Applicant/Owner's responsibility to obtain and display a distinct municipal address in accordance with the County Municipal Addressing Bylaw (Bylaw C-7562-2016), for any dwelling units and/or principal use(s) located on the subject site, to facilitate accurate emergency response.

#### Advisory:

- 9. That the current Rocky View County Animal Control Bylaw shall be adhered to at all times.
- 10. That during construction of the dwelling, all construction and building materials shall be maintained onsite, in a neat and orderly manner. *Any debris or garbage shall be stored/placed in garbage bins and disposed of at an approved* disposal facility.
- 11. That a Building Permit(s) and applicable submit trade permits shall be obtained prior to any construction taking place utilizing the Commercial, Industrial and Institutional checklist and:
  - i. a 3.2.2 Building Code analysis;
  - ii. That dimensioned site plan with dimensions to the hydrant, (Siamese connection/front entry-if required), access route design and water supply that conform to the NBC 2019-AB Edition articles below shall be applicable.

That the building shall conform to the National Energy Code 2017, with documentation/design at Building Permit stage.



- 12. That any other government permits, approvals, or compliances are the responsibility of the Applicant/Owner.
- 13. That if the development authorized by this Development Permit is not commenced with reasonable diligence within 12 months from the date of issue, and completed within 24 months of the issue, the permit is deemed to be null and void, unless an extension to this permit shall first have been granted by the Development Officer.
- 14. That if this Development Permit is not issued by **JUNE 30, 2021** or the approved extension date, then this approval is null and void and the Development Permit shall not be issued.

Carried

# E-2 Division 4 - School, Public or Separate

MOVED by Vice Chair Schule that condition 1 for development application PRDP20201822 as noted in Administration's report be amended to read:

That the development related to construction of a School, Public or Separate, approximately 8,465.00 sq. m. (91,116.50 sq. ft.) in <del>footprint</del> total floor area and signage may commence on the subject land in accordance with the drawings prepared by OPNA Architects (Project ID. B8518A-0001) dated October 2, 2020.

Carried

MOVED by Vice Chair Schule that Development Permit Application PRDP20201822 be approved with the conditions noted in the Development Permit Report, as amended.

# **Description:**

- 1. That the development related to construction of a School, Public or Separate, approximately 8,465.00 sq. m. (91,116.50 sq. ft.) in total floor area and signage may commence on the subject land in accordance with the drawings prepared by OPNA Architects (Project ID. B8518A-0001) dated October 2, 2020.
  - i. That the maximum height requirement for the school is relaxed from **10.00 m** (32.81 ft.) to 11.75 m (38.55 ft.).

# **Prior to Issuance:**

- 2. That prior to issuance of this permit, the Applicant/Owner shall submit a signage plan, detailing the façade signage information, including location, dimensions, and lighting, to the satisfaction of the County.
- 3. That prior to issuance of this permit, the Applicant/Owner shall submit revised lighting details of proposed model types for any mounted or freestanding lighting onsite, to the satisfaction of the County. The models shall comply with the County's dark sky regulations.
- 4. That prior to the issuance the Applicant/Owner shall submit a Construction Management Plan addressing noise mitigation measures, traffic accommodation, sedimentation and dust control, management of stormwater during construction, erosion and weed control, construction practices, waste management, firefighting procedures, evacuation plan, hazardous material containment and all other relevant construction management details.



- 5. That prior to issuance, the Applicant/Owner shall contact County Road Operations to
  - i. confirm if Road Use Agreements and/or Road Data Permits are required prior to the commencement of construction operation.
  - ii. confirm any utility work within the County road right-of-way. Approval shall be obtained before commencement of construction operations.
  - iii. submit a Road Approach Application for the permanent approaches and any required temporary approach during construction before commencement of construction operations.
  - iv. coordinate the installation of three new stop signs as per the Technical Memo issued by Tetra Tech on October 28, 2020:
    - i. north and south stop signs at the intersection of Township Road 233A and Centre Street
    - ii. stop sign on the north bound of Mowatt Street to Township Road 233A
  - v. confirm any permanent signage to be posted within the County road right-ofway.
    - iii. Should the applicant require off-site signage, the applicant shall have a signage plan prepared and authenticated by a professional engineer and shall consider all existing and proposed signs within the subject area.
    - iv. The signage plan shall be reviewed and approved to the satisfaction of the Development Authority.
    - v. It will be the Applicant's responsibility to install the new signage and relocate any County signage, as necessary.
  - vi. Written confirmation shall be received from County Road Operations confirming the status of this condition. Any required agreement or permits shall be obtained unless otherwise noted by County Road Operations.
- 6. That prior to issuance of this permit, the Applicant/Owner shall submit a Demand Analysis that demonstrates calculations for projected waste water generated for the proposed development.
  - i. The study shall confirm the servicing capacity required for the development of the proposed parcel and determine if offsite upgrades to the regional system are required.
  - ii. The Applicant/Owner shall enter into a Capacity Allocation Agreement with the County, for servicing allocation upon the servicing need identified in the demand analysis.
- 7. That prior to issuance of this permit, the Applicant/Owner shall submit payment of the Wastewater Connection fee in accordance with the approved Master Rates Bylaw and the submitted Demand Analysis for connection to the Langdon Wastewater Treatment Plant.



- 8. That prior to issuance of this permit, the Applicant/Owner shall submit confirmation of tie-in to the Langdon Water Works Ltd. water distribution system for the proposed subdivision. The applicant is required to provide:
  - i. Confirmation from Langdon Water Works that adequate water supply is available for the proposed development; and
  - ii. Documentation showing that the necessary water supply has been purchased for the total development area.
- 9. That prior to issuance of this permit, the Applicant/Owner shall address all fire suppression requirements for the proposed development in accordance with the requirements of NFPA 1142 and all applicable County standards and bylaws.
- 10. That prior to issuance of this permit, the Applicant/Owner shall submit an updated Stormwater Management Plan for the proposed subdivision which shall:
  - i. Identify all necessary infrastructure required to support the proposed subdivision (to be constructed under the Development Agreement);
  - ii. Identify any necessary easements and/or utility rights-of-way;
  - iii. Identify any necessary approvals from Alberta Environment & Parks (AEP) for wetland loss and mitigation; and
  - iv. meet the requirements of the Staged Master Drainage Plan Pond Report for the Bridges of Langdon Development, Stormwater Management Plan Langdon Joint Use Site by RJ Burnside & Associates Ltd. dated December 2016 and County Servicing Standards
- 11. That prior to issuance of this permit, the Applicant/Owner shall submit an erosion and sediment control (ESC) plan, prepared by a qualified professional, identifying ESC measures to be taken during construction and to protect the onsite wetlands and municipal infrastructure. The drawings and plans shall be in accordance with the requirements of the County's Servicing Standards and best management practices
- 12. That prior to issuance of this permit, the Applicant/Owner shall submit a site servicing plan showing the proposed water, wastewater and storm water tie-ins and all other utilities needed to service the site.
  - i. The Applicant shall contact Rocky View Utilities Corporation to schedule inspections at appropriate stages of construction.

# **Prior to Occupancy:**

- 13. That prior to occupancy of the site, all landscaping and final site surfaces shall be completed.
  - i. That should permission for occupancy of the site and/or buildings be requested during the months of October through May inclusive, occupancy shall be allowed without the required landscaping having been met provided that an Irrevocable Letter of Credit in the amount of 150% of the total cost of completing all the landscaping that is not yet completed, shall be placed with Rocky View County to guarantee the landscaping shall be completed by the 30<sup>th</sup> day of June immediately thereafter.



- 14. That prior to occupancy of the site, the road approach construction shall be built and accepted in accordance with County Standards.
  - i. The Applicant/Owner shall contact County Road Operations for a final inspection
- 15. That prior to occupancy of the site, the Applicant/Owner shall enter into a Customer Service Agreement with the County, for wastewater servicing.
- 16. That prior to occupancy of the site, the Applicant/Owner shall contact Langdon Waterworks for an inspection of the water service connection and any other related infrastructure, and provide the County with written confirmation of their acceptance.
- 17. That prior to occupancy of the site, the Applicant/Owner shall submit as-built drawings of the constructed stormwater management facilities and the internal wastewater collection system and tie-ins.

Upon receipt of the as-built drawings, the County shall perform an inspection of the proposed stormwater facilities and wastewater collection system and tie-ins to ensure the proposed facilities were constructed as per the approved designs.

- 18. That the Owner shall be responsible to dedicate all necessary easements and right-ofways for utility line assignments and provide for the installation of all underground shallow utilities with all necessary utility providers to the satisfaction of the County.
- 19. That any plan, technical submission, agreement, matter or understanding submitted and approved as part of the application or in response to a Prior to Issuance condition shall be implemented and adhered to in perpetuity including:
  - i. Geotechnical Assessment prepared by WSP Canada Inc. dated March 2016
  - ii. Geotechnical Evaluation prepared by Tetra Tech Canada Inc. dated May 2020
  - iii. School Transportation Review and Traffic Impact Assessment dated May 2020 and a supplementary Technical Memo dated October 2020.
- 20. That compaction testing results shall be prepared and provided by a qualified professional for any areas of the site filled greater than 1.20 m (3.93 ft.) in depth.
- 21. That all landscaping shall be in accordance with the approved Landscape Plan.
- 22. That there shall be no potable water used for the irrigation of landscaping plantings and vegetation.
- 23. That all school or site-related parking shall be located on the subject property and shall not be permitted on the adjacent road network(s) at any time.
- 24. That a minimum of 271 parking stalls (including 6 accessible stalls) and 1 loading bay shall be maintained on-site at all times.
- 25. That the entire site shall be maintained in a neat and orderly manner at all times.
- 26. That the dedicated area for storage of waste and recyclable materials shall be maintained at all times. Waste and recyclable materials shall be confined in weatherproof and animal-proof containers located within the building or adjacent to the side or rear of the building and screened from view from all adjacent properties and public thoroughfares. All waste and recyclable materials shall be regularly removed from the property to prevent any debris from blowing onto adjacent properties or roadways.



- 27. That all outdoor lighting shall be located and arranged so that no direct rays of light are directed at adjoining properties, interfere with the use and enjoyment of neighbouring lands, or interfere with the effectiveness of any traffic control devices and the vision/safety of motorists.
- 28. That it is the Applicant/Owner's responsibility to obtain and display a distinct municipal address in accordance with the County Municipal Addressing Bylaw (Bylaw C-7562-2016), for each principal use located on the subject site, to facilitate accurate emergency response.
- 29. That all signage shall be maintained in a new and tidy condition.

- 30. That during construction, the site shall be maintained in compliance with County Bylaw C-7690-2017, the "Nuisance and Unsightly Property Bylaw", at all times.
- 31. That the Applicant/Owner shall arrange for the proper occupancy inspections, to be carried out by the County Fire and Building Services. That any dirt removed from the site during construction shall be hauled off in a covered trailer/truck that will prevent blowing of dust/small rocks onto the road or issues with other vehicles on the road.
- 32. That any other government permits, approvals, or compliances are the sole responsibility of the Applicant/Owner including any Alberta Transportation requirements.
- 33. That if this Development Permit is not issued by **JULY 31, 2021** or the approved extension date, then this approval is null and void and the Development Permit shall not be issued.
- 34. That if the development authorized by this Development Permit is not commenced with reasonable diligence within 12 months from the date of issue, and completed within 24 months of the issue, the permit is deemed to be null and void, unless an extension to this permit shall first have been granted by the Development Authority.

Carried

# E-3 Division 6 - Kennel

Presenter: Ron Belt, the Applicant

MOVED by Member Boehlke that Development Permit Application PRDP20203085 be approved with the conditions noted in the Development Permit Report, attached.

# **Description:**

- 1. That a *Kennel* may operate on the subject property in accordance with the submitted Site Plan, cover letter, application details, and conditions herein, as follows:
  - i. That construction of a Kennel/Shop building may commence, approximately 490.53  $m^2$  (5,280.00  $ft^2)$  in footprint
  - ii. A maximum of twelve adult dogs shall be permitted on site:
    - a) Maximum of up to nine dogs, for training/boarding; and,
    - b) Maximum of up to three dogs for breeding purposes.



# Prior to Issuance:

- 2. That prior to issuance of this permit, the Applicant/Owner shall submit screening details for the proposed Kennel Operations, to the satisfaction of the County.
- 3. That prior to the issuance of this permit, the Applicant/Owner shall submit an written assessment of the existing Private Septic Treatment System (PSTS), prepared by a qualified professional, to determine if the existing system is suitable to support the proposed development.
  - i. That should the PSTS not be suitable, the applicant will be required to install an appropriately sized sewage holding tank support the proposed development in accordance with County Policy 449.
- 4. That prior to issuance of this permit, the Applicant/Owner shall submit payment of the Transportation Offsite Levy in accordance with Bylaw C-8007-2020 for the total gross area associated with the proposed kennel operation. The Applicant/Owner shall be required to submit a revised site plan identifying the development area of the proposal.
  - i. The development area refers to the portion of lands utilized directly for development purposes, and includes: the driveway access; all structures (buildings), the storage and display areas directly associated to the use; and the required parking area (as defined in the Land Use Bylaw)

#### **Permanent:**

- 5. That all dogs shall be kept indoors between the hours of 9:00 p.m. and 7:00 a.m.
- 6. That all waste shall be composted on site.
- 7. That any dogs that cause a nuisance by barking shall be kept indoors at all times.
- 8. That the kennel area and any outside runs shall be enclosed with fencing constructed at a minimum of 1.20 m (3.94 ft.) in height.
- 9. That business parking shall be provided on the subject site to accommodate visitor and staff parking at all times. Off-site parking of staff or visitors shall not be permitted.
- 10. That soils, groundwater and surface water sources shall not become polluted due to operations on the subject land. Potable water sources on the subject land and beyond must be adequately protected from any run-off, nuisance or contaminants.
- 11. That all on-site lighting shall be dark sky, and all private lighting, including site security lighting and parking area lighting, shall be designed to conserve energy, reduce glare, and reduce uplight. All development shall demonstrate lighting design that reduces the extent of spill-over glare, and eliminates glare as viewed from nearby residential properties.
- 12. That any future business signage shall require separate development permit approval, prior to installation onsite.
- 13. That it is the Applicant/Owner's responsibility to obtain and display a distinct municipal address in accordance with the County Municipal Addressing Bylaw (Bylaw C-7562-2016), for the dwelling unit and principal use located on the subject site, to facilitate accurate emergency response.

Note: The municipal address for the Kennel operations is 274204 TWP RD 262



- 14. That dog licenses shall be obtained yearly from the County's Finance Department for any resident dogs onsite.
- 15. That the current Rocky View County Animal Control Bylaw shall be adhered to at all times.
- 16. That a Building Permit and applicable sub-trade permits shall be submitted to Building Services, prior to any structure being utilized for the Kennel operation or construction commencement.
- 17. That if the development authorized by this Development Permit is not commenced with reasonable diligence within 12 months from the date of issue, and completed within 24 months of the issue, the permit is deemed to be null and void, unless an extension to this permit shall first have been granted by the County.
- 18. That any other government permits, approvals, or compliances are the sole responsibility of the Applicant/Owner.
  - i. That any commercial license for water supply from Alberta Environment and Parks (AEP) shall be the responsibility of the Applicant/Owner.
  - ii. That should there be any direct impact on any wetlands, the Applicant/Owner shall be responsible for obtaining all required AEP approvals.
  - iii. That the Applicant/Owner shall adhere to any requirements of the Gas Co-Op and the registered Utility Right of Way.
- 19. That if this Development permit is not issued by June 30, 2021 or the approved extension date, then this approval is null and void and the Development Permit shall not be issued.

Carried

# E-4 Division 1 - Communications Facility (Type C)

MOVED by Member Kamachi that Development Permit Application PRDP20203205 be approved with the conditions noted in the report, attached.

# **Description:**

- 1. That a *Commercial Communication Facility, Type C*, may be situated on the subject parcel in accordance with the approved Site Plan and details submitted with the application, and includes the following:
  - i. Placement of one self-supporting telecommunications tower, approximately 30.00 m (98.42 ft.) high; tower base area: 225.00 sq. m (2,421.87 sq. ft.);
  - ii. Placement of equipment shelter; 2.00 m<sup>2</sup> (21.53 ft<sup>2</sup>) in area;
  - ii. Placement of security fencing.



#### Permanent:

- 2. That the Applicant/Owner shall contact County Road Operations with haul details for materials and equipment needed during construction/site development to confirm if Road Use Agreements will be required for any hauling along the County road system and to confirm the presence of County road ban restrictions.
- 3. That no topsoil shall be removed from the site.
- 4. That the Commercial Communication Facility shall be neutral in colour and blend with the surroundings, mitigation of the visual aspects of the facility should include painting, decorative fencing, screening, landscaping, and should not clash with the sky or landscape.
- 5. That should the Commercial Communication Facility become deactivated or unused; the Commercial Communication Facility shall be removed from the parcel within six months of becoming deactivated or unused.
- 6. That where possible, light shielding shall be considered to minimize the impact of the lighting to adjacent communities.

# Advisory:

- 7. That a Building Permit, if applicable, shall be obtained through Building Services, prior to any construction taking place.
- 8. That any other federal, provincial or County permits, approvals, and/or compliances are the sole responsibility of the Applicant/Owner.
- 9. That if the development authorized by this Development Permit has not commenced with reasonable diligence within 12 months from the date of issue, and completed within 24 months of the issue, the permit is deemed to be null and void, unless an extension to this permit shall first have been granted by the Development Authority.

Note: The Applicant/Owner shall be responsible for all Alberta Environment and Park approvals/compensation if any wetland onsite, classified under the Water Act, that is impacted or disturbed by the proposed development.

Carried



# E-5 Division 7 - Dwelling, Single Detached

MOVED by Member Boehlke that condition 1 for development application PRDP20202964 as noted in Administration's report be amended to read:

- 1. That construction of a dwelling, single detached may commence on the subject parcel, (Lot 6, Block 3, Plan 191 2391 within SW-23-27-03-W5M) in general accordance with the application drawings and site plan prepared by Cincel Design Studio, dated September 2, 2020 (Project No. 20-871) including:
  - a) That the top-of-bank setback requirement is **relaxed from 20.00 m (65.62 ft.) to 4.25 m (13.94 ft.)**
  - b) That construction may commence on area with slope greater than 15% in accordance with the Slope Stability Assessment prepared by E2K Engineering Ltd., dated September 21, 2020 (Project No. 2020-5494)
  - c) Single-lot regrading and placement of clean fill;

Carried

MOVED by Member Boehlke that Development Permit Application PRDP20202964 be approved with the conditions noted in the Development Permit Report, as amended.

#### **Description:**

- 1. That construction of a dwelling, single detached may commence on the subject parcel, (Lot 6, Block 3, Plan 191 2391 within SW-23-27-03-W5M) in general accordance with the application drawings and site plan prepared by Cincel Design Studio, dated September 2, 2020 (Project No. 20-871) including:
  - a) That the top-of-bank setback requirement is **relaxed from 20.00 m (65.62 ft.)** to

# 4.25 m (13.94 ft.)

- b) That construction may commence on area with slope greater than 15% in accordance with the Slope Stability Assessment prepared by E2K Engineering Ltd., dated September 21, 2020 (Project No. 2020-5494).
- c) Single-lot regrading and placement of clean fill;

#### **Prior to Issuance:**

- 2. That prior to issuance of this development permit, the applicant shall confirm acceptance of or refusal to participate in the Voluntary Recreation Contribution for Community Recreation Funding on the form provided by the municipality and that the contribution, if accepted, is \$800.00, calculated at \$800.00 for each new residential unit.
- 3. That prior to issuance of this permit, the Applicant/Owner shall contact County Road Operations with haul details for materials and equipment needed during construction/site development to confirm if Road Use Agreements will be required for any hauling along the County road system and to confirm the presence of County road ban restrictions
  - a) Written confirmation shall be received from County Road Operations confirming the status of this condition. Any required agreement or permits shall be obtained unless otherwise noted by County Road Operations.



# Permanent:

- 4. That any plan, technical submission, agreement, matter or understanding submitted and approved as part of the application, shall be implemented by the Applicant/Owner and adhered to in perpetuity including the recommendations of the Slope Stability Assessment, as prepared by E2K Engineering Ltd. (Project# 2020-5494), dated September 21, 2020.
- 5. That upon completion of the proposed development, the Applicant/Owners shall submit an as-built survey, confirming that the development proposal and post grades align with the supporting technical submissions for the file.
- That the Applicant/Owner shall submit compaction testing results, prepared and provided by a qualified professional, for any areas of the site filled greater than 1.20 m (3.93 ft.) in depth.
- 7. That there shall be no more than 1.00 m (3.28 ft.) of fill placed or 2.00 m (6.56 ft.) of excavated materials adjacent to or within 15.00 m (49.21 ft.) of the proposed dwelling unit that is used to establish approved final grades unless a Development Permit has been issued for additional.
- 8. That it is the Applicant/Owner's responsibility to obtain and display a distinct municipal address in accordance with the County Municipal Addressing Bylaw (Bylaw C-7562-2016), for the dwelling unit located on the subject site, to facilitate accurate emergency response.

Note: The municipal address for the 273056 Lochend Road

- 9. That the Applicant/Owner shall not screen and/or sell the excess topsoil to others without written approval from the County, as there is potential for additional off-site impacts.
- 10. That the Applicant/Owner shall take effective measures to control dust in the area so that dust originating therein shall not cause annoyance or become a nuisance to adjoining property owners and others in the vicinity of the area.
- 11. That the fill shall not contain large concrete, rebar, asphalt, building materials, organic materials, or other metal.
- 12. That any fill removed from the site shall be hauled off in a covered trailer/truck, which will prevent blowing of dust/small rocks onto the road or cause issues with other vehicles on the road.
- 13. That with the removal of topsoil, the Applicant shall take whatever means necessary to avoid the transfer of dirt onto public roadways.
  - i. That if at any time the removal or handling of the topsoil creates a visible dust problem, the removal or handling of the topsoil shall cease immediately until remedial measures are taken.
- 14. That after completion of the regrading and/or placement of the fill, the disturbed area (if not developed) shall have a minimum of six inches of topsoil placed on top, which shall then be landscaped.
- 15. That pervious landscaping (i.e. sod) shall be provided at the rear of the property to enhance and maximize absorption of rainwater to prevent the transfer of overland flows to adjacent properties.



- 16. That the Applicant/Owner shall be responsible for rectifying any adverse effect on adjacent lands from drainage alteration.
- 17. That the entire site shall be maintained in a neat and orderly manner at all times to the satisfaction of the County.

- 18. That the site shall adhere to the approved Weed Management Plan and shall remain free of restricted and noxious weeds and be maintained in accordance with the Alberta Weed Control Act [Statutes of Alberta, 2008 Chapter W-5.1; Current as of December 15, 2017].
- 19. That the subject development shall conform to the County's Noise Bylaw C-5773-2003 in perpetuity.
- 20. That during construction, all construction and building materials shall be maintained onsite in a neat and orderly manner. Any debris or garbage shall be stored/placed in garbage bins and disposed of at an approved disposal facility.
- 21. That the Applicant/Owner shall adhere to the regulations of the registered Access Easements, instruments #891 243 196 and 191 247 330 at all times.
- 22. That a Building Permit and applicable subtrade permits shall be obtained through Building Services, prior to any construction taking place.
- 23. That any other government permits, including a Roadside Development Permit through Alberta Transportation, approvals, or compliance is the sole responsibility of the Applicant/Owner.
- 24. That if the development authorized by this Development Permit is not commenced with reasonable diligence within 12 months from the date of issue, and completed within 24 months of the issue, the permit is deemed to be null and void, unless an extension to this permit shall first have been granted by the Development Officer.
- 25. That if this Development permit is not issued by **MAY 31, 2021** or the approved extension date, then this approval is null and void and the Development Permit shall not be issued.

# *Note: The Applicant/Owner shall be responsible for all Alberta Environment & Parks (AEP) approvals for any impact to any wetland areas from the proposed development.*

Carried

The chair called for a recess at 10:53 a.m. and called the meeting back to order at 11:06 a.m. with all previously mentioned members present.

Member Henn arrived to the meeting at 11:06 a.m.



# E-6 Division 7 - Accessory Building

MOVED by Member Kamachi that Development Permit Application PRDP20203069 be approved with the conditions noted in the report, attached.

#### **Description:**

- 1. That an accessory building (garage), may be constructed on the subject land in general accordance with the approved Site Plan and submitted application.
  - i. That the maximum building footprint is relaxed from **190.00 sq. m** (2,045.14 sq. ft.) to 282.14 sq. m (3,036.92 sq. ft.);
  - ii. That the maximum building height is relaxed from **7.00 m (22.96 ft.) to 8.04 m(26.37 ft.);**
  - iii. That the maximum accessory building parcel coverage is relaxed from **285.00** sq. m (3,067.71 sq. ft.) to 295.14 sq. m. (3,176.86 sq. ft.).

#### Prior to Issuance:

- 2. That prior to issuance of this permit, the Applicant/Owner shall submit an Erosion and Sediment Control (ESC) plan, prepared by a qualified professional, showing appropriate ESC measures to be implemented during the construction of the proposed development in accordance with County's servicing standards.
- 3. That prior to issuance of this permit, the Applicant/Owner shall submit a stormwater memo, prepared by a qualified professional, confirming whether the addition of the proposed building conforms with the overall stormwater management strategy for the subject land or further improvements are required.
  - i. Should improvements be necessary, the Applicant/owner shall submit a sitespecific stormwater management report, prepared by a qualified professional, addressing the necessary improvements to be implemented on the subject land to support the proposed building in accordance with Nose Creek Watershed Water Management Plan and County's Servicing Standards.

- 4. That any plan, technical submission, agreement, or other matter submitted and approved as part of the Development Permit application or submitted in response to a Prior to Issuance or Occupancy condition, shall be implemented and adhered to in perpetuity, including any recommendations of the ESC plan or Stormwater technical documents.
- 5. That the proposed Accessory Building shall not be used for commercial or residential purposes at any time, unless otherwise approved through a Development Permit.
- 6. That the exterior siding and roofing materials of the Accessory Building shall be similar/ cohesive to the existing dwelling, single-detached and/or area.
- 7. That there shall be no more than 1.00 m (3.28 ft.) of fill placed adjacent to or within 15.00 m (49.21 ft.) of the proposed building under construction, which is used to establish approved final grades unless a Development Permit has been issued for additional fill and topsoil.



- 8. That if the development authorized by this Development Permit is not commenced with reasonable diligence within 12 months from the date of issue, and completed within 24 months of the issue, the permit is deemed to be null and void, unless an extension to this permit shall first have been granted by the Development Authority.
- That if this Development Permit is not issued by June 30, 2021 or an approved extension date, then this approval is null and void and the Development Permit shall not be issued.

- 10. That any other Federal, Provincial, or County permits, approvals, and/or compliances, are the sole responsibility of the Applicant/Owner.
- 11. That during construction of the Accessory Building, all construction and building materials shall be maintained on site, in a neat and orderly manner. Any debris or garbage shall be stored/placed in garbage bins and disposed of at an approved disposal facility.
- 12. That the County's Noise Bylaw C-5772-2003 shall be adhered to at all times.
- 13. That a Building Permit and sub-trade permits shall be obtained through Building Services, prior to any construction taking place.

*Note: The Applicant/Owner shall be responsible for all Alberta Environment & Parks (AEP) approvals/compensation, under the Water Act, if any wetland is impacted/disturbed by proposed development* 

Carried

# E-7 Division 1 - Accessory Building and Accessory Dwelling Unit

MOVED by Member Kamachi that Development Permit Application PRDP20203172 be approved with the conditions noted in the report.

# **Description:**

1. That construction of the proposed Accessory Building, including an Accessory Dwelling Unit, approximately 100.33 sq. m. (1080.00 sq. ft.) in footprint, may commence on the subject land in general accordance with the approved Site Plan and submitted application.

#### **Prior to Issuance**

 That prior to issuance of this permit, the Applicant/Owner shall confirm acceptance of or refusal to participate in the Voluntary Recreation Contribution for Community Recreation Funding on the form provided by the County and that the contribution, if accepted, is \$800.00, calculated at \$800.00 for each new residential unit.



- 3. That prior to issuance of this permit, the Applicant/Owner shall contact County Road Operations with haul details for materials and equipment needed during construction/site development to confirm if Road Use Agreements will be required for any hauling along the County road system and to confirm the presence of County road ban restrictions.
  - i. Written confirmation shall be received from County Road Operations confirming the status of this condition. Any required agreement or permits shall be obtained unless otherwise noted by County Road Operations.

# Permanent:

- 4. That the proposed Accessory Building and Accessory Dwelling Unit shall not be used for commercial purposes at any time, unless otherwise approved by a Development Permit.
- 5. That the exterior siding and roofing materials of the Accessory Building shall be similar/ cohesive to the existing dwelling, single-detached and/or area.
- 6. That there shall be no more than 1.00 m (3.28 ft.) of fill placed adjacent to or within 15.00 m (49.21 ft.) of the proposed building under construction, which is used to establish approved final grades unless a Development Permit has been issued for additional fill and topsoil.
- 7. That it is the Applicant/Owner's responsibility to obtain and display a distinct municipal address in accordance with the County Municipal Addressing Bylaw (Bylaw C-7562-2016), for each dwelling unit located on the subject site, to facilitate accurate emergency response. *Note: The new municipal address for the Accessory Dwelling Unit is A 31 BREEZEWOOD BAY.*
- 8. That there shall be a minimum of one (1) parking stall maintained on site at all times dedicated

to the Accessory Dwelling Unit.

- 9. That there shall be adequate servicing provided for the Accessory Dwelling Unit.
- 10. That any plan, technical submission, agreement, or other matter submitted and approved as part of the Development Permit application or submitted in response to a Prior to Issuance or Occupancy condition, shall be implemented and adhered to in perpetuity.

# Advisory:

11. That during construction, any required temporary fencing should be erected no more than

3.00 m (9.84 ft.) from the proposed building, to help prevent disturbance of the existing trees and vegetation.

- 12. That the Applicant/Owner shall implement any applicable FireSmart principles during the construction of the proposed development.
- 13. That during construction of the Accessory Building, all construction and building materials shall be maintained on site, in a neat and orderly manner. Any debris or garbage shall be stored/placed in garbage bins and disposed of at an approved disposal facility.
- 14. That the County's Noise Bylaw C-5772-2003 shall be adhered to at all times.



- 15. That the site shall remain free of restricted and noxious weeds and maintained in accordance with the Alberta Weed Control Act [*Statutes of Alberta, 2008 Chapter W-5.1, December 2017*].
- 16. That a Building Permit and sub-trade permits shall be obtained through Building Services, prior to any construction taking place.
- 17. That any other Federal, Provincial, or County permits, approvals, and/or compliances, are the sole responsibility of the Applicant/Owner.
- 18. That if the development authorized by this Development Permit is not commenced with reasonable diligence within 12 months from the date of issue, and completed within 24 months of the issue, the permit is deemed to be null and void, unless an extension to this permit shall first have been granted by the Development Authority.
- 19. That if this Development Permit is not issued by **JUNE 30, 2021** or an approved extension date, then this approval is null and void and the Development Permit shall not be issued.

Carried

# E-8 Division 6 - Kennel

MOVED by Member Boehlke that Development Permit Application PRDP20203291 be approved with the conditions noted in the Development Permit Report, attached.

#### **Description:**

1. That a Kennel (private dog park and signage) may operate on the subject property in accordance with the approved site plan submitted with the application and the following details:

- 2. That a maximum of 20 dogs may be allowed on the subject site at any one time.
- 3. That all dogs will be removed from the property by 9:00pm to 8:00am on the weekdays and 9:00pm to 9:00am on weekends.
- 4. That the kennel area shall be enclosed with fencing, which shall be maintained at all times.
- 5. That all outside runs or fencing shall be a minimum of 1.20 m (5.00 ft.) in height.
- 6. That all on-site lighting shall be dark sky, and all private lighting, including site security lighting and parking area lighting, shall be designed to conserve energy, reduce glare, and reduce uplight. All development shall demonstrate lighting design that reduces the extent of spill-over glare, and eliminates glare as viewed from nearby residential properties.
- 7. That all waste shall be stored in a dry state in metal or plastic containers, and shall be disposed of off-site in a manner satisfactory to the County.
- 8. That any future business shall require separate development permit approval before placement on site.



- 9. That the Applicant/Owner shall adhere to the County's Animal Control Bylaw [C-5758-2003] and the Noise Bylaw [C-5772-2003] at all times.
- 10. That any personally-owned dogs of the Applicant/Owner, shall be registered and licensed annually with the County, as per the Master Rates Bylaw.
- 11. That any other government permits, approvals, or compliances are the sole responsibility of the Applicant/Owner.
- 12. That if the development authorized by this Development Permit is not commenced with reasonable diligence within 12 months from the date of issue, and completed within 24 months of the issue, the permit is deemed to be null and void, unless an extension to this permit shall first have been granted by the Development Officer.

Carried

# E-9 Division 9 - Single-Lot Regrading

MOVED by Member Henn that Development Permit Application PRDP20203178 be approved with the conditions noted in the Development Permit Report, attached.

#### **Description:**

- 1. That single-lot regrading and the placement of clean fill may take place on the subject lands (Lot 46, Block 5, Plan 0010537 within SW-31-25-2-W5M), in general accordance with submitted application and approved site plan, as prepared by OnGrowing Works, dated October 21, 2020, Job #20-720; Dwgs. DP1.1-DP1.2, and conditions of this permit:
  - i. Landscaping Modifications;
  - ii. Construction of a Sports Court, over an area of 561.88 sq. m (6,048.00 sq. ft.);
  - iii. Installation of a Water Tank, over and area of 107.02 sq. m (1,152.00 sq. ft.).

#### Prior to Issuance:

- 2. That prior to issuance of this permit, the Applicant/Owner shall contact County Road Operations with haul details for materials and equipment needed during construction/site development to confirm if Road Use Agreements will be required for any hauling along the County road system and to confirm the presence of County road ban restrictions."
  - i. Written confirmation shall be received from County Road Operations confirming the status of this condition. Any required agreement or permits shall be obtained unless otherwise noted by County Road Operations.

#### Permanent:

3. That any plan, technical submission, agreement, matter or understanding submitted and approved as part of the application or in response to a Prior to Issuance condition, shall be implemented and adhered to in perpetuity.



- 4. That upon completion, the Applicant/Owner shall submit compaction testing results, prepared and provided by a qualified professional, for any areas of the site filled greater than 1.20 m (3.93 ft.) in depth.
- 5. That the Applicant/Owner shall not screen and/or sell the excess topsoil to others without written approval from the County, as there is potential for additional off-site impacts.
- 6. That topsoil from the subject site:
  - i. Be used whenever possible on the subject site, for landscaping purposes;
  - ii. Any additional or excess topsoil may be removed from the subject site;
    - A separate Development Permit shall be required to place the topsoil on a property if located within the County.
  - iii. All topsoil remaining on the subject site shall be spread and seeded to grass or landscaped.
- 7. That upon completion of the proposed development, the Applicant/Owners shall submit an as-built survey, confirming that the development proposal and post grades align with the supporting technical submissions for the file.
- 8. That the Applicant/Owner shall take effective measures to control dust in the regrading areas of the subject properties, so that dust originating therein shall not cause annoyance or become a nuisance to adjoining property owners and others in the vicinity.
- 9. That any materials removed from the site shall be hauled off in a covered trailer/truck, which will prevent blowing of dust/small rocks onto the road or cause issues with other vehicles on the road.
  - i. That the Applicant/Owner shall take whatever means necessary to avoid the transfer of dirt onto public roadways.
- 10. That the Applicant/Owner shall be responsible for rectifying any adverse effect on adjacent lands from drainage alteration.
- 11. That the fill shall not contain construction rubble or any hazardous substances, including but not limited to large concrete, rebar, asphalt, building materials, organic materials, or other metal.
- 12. That the entire site shall be maintained in a neat and orderly manner at all times to the satisfaction of the County.

- 13. That the subject development shall conform to the County's Noise Bylaw C-5773-2003 in perpetuity.
- 14. That the Applicant/Owner shall be responsible for onsite weed control and shall adhere to

the regulations in the Alberta Weed Control Act [Statutes of Alberta, 2008 Chapter W-5.1, December 2017] at all times.

15. That the grading activities shall be completed within twelve (12) months from the date of issuance of this permit.



- 16. That any other government permits, approvals, or compliances are the sole responsibility of the Applicant/Owner.
- 17. That if this Development Permit is not issued by **JUNE 30, 2021** or the approved extension date, then this approval is null and void and the Development Permit shall not be issued.

Note: That the Applicant/Owner shall be responsible for all Alberta Environment & Park approvals/ compensation as there may be wetlands on site that could be impacted by the proposed placement of fill.

Carried

# E-10 Division 7 - Accessory Building & Accessory Dwelling Unit

MOVED by Vice Chair Schule that Development Permit Application PRDP20202803 be approved with the conditions noted in the Development Permit Report, attached.

#### **Description:**

- 1. That construction of the proposed accessory building, including an accessory dwelling unit may commence on the subject site, in accordance with the approved application and drawings, as prepared by Jones Brent Ellergodt Design, Dated September 30, 2020, Dwgs. A0.1, A1.0-A1.3, A2.0-A2.1; as amended, and conditions of approval including:
  - i. That the maximum building area (footprint) for the accessory building is **relaxed** from 190.00 sq. m (2,045.14 sq. ft.) to 236.71 sq. m (2,548.00 sq. ft.);
  - ii. That the maximum gross floor area for the accessory dwelling unit is **relaxed** from 150.00 sq. m (1,614.59 sq. ft.) to 161.18 sq. m (1,735.00 sq. ft.);
  - iii. That the maximum height requirement for the accessory building is relaxed from **7.00 m (22.96 ft.) to 11.18 m (36.67 ft.);**
  - iv. Grading in accordance with Dwg. A0.1 including a Grade Change **up to 1.37 m** (4.49 ft.).

# Prior to Issuance:

- That prior to issuance of this permit, the Applicant/Owner shall confirm acceptance of or refusal to participate in the Voluntary Recreation Contribution for Community Recreation Funding on the form provided by the County and that the contribution, if accepted, is \$800.00, calculated at \$800.00 for each new residential unit.
- 3. That prior to issuance of this permit, the Applicant/Owner shall submit verification by a qualified professional, whether the addition of the proposed building conforms with the overall stormwater management strategy for the subject land or if further improvements are required.
  - i. Should improvements be necessary, the Applicant/Owner shall submit an updated site specific stormwater management report, prepared by a qualified professional, addressing the necessary improvements to be implemented on the subject land to support the proposed building, in accordance with County Servicing Standards.



- 4. That prior to issuance of this permit, the Applicant/Owner shall contact County Road Operations with haul details for materials and equipment needed during construction/site development to confirm if Road Use Agreements will be required for any hauling along the County road system and to confirm the presence of County road ban restrictions
  - i. Written confirmation shall be received from County Road Operations confirming the status of this condition. Any required agreement or permits shall be obtained unless otherwise noted by County Road Operations.

# Permanent:

- 5. That the proposed Accessory Building and Accessory Dwelling Unit shall not be used for commercial purposes at any time, unless otherwise approved by a Development Permit.
- 6. That the exterior siding and roofing materials of the Accessory Building shall be similar/ cohesive to the existing dwelling, single-detached and/or area.
- 7. That there shall be a minimum of one (1) parking stall maintained on site at all times dedicated to the Accessory Dwelling Unit.
- 8. That there shall be adequate site servicing provided for the Accessory Dwelling Unit.
- 9. That no topsoil shall be removed from the site. All topsoil shall be retained on-site and shall be seeded after building construction is complete, as part of site restoration.
- 10. That the Applicant/Owner shall be responsible for rectifying any adverse effect on adjacent lands from drainage alteration.
- 11. That it is the Applicant/Owner's responsibility to obtain and display a distinct municipal address in accordance with the County Municipal Addressing Bylaw (Bylaw C-7562-2016), for each dwelling unit located on the subject site, to facilitate accurate emergency response.
- 12. That any plan, technical submission, agreement, or other matter submitted and approved as part of the Development Permit application or submitted in response to a Prior to Issuance or Occupancy condition, shall be implemented and adhered to in perpetuity.

#### Advisory:

- 13. That the Applicant/Owner shall contact County Road Operations and submit application for approval for any new construction or installation of any driveways/approaches for the subject property, prior to commencing any work on the driveways/approaches, if required.
- 14. That during construction, any required temporary fencing should be erected no more than

3.00 m (9.84 ft.) from the proposed building, to help prevent disturbance of the existing trees and vegetation.

- 15. That during construction of the building, all construction and building materials shall be maintained onsite, in a neat and orderly manner. Any debris or garbage shall be stored/placed in garbage bins and disposed at an approved disposal facility.
- 16. That the site shall remain free of restricted and noxious weeds and maintained in accordance with the Alberta Weed Control Act [*Statutes of Alberta, 2008 Chapter W-5.1, December 2017*].



- 17. That a Building Permit and sub-trade permits shall be obtained from Building Services, prior to any construction taking place, using the Accessory Dwelling Unit checklist.
- 18. That if the development authorized by this Development Permit is not commenced with reasonable diligence within twelve (12) months from the date of issue, and completed within twenty-four (24) months of the issue, the permit is deemed to be null and void, unless an extension to this permit shall first have been granted by the Development Officer.
- 19. That any other federal, provincial or County permits, approvals, and/or compliances, are the sole responsibility of the Applicant/Owner.
- 20. That if this Development Permit is not issued by **JUNE 30, 2021** or the approved extension date, then this approval is null and void and the Development Permit shall not be issued.

Carried

# E-11 Division 4 - Post Offices

MOVED by Vice Chair Schule that Development Permit Application PRDP20202999 be approved with the suggested conditions noted in the report.

# **Description:**

1. That Post Offices (existing building), tenancy and signage for a Post Office may take place on the subject site in accordance with the approved application and site plan.

#### Prior to Issuance:

2. That prior to issuance of this permit, the Applicant/Owner shall submit and confirm signage details, including signage model type, dimensions, and lighting details, to the satisfaction of the County.

- 3. That all conditions of Development Permit, 2005-DP-11290 shall remain in effect unless conditioned within this permit approval.
- 4. That all signage on-site shall be kept in a safe, clean, and tidy condition. At no point, shall any signage be flashing or animated.
- 5. That all on-site lighting shall be dark sky, and all private lighting, including site security lighting and parking area lighting, shall be designed to conserve energy, reduce glare, and reduce uplight. All development shall demonstrate lighting design that reduces the extent of spill-over glare, and eliminates glare as viewed from nearby residential properties.
- 6. That there shall be a minimum of three (3) parking stalls maintained on site at all times.
- 7. That it is the Applicant/Owner's responsibility to obtain and display a distinct municipal address in accordance with the County Municipal Addressing Bylaw (Bylaw C-7562-2016), for the subject principal use on the subject site, to facilitate accurate emergency response.



8. That any plan, technical submission, agreement, or other matter submitted and approved as part of the Development Permit application or submitted in response to a Prior to Issuance or Occupancy condition, shall be implemented and adhered to in perpetuity.

#### Advisory:

- 9. That a Building Permit, for a Change of Use/Tenant Occupancy, and applicable subtrade permits shall be obtained through Building Services, for the Post Office.
- 10. That any other government permits, approvals, or compliances are the sole responsibility of the Applicant/Owner.
- 11. That if the development authorized by this Development Permit is not commenced with reasonable diligence within twelve (12) months from the date of issue, and completed within twenty-four (24) months of the issue, the permit is deemed to be null and void, unless an extension to this permit shall first have been granted by the Development Officer.
- 12. That if this Development Permit is not issued by **JUNE 30, 2021** or the approved extension date, then this approval is null and void and the Development Permit shall not be issued.

Carried

# E-12 Division 8 - Recreation (Outdoor) (existing)

MOVED by Member Hanson that Development Permit Application PRDP20203290 be approved with the conditions noted in the Development Permit Report, attached.

#### **Description:**

- 1. That the proposed amendment application for the existing Recreation (Outdoor) (Bearspaw Golf Course and Country Club) may take place on the subject site in accordance with the amended application, drawings and includes:
  - i. Amended Clubhouse Elevation Drawings;
  - ii. Regrading;

#### **Prior to Site Occupancy:**

2. That prior to occupancy, the Applicant/Owner shall submit as-built drawings to the Development Authority for its approval. The drawings shall be certified by a professional engineer licensed to practice in the Province of Alberta and shall include verification of as-built pond volumes, liner verification, inverts and any other information that is relevant to the Storm Water Infrastructure.

- 3. That all conditions of Development Permit, PRDP20155089 and PRDP20200615 shall remain in effect unless conditioned within this permit approval.
- 4. That any plan, technical submission, agreement, or other matter submitted and approved as part of the Development Permit application, submitted in response to a Prior to Issuance or Occupancy condition, or approved with Development Permit #PRDP20155089 shall be implemented and adhered to in perpetuity.



- 5. That a revised Building Permit and subtrade permits shall be submitted and obtained through Building Services, for the proposed Clubhouse renovations, prior to any new construction taking place.
- 6. That any other government permits, approvals, or compliances are the sole responsibility of the Applicant/Owner.
- 7. That if the development authorized by this Development Permit is not commenced with reasonable diligence within twelve (12) months from the date of issue, and completed within thirty-six (36) months of the issue, the permit is deemed to be null and void, unless an extension to this permit shall first have been granted by the Development Officer.

Carried

# E-13 Division 9 - Single-Lot Regrading

MOVED by Member Boehlke that Development Permit Application PRDP20202738 be approved with the conditions noted in the Development Permit Report, attached.

#### **Description:**

1. That single-lot regrading and the placement of clean fill, approximately 1,200.00 cubic metres, shall be permitted in general accordance with the drawings submitted with the application and the conditions of this permit.

#### **Prior to Issuance:**

- 2. That prior to issuance of this permit, the Applicant/Owner shall contact County Road Operations with haul details for materials and equipment needed during construction/site development to confirm if Road Use Agreements will be required for any hauling along the County road system and to confirm the presence of County road ban restrictions
  - i. Written confirmation shall be received from County Road Operations confirming the status of this condition. Any required agreement or permits shall be obtained unless otherwise noted by County Road Operations.

- 3. That any plan, technical submission, agreement, matter or understanding submitted and approved as part of the application or in response to a Prior to Issuance condition shall be implemented and adhered to in perpetuity.
- 4. That upon completion of the proposed development, should there be areas of fill that are greater than 1.20 m (3.93 ft.) in depth, the Applicant/Owner shall submit compaction testing verifying that the fill areas greater than 1.20 m (3.93 ft.) in depth were placed in accordance with the Deep Fills report accepted by the County.
- 5. That it shall be the responsibility of the Applicant/Owners to ensure the fill has been placed in a safe manner that does not cause slope stability issues, slumping, or any other related safety issues.



- 6. That upon completion of the proposed development, the Applicant/Owners shall submit an as-built survey, confirming that the development proposal and post grades align with the supporting technical submissions for the file.
- 7. That any material entering to or leaving from the site, shall be hauled on/off in a covered trailer/truck, which will prevent blowing of dust/small rocks onto the road or cause issues with other vehicles on the road.
  - i. That the clean-up of any mud tracking and/or dirt that enters onto any County roads during hauling, shall be the responsibility and cost of the Applicant/Owner for clean-up.
- 8. That no topsoil shall be removed from the site.
- 9. That the fill shall not contain large concrete, rebar, asphalt, building materials, organic materials, or other metal.
- 10. That the Applicant/Owners shall take effective erosion and sediment controls and measures to control dust on the parcel so that dust originating therein shall not cause annoyance or become a nuisance to adjoining property owners and others in the vicinity.
- 11. That if no future development of the proposed graded area occurs, the proposed graded area shall have a minimum of six (6) inches of topsoil placed on top, which shall then be spread and seeded to native vegetation, farm crop, or landscaped to the satisfaction of the County.
- 12. That the Applicant/Owners shall be responsible for rectifying any adverse effect on adjacent lands from drainage alteration.
- 13. That the subject land shall be maintained in a clean and tidy fashion at all times and all waste material shall be deposited and confined in an appropriate enclosure. All waste material shall be regularly removed from the property to prevent any debris from blowing onto adjacent property or roadways. That all garbage and waste shall be stored in weatherproof and animal proof containers and be in a location easily accessible to containerized garbage pickup.

- 14. That any other government permits, approvals, or compliances are the sole responsibility of the Applicant/Owner.
- 15. That the subject development shall conform to the County's Noise Bylaw C-5773-2003 in perpetuity.
- 16. That the site shall remain free of restricted and noxious weeds and maintained in accordance with the Alberta Weed Control Act [*Statutes of Alberta, 2008 Chapter W-5.1, December 2017*].
- 17. That if the development authorized by this Development Permit is not completed within eight

(8 months of the date of issuance, the permit is deemed to be null and void.

18. That if this Development Permit is not issued by JUNE 30, 2021 or the approved extension date, then this approval is null and void and the Development Permit shall not be issued.

Carried



# E-14 Division 2 - Cannabis Processing

MOVED by Member Hanson that Development Permit Application PRDP20203390 be approved with the conditions noted in the Development Permit Report, attached.

#### **Description:**

1. That *Cannabis Processing* may operate within 181.35 sq. m. (1,952.04 sq. ft.) of Unit G (existing Building #6) on the subject lands in accordance with the submitted application, operational details, site plan and conditions noted below.

#### Permanent:

- 2. That this approval does not include a *Cannabis Retail Store*.
- 3. That all conditions of PRDP20161075 shall remain in effect.
- 4. That the facility shall maintain and display a distinct municipal address in accordance with the County Municipal Addressing Bylaw (Bylaw C-7562-2016), for the facility, to facilitate accurate emergency response.
- 5. That no signage shall be placed on the subject property, related to the approved *Cannabis Processing* use. Any future signage related to the development shall require separate development permit approval.
- 6. That any future change in use of the building, including any exterior changes, additions, or change in tenants, shall require a Development Permit for the use and signage.
- 7. That no outdoor storage shall be allowed at any time for business use.
- 8. That the entire site shall be maintained in a neat and orderly manner at all times, to the satisfaction of the County.
- 9. That any plan, technical submission, agreement, matter or understanding submitted and approved as part of the application, in response to a prior to issuance or occupancy condition, shall be implemented and adhered to in perpetuity.
- 10. That this development permit, once issued, shall be valid until **September 30, 2023**.

#### Advisory:

- 11. That the Applicant/Owner will be required to obtain a commercial water license from Alberta Environment and Parks (AEP) if a groundwater well is proposed to service the development.
- 12. That the site shall be maintained in compliance with County Bylaw No. C-7690-2017, the "Nuisance and Unsightly Property Bylaw", at all times. Any debris or garbage generated on the site shall be stored/placed in garbage bins and disposed of at an approved disposal facility.
- 13. That the County Bylaw C-5772-2003, the "Noise Bylaw", shall be adhered to at all times.
- 14. That a Building Permit and applicable sub trade permits, for the change of use, shall be obtained through Building Services at the building permit stage.
  - i. That the development shall comply with an occupancy requirements under the National Building Code.



- 15. That any other federal, provincial or County permits, approvals, and/or compliances, are the sole responsibility of the Applicant/Owner.
  - i. That the Applicant/Owner shall obtain any required Health Canada and Alberta Health Services approval(s).
  - ii. That all cannabis waste shall be managed in accordance with Alberta Cannabis Waste Management Fact Sheet.

#### Note: The Applicant/Owner shall be responsible for all Alberta Environment and Parks approvals/compensation if any wetland is impacted by the development on the said land.

Carried

# E-15 Division 4 - Dwelling, Single Detached

MOVED by Vice Chair Schule that Development Permit Application PRDP20203214 be approved with the conditions noted in the Development Permit Report, attached.

# **Description:**

- 1. That construction of a dwelling, single detached may commence on the subject parcel, in general accordance with the drawings prepared by Archi Design Inc., dated August 20, 2020, and conditions noted herein:
  - i. That the minimum side yard setback requirement for the dwelling, singledetached, is relaxed from **3.00 m (9.84 ft.) to 1.52 m (4.98 ft.)**

- 2. That it is the responsibility of the Applicant/Owner to obtain approval from Rocky View County Road Operations for any new construction, installation or alterations of any driveways/approaches, prior to commencing any work on the driveways/approaches.
- 3. That there shall be no more than 1.00 m (3.28 ft.) of fill and/or topsoil placed adjacent to or within 15.00 m (49.21 ft.) of the proposed dwelling under construction that is used to establish approved final grades unless a Development Permit has been issued for additional fill and topsoil.
- 4. That no topsoil shall be removed from the subject property.
- 5. That the Applicant/Owners shall be responsible for rectifying any adverse effect on adjacent lands from drainage alteration.
- That it is the Applicant/Owner's responsibility to obtain and display a distinct municipal address in accordance with the County Municipal Addressing Bylaw (Bylaw C-7562-2016), for the dwelling unit located on the subject site, to facilitate accurate emergency response.



- 7. That a Building Permit and subtrade permits shall be obtained through Building Services, for construction of the dwelling, single detached.
  - i. The applicant shall provide adequate frost protection as per the Geotechnical Report
- 8. That during construction of the dwelling, all construction and building materials shall be maintained onsite, in a neat and orderly manner. Any debris or garbage shall be stored/placed in garbage bins and disposed of at an approved disposal facility.
- 9. That any over government permits, approvals, or compliances are the sole responsibility of the Applicant/Owner.
- 10. That if the development authorized by this Development Permit is not commenced with reasonable diligence within 12 months from the date of issue, and completed within 24 months of the issue, the permit is deemed to be null and void, unless an extension to this permit shall first have been granted by the Development Authority.

Carried

# E-16 Division 4 - Accessory Building

MOVED by Vice Chair Schule that Development Permit Application PRDP20203052 be approved with the conditions noted in the Development Permit Report, attached.

#### **Description:**

1. That the accessory building (existing shed, 6.25 sq. m (67.27 sq. ft.) in area) shall be permitted to remain in the side yard setback of the property, in accordance with the Real Property Report prepared by Arc Surveys Ltd., (File No.: 202198) dated August 27, 2020.

#### Advisory:

2. That any over government permits, approvals, or compliances are the sole responsibility of the Applicant/Owner.

Carried



# G Adjourn the Meeting

MOVED by Member Boehlke that the November 26, 2020 Municipal Planning Commission meeting be adjourned at 11:52 a.m.

Carried

# H <u>Next Meeting</u>

Thursday, December 10<sup>th</sup>, 2020

Chair or Vice Chair

Chief Administrative Officer or Designate



# PLANNING AND DEVELOPMENT SERVICES

9

**TO:** Subdivision Authority

1

DIVISION:

**DATE:** December 10, 2020

6

5

APPLICATION: PL20200095

SUBJECT: Subdivision Item: New or Distinct Agricultural Use

**APPLICATION:** To create a  $\pm$  28.33 hectare ( $\pm$  70.00 acre) parcel with a  $\pm$  32.37 hectare ( $\pm$  80.00 acre) remainder.

**GENERAL LOCATION:** Located 1.6 kilometres (1 mile) west of Highway 22 and south of Township Road 250, 6.5 kilometres (4 miles) south of the Town of Cochrane.

LAND USE DESIGNATION: Agricultural, General (A-GEN) District and Agricultural, Small Parcel (A-SML) District

ADMINISTRATION RECOMMENDATION: Administration recommends APPROVAL in accordance with Option #1.

# **OPTIONS:**

- Option #1: THAT Subdivision Application PL20200095 be approved with the conditions noted in Attachment 'B'.
- Option #2: THAT Subdivision Application PL20200095 be refused as per the reasons noted.

# AIR PHOTO & DEVELOPMENT CONTEXT:





# **APPLICANT:** Konschuk Consulting

# **OWNER:** CL Ranches Ltd.

# **APPLICATION EVALUATION:**

The application was evaluated based on the technical reports submitted with the application and the applicable policies and regulations.

APPLICABLE POLICY AND REGULATIONS:	TECHNICAL REPORTS SUBMITTED:	
Municipal Government Act;	• N/A	
Subdivision and Development Regulations;		
Municipal Development Plan;		
Land Use Bylaw; and		
County Servicing Standards.		

This application is for a new and/or distinct agricultural use where the landowner wishes to establish a breeding and calving operation of Wagyu cattle. The remainder of the parcel will continue to be used as pasture lands.

The A-SML parcel (Lot 1) meets the minimum parcel size as per the Land Use Bylaw C-8000-2020; however the remainder A-GEN (Lot 2) parcel does not meet this requirement. The variance to the minimum parcel may be appropriate as the uses are still compatible with the agricultural nature of the land use district and can still be conducted on site, therefore, complies with 654 (2) of the MGA.

The parcel is surrounded by large agricultural parcels of similar nature, and is within close proximity to Highway 1 and Hwy 22. The proposal of a specialized Wagyu cattle operation is an acceptable agricultural operation meeting the intent of the County Plan while also being compatible with the adjacent agricultural lands in the area. Though the proposed operation can still be conducted with the current land use zoning, the proposal meets the applicable policy requirements.

APPLICABLE FEE/LEVY	AMOUNT OWING
TRANSPORTATION OFFSITE LEVY	N/A
MUNICIPAL RESERVE	N/A

#### Transportation:

The proposed lots are located adjacent to Township Road 250. Lot 1 is accessible via a road approach off of Township Road 250. There is no existing road approach providing access to Lot 2. As a condition of subdivision, the applicant/owner will be required to construct a new graveled approach to provide access to Lot 2 in accordance with the County Servicing Standards.



#### Water and Waste Water

As per Policy C-411, the applicant is not required to demonstrate adequate servicing as the subject site is an Agricultural General District and greater than 30.00 acres in size.

#### Environmental

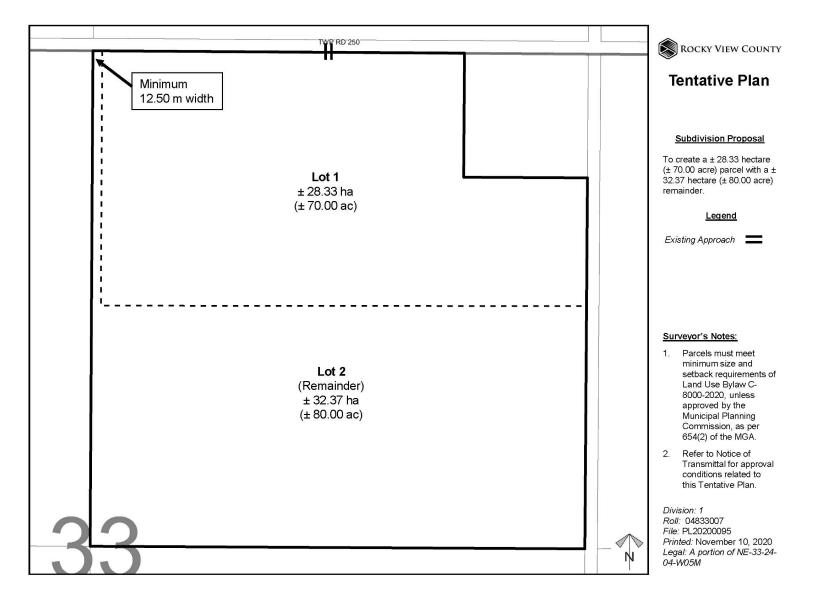
It was identified that a natural drainage course runs through the subject lands. Any future proposed developments in the riparian setback will require a development permit and the application shall follow County policy 419 *Riparian Land Conservation and Management*.

There a few wetlands located on the subject lands. Should the owner propose development that has a direct impact on any wetlands, the applicant will be responsible for obtaining all required AEP approvals.

The identified environmental concerns should not deter subdivision of the subject land as it can be addressed at future Development Permit stage.



## Tentative Plan





## CONCLUSION:

Subject to the proposed conditions of approval, the application is recommended for approval in accordance to option #1.

Respectfully submitted,

"Theresa Cochran"

Concurrence,

"Al Hoggan"

Executive Director Community Development Services Chief Administrative Officer

AP/IIt

#### **ATTACHMENTS:**

ATTACHMENT 'A': Maps and Other Information ATTACHMENT 'B': Approval Conditions



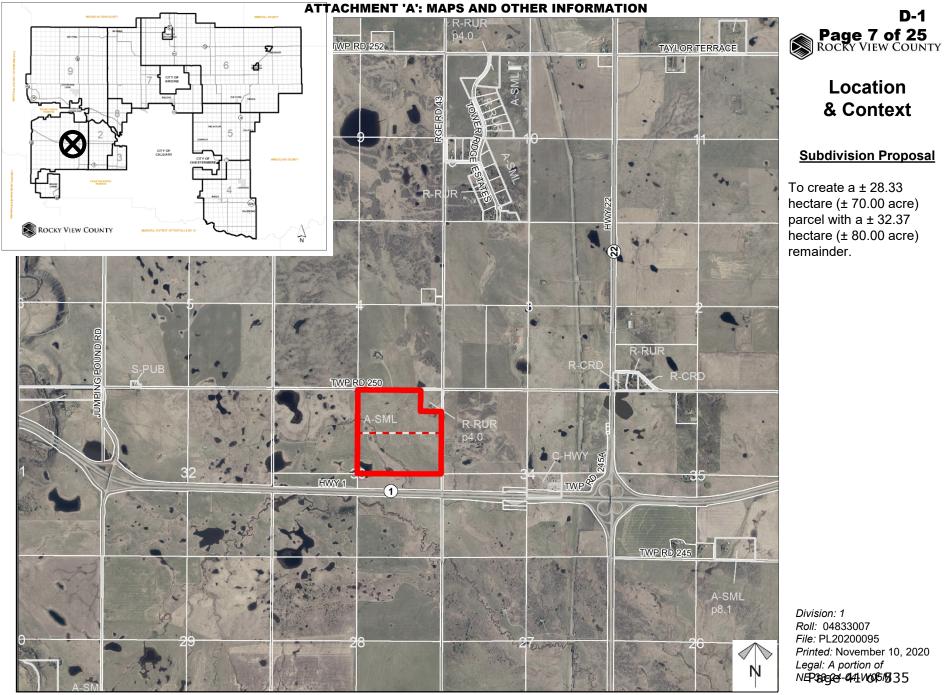
DATE APPLICATION RECEIVED: August 4, 2020	DATE DEEMED COMPLETE: August 6, 2020	
<b>GROSS AREA:</b> ± 60.70 ha (± 149.99 acres)	LEGAL DESCRIPTION: NE-33-24-04- W05M	
APPEAL BOARD: Municipal Government Board		

## **HISTORY**:

• No history of development permits or planning applications occurring on the property.

#### **PUBLIC & AGENCY SUBMISSIONS:**

- The application was circulated to 7 adjacent landowners. No letter was received in opposition nor in support of the application.
- The application was also circulated to a number of internal and external agencies and, where appropriate, conditions of approval have been proposed based on these comments.



Printed: November 10, 2020 Legal: A portion of NEP3929-441.W05/035



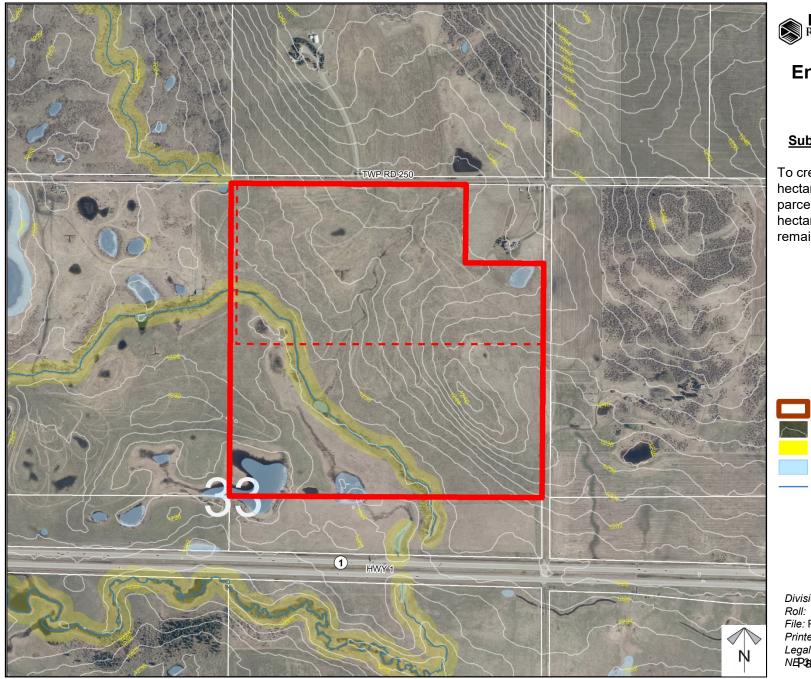


# Development Proposal

#### **Subdivision Proposal**

To create a  $\pm$  28.33 hectare ( $\pm$  70.00 acre) parcel with a  $\pm$  32.37 hectare ( $\pm$  80.00 acre) remainder.

Division: 1 Roll: 04833007 File: PL20200095 Printed: November 10, 2020 Legal: A portion of NEP3654-442/465/035





# Environmental

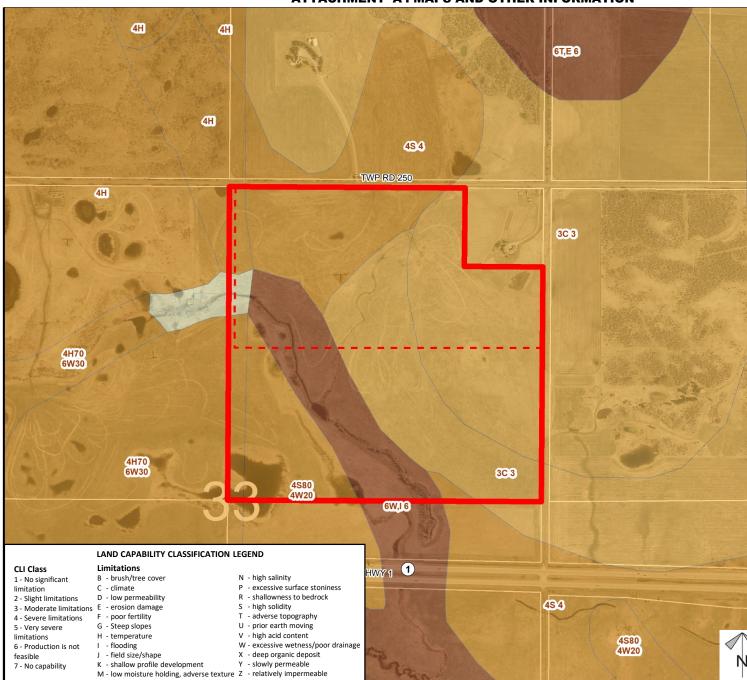
#### **Subdivision Proposal**

To create a  $\pm$  28.33 hectare ( $\pm$  70.00 acre) parcel with a  $\pm$  32.37 hectare ( $\pm$  80.00 acre) remainder.



Division: 1 Roll: 04833007 File: PL20200095 Printed: November 10, 2020 Legal: A portion of NEP3624-443W06场35

**ATTACHMENT 'A': MAPS AND OTHER INFORMATION** 



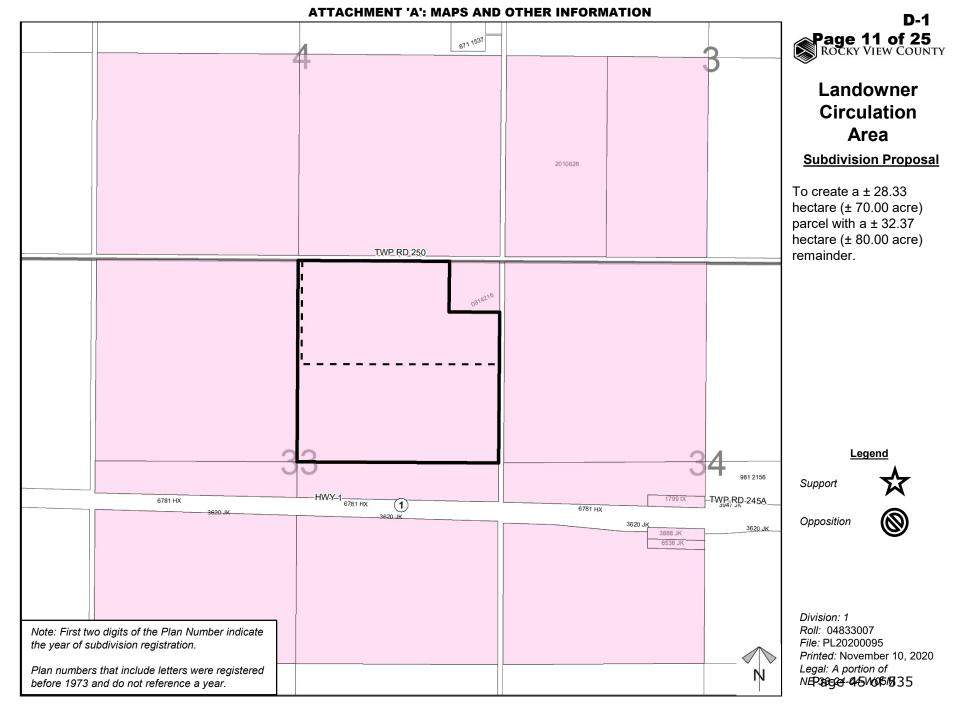
D-1 Page 10 of 25 ROCKY VIEW COUNTY

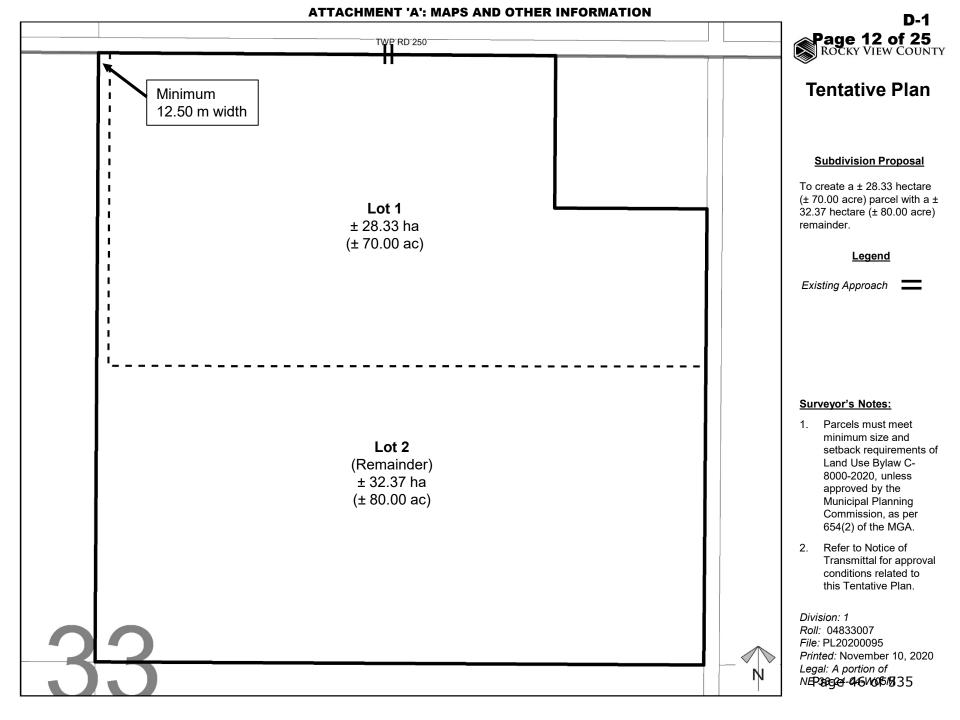
# Soil Classifications

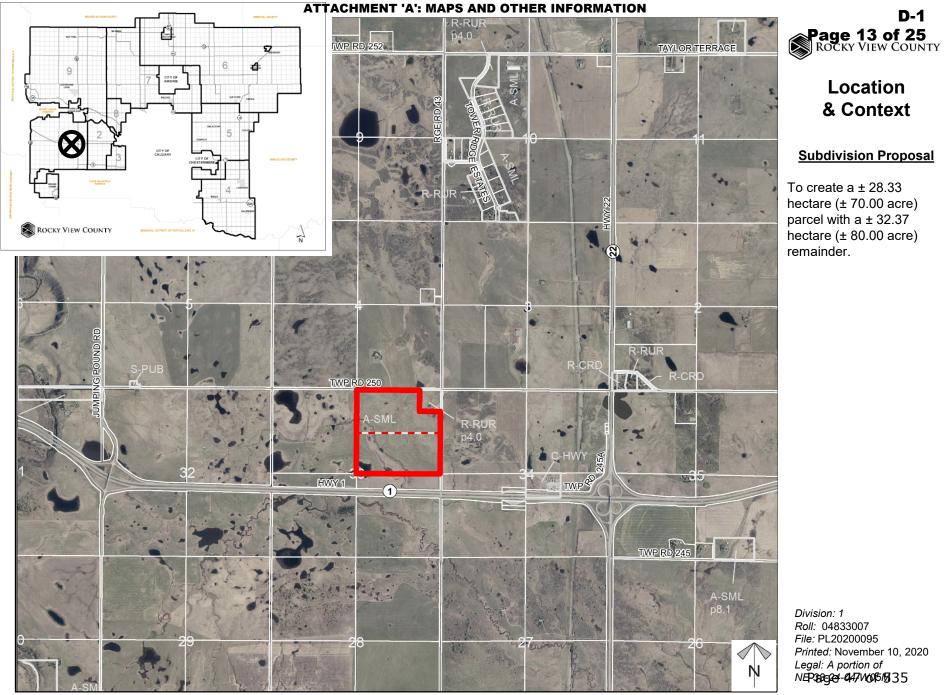
#### Subdivision Proposal

To create a  $\pm$  28.33 hectare ( $\pm$  70.00 acre) parcel with a  $\pm$  32.37 hectare ( $\pm$  80.00 acre) remainder.

Division: 1 Roll: 04833007 File: PL20200095 Printed: November 10, 2020 Legal: A portion of NEP38221-0441/06月35







Printed: November 10, 2020 Legal: A portion of NEP3924-447/V05/1035





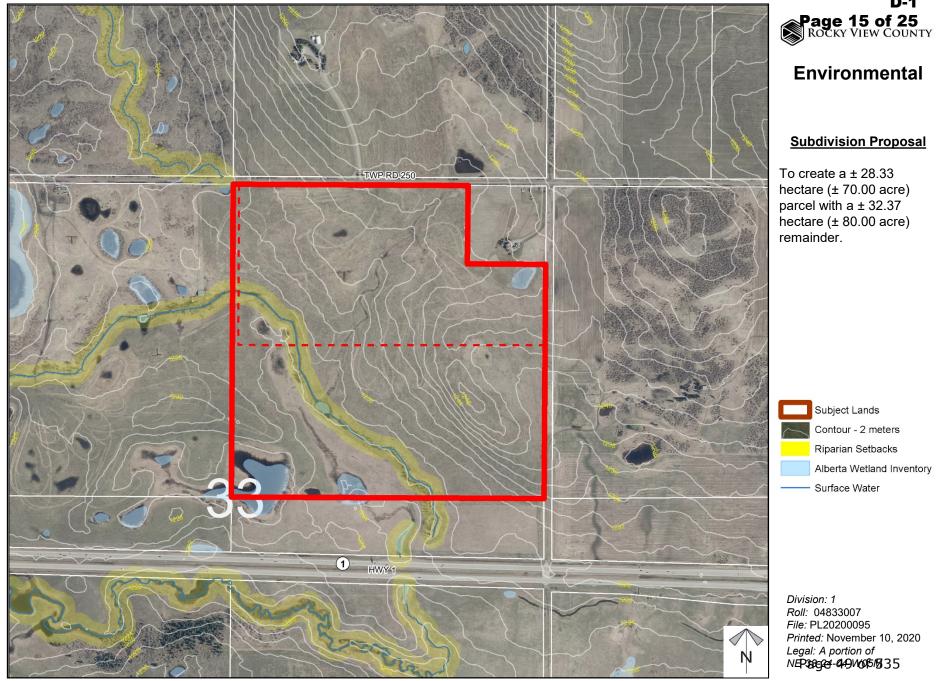
# Development Proposal

#### **Subdivision Proposal**

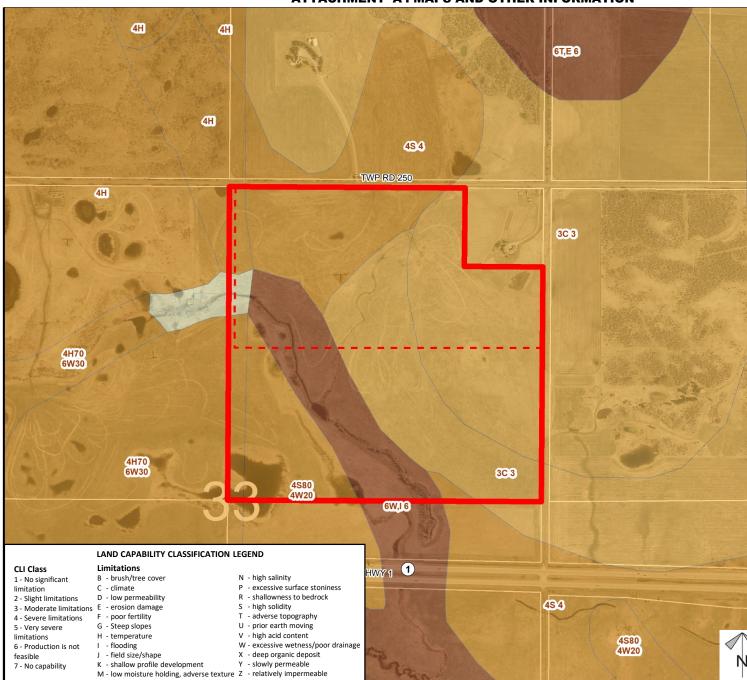
To create a  $\pm$  28.33 hectare ( $\pm$  70.00 acre) parcel with a  $\pm$  32.37 hectare ( $\pm$  80.00 acre) remainder.

Division: 1 Roll: 04833007 File: PL20200095 Printed: November 10, 2020 Legal: A portion of NEP3624-480/05/035

D-1



**ATTACHMENT 'A': MAPS AND OTHER INFORMATION** 



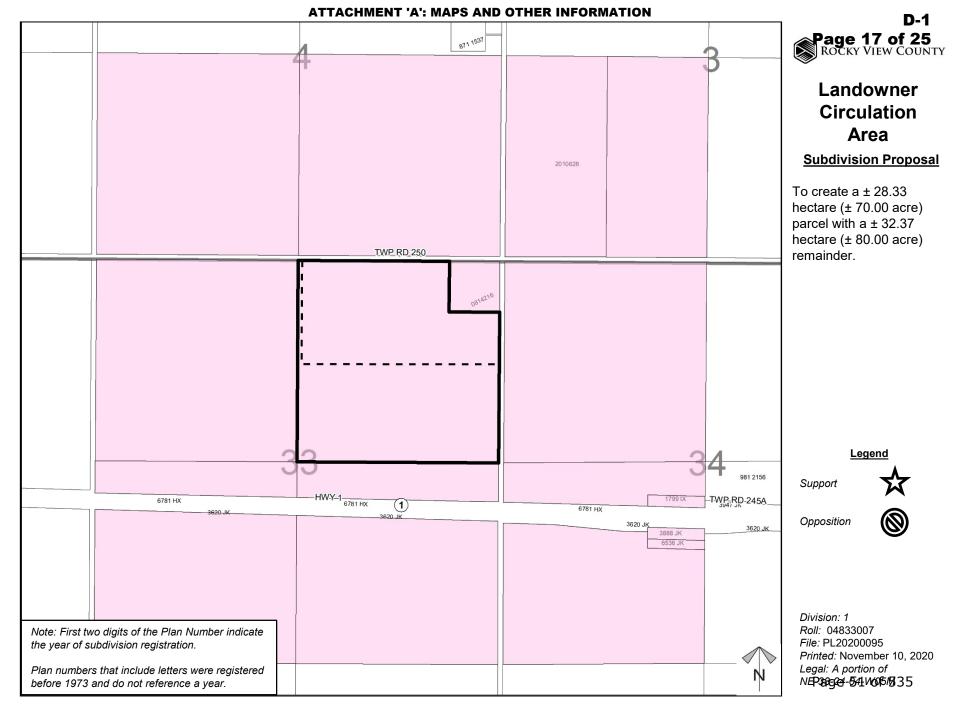
D-1 Page 16 of 25 ROCKY VIEW COUNTY

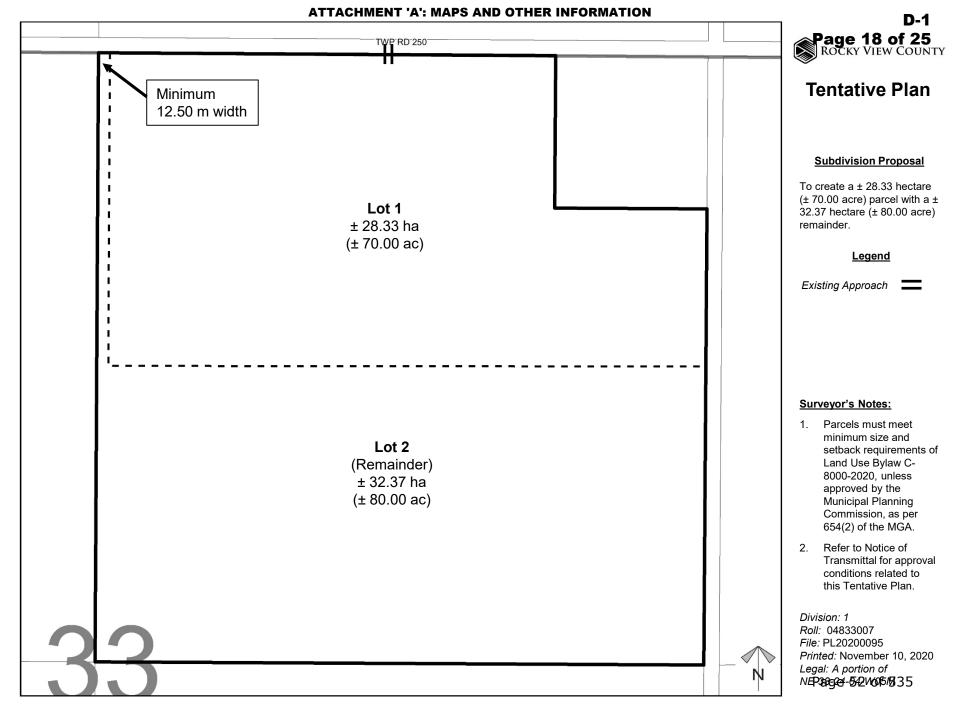
# Soil Classifications

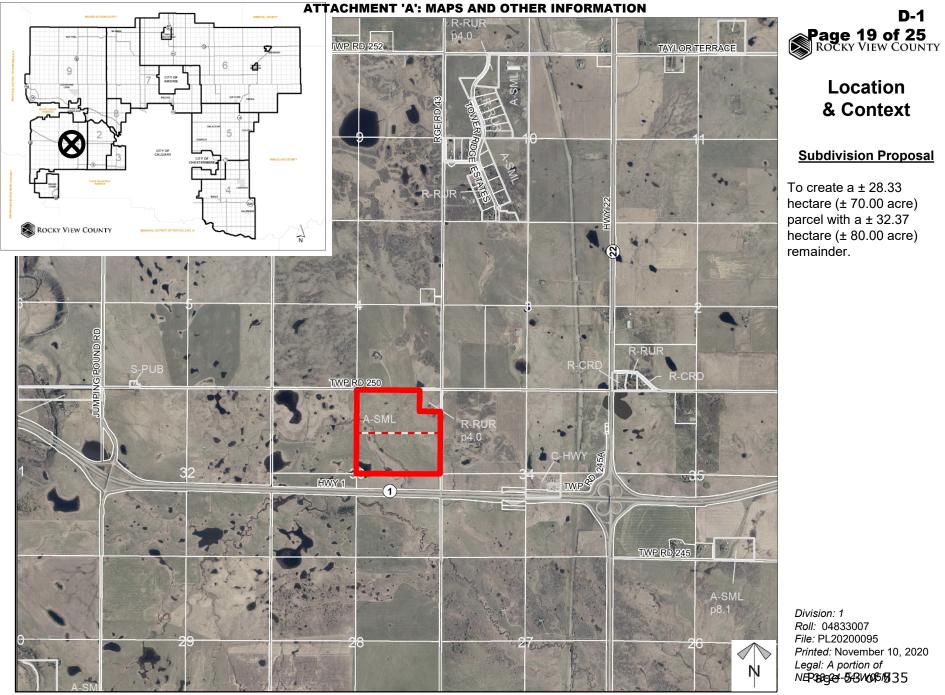
#### Subdivision Proposal

To create a  $\pm$  28.33 hectare ( $\pm$  70.00 acre) parcel with a  $\pm$  32.37 hectare ( $\pm$  80.00 acre) remainder.

Division: 1 Roll: 04833007 File: PL20200095 Printed: November 10, 2020 Legal: A portion of NEP382年-540105月35







Printed: November 10, 2020 Legal: A portion of NEPaga-5-8/005/035



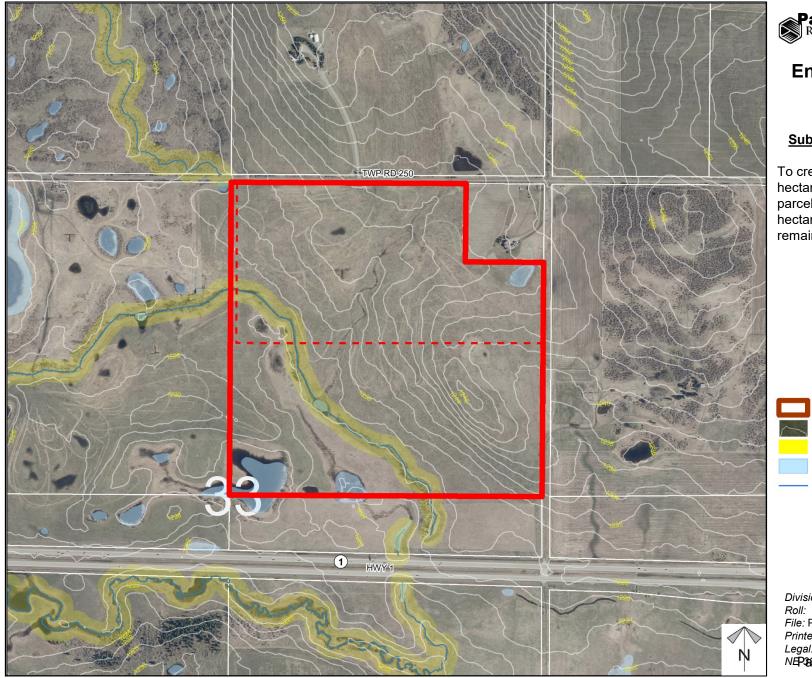


# Development Proposal

#### **Subdivision Proposal**

To create a  $\pm$  28.33 hectare ( $\pm$  70.00 acre) parcel with a  $\pm$  32.37 hectare ( $\pm$  80.00 acre) remainder.

Division: 1 Roll: 04833007 File: PL20200095 Printed: November 10, 2020 Legal: A portion of NEP3624-544/065/035





# Environmental

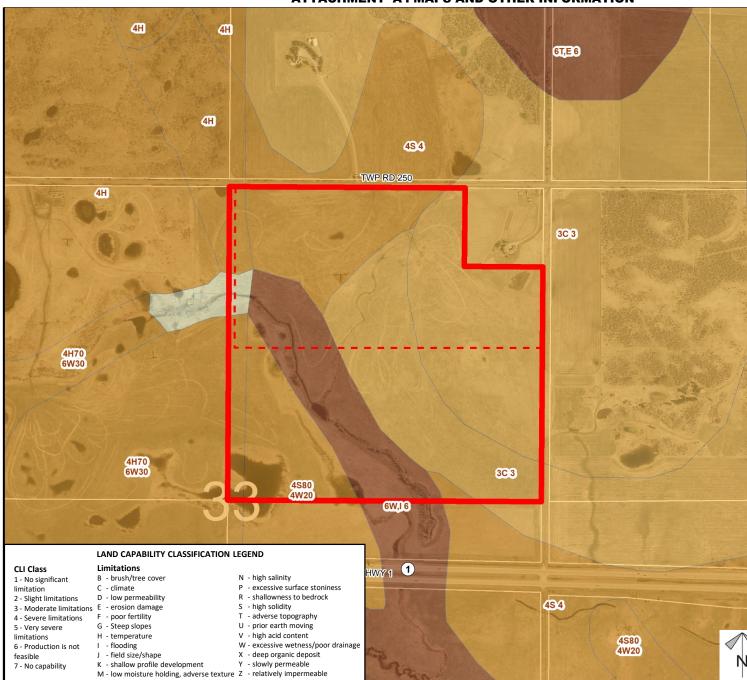
#### **Subdivision Proposal**

To create a  $\pm$  28.33 hectare ( $\pm$  70.00 acre) parcel with a  $\pm$  32.37 hectare ( $\pm$  80.00 acre) remainder.



Division: 1 Roll: 04833007 File: PL20200095 Printed: November 10, 2020 Legal: A portion of NEP362年-55-W06场35

**ATTACHMENT 'A': MAPS AND OTHER INFORMATION** 



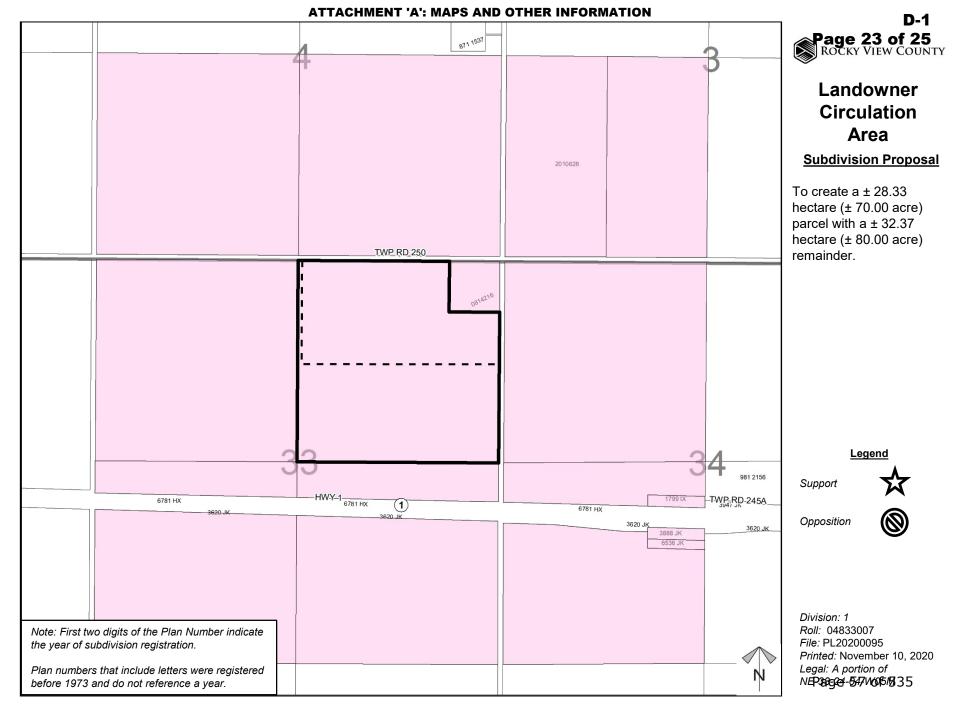
D-1 Page 22 of 25 ROCKY VIEW COUNTY

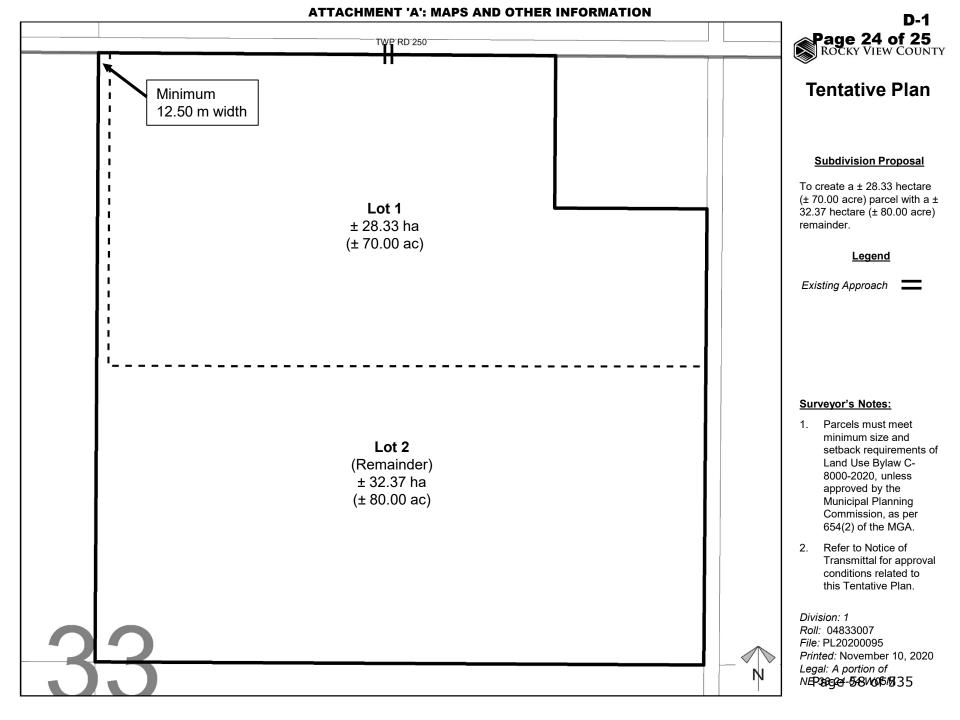
# Soil Classifications

#### **Subdivision Proposal**

To create a  $\pm$  28.33 hectare ( $\pm$  70.00 acre) parcel with a  $\pm$  32.37 hectare ( $\pm$  80.00 acre) remainder.

Division: 1 Roll: 04833007 File: PL20200095 Printed: November 10, 2020 Legal: A portion of NEP382年-56-W的約35







### **ATTACHMENT 'B': APPROVAL CONDITIONS**

- A. The application to create a ± 28.33 hectare (± 70.00 acre) parcel with a ± 32.37 hectare (± 80.00 acre) remainder at NE-33-24-04-05 has been evaluated in terms of Section 654 of the Municipal Government Act, Section 7 and 14 of the Subdivision and Development Regulation, and having considered adjacent landowner submissions, it is recommended that the application be approved as per the Tentative Plan for the reasons listed below:
  - a. The application is consistent with Section 7 and 14 of the Subdivision and Development Regulation;
  - b. The subdivision conforms to the provisions of the relevant statutory plans;
  - c. The subject lands hold the appropriate land use designation;
  - d. The technical aspects of the subdivision proposal have been considered, and, where required, are further addressed through the conditional approval requirements.
- B. The Applicant/Owner is required, at their expense, to complete all conditions attached to and forming part of this conditional subdivision approval prior to Rocky View County (the County) authorizing final subdivision endorsement. This requires submitting all documentation required to demonstrate each specific condition has been met, or agreements (and necessary securities) have been provided to ensure the conditions will be met, in accordance with all County Policies, Standards, and Procedures, to the satisfaction of the County, and any other additional party named within a specific condition. Technical reports required to be submitted as part of the conditions must be prepared by a qualified professional, licensed to practice in the province of Alberta within the appropriate field of practice. The conditions of this subdivision approval do not absolve an Applicant/Owner from ensuring all permits, licenses, or approvals required by Federal, Provincial, or other jurisdictions are obtained.
- C. Further, in accordance with Section 654 and 655 of the *Municipal Government Act,* the application shall be approved subject to the following conditions of approval:

#### Survey Plans

1) Subdivision is to be effected by a Plan of Survey, pursuant to Section 657 of the *Municipal Government Act*, or such other means satisfactory to the Registrar of the South Alberta Land Titles District.

#### Access

- 2) The Applicant/Owner will be required to construct a new graveled road approach providing access to Lot 2 in accordance with the County Servicing Standards.
  - a) The panhandle access to Township Road 250 shall be a minimum of 12.5 m in width.

#### Payments and Levies

3) The Owner shall pay the County Subdivision Endorsement fee, in accordance with the Master Rates Bylaw, for the creation of one new lot.

#### Taxes

 All taxes owing up to and including the year in which subdivision is to be registered are to be paid to Rocky View County prior to signing the final documents pursuant to Section 654(1) of the *Municipal Government Act*.



# PLANNING AND DEVELOPMENT SERVICES

**TO:** Subdivision Authority

DIVISION: 7

SUBJECT: Subdivision Item: High Plains Industrial Park

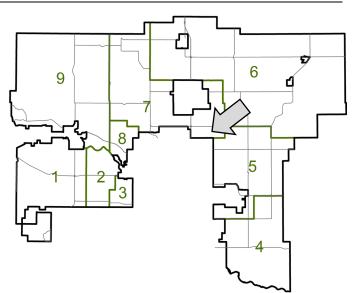
**APPLICATION:** To create a  $\pm$  12.71 acre parcel (Public Utility Lot), an access road, and a  $\pm$  8.84 acre remainder.

**GENERAL LOCATION:** Located in the Balzac East area, approximately ½ mile south of Crossiron Drive, north of High Plans Road and east of Range Road 291

**LAND USE DESIGNATION:** Industrial, Heavy District (I-HVY)

ADMINISTRATION RECOMMENDATION:

Administration recommends approval in accordance with Option #1.



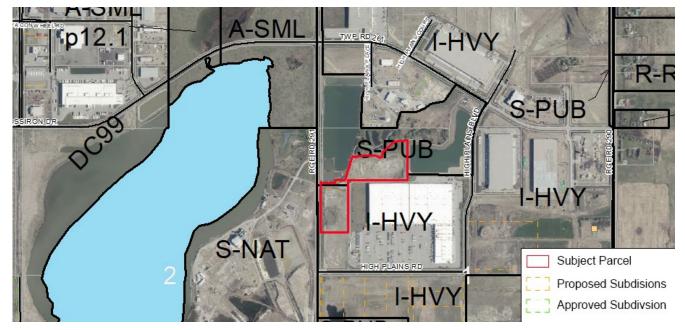
**DATE:** December 10, 2020

APPLICATION: PL20200158

#### **OPTIONS:**

- Option #1: THAT Subdivision Application PL20200158 be approved with the conditions noted in Appendix 'B'.
- Option #2: THAT Subdivision Application PL20200158 be refused as per the reasons noted.

## AIR PHOTO & DEVELOPMENT CONTEXT:





**APPLICANT:** IBI Group (Rares Caraba)

OWNER: 1405275 Alberta Ltd.

## **APPLICATION EVALUATION:**

The application was evaluated based on the technical reports submitted with the application and the applicable policies and regulations.

APPLICABLE POLICY AND REGULATIONS:	TECHNICAL REPORTS SUBMITTED:
Municipal Government Act;	• N/A
Subdivision and Development Regulations;	
Municipal Development Plan;	
Balzac East Area Structure Plan;	
High Plain Industrial Park Conceptual Scheme;	
Land Use Bylaw; and	
County Servicing Standards.	

ESTIAMTED FEE/LEVY	AMOUNT OWING	
TRANSPORTATION OFFSITE LEVY Approximately \$327,818 to be		
• TOL applicable on the proposed Lot 1 (Public Utility Lot) and the proposed access road. TOL for the remainder parcel will be deferred to future development.	determined via plan of survey.	
• Base Levy \$4,595 x 14.11 acres = \$64,835.45 to be confirmed via plan of survey.		
• Special Levy \$18,638 x 14.11 acres = \$262,982.18		
WATER AND WASTEWATER OFFSITE LEVY	N/A	
• N/A as proposed Lot 1 would be a Public Utility Lot. The remainder lot will be developed under a future application.		
MUNICIPAL RESERVE	N/A	
• 10% outstanding Municipal Reserve on the subject land, to be deferred by caveat.		

#### Proposal Overview

The Applicant is dedicating proposed lot 1 as a public utility lot to allow for the expansion of the exisitng stormwater facility to service Phase 4 of High Plains Industrial Park (NW-12-26-29-W04M). The pond will be constructed under a development agreement signed for Phase 4 (PL2020007) and is not a proposed condition of this application.

The Applicant is also converting an existing access road, previously built as a private access in Phase 1 of High Plains, as a public road, to provide access to the remainder parcel and continue access to



the exisitng parcel to the east. No developable lots are being created under this file (the remainder lot was created under previous subdivision file PL20190066). For this reason, there are no water and wastewater servicing and other technical requirements for this subdivision. This is a resubmission of PL20200039.

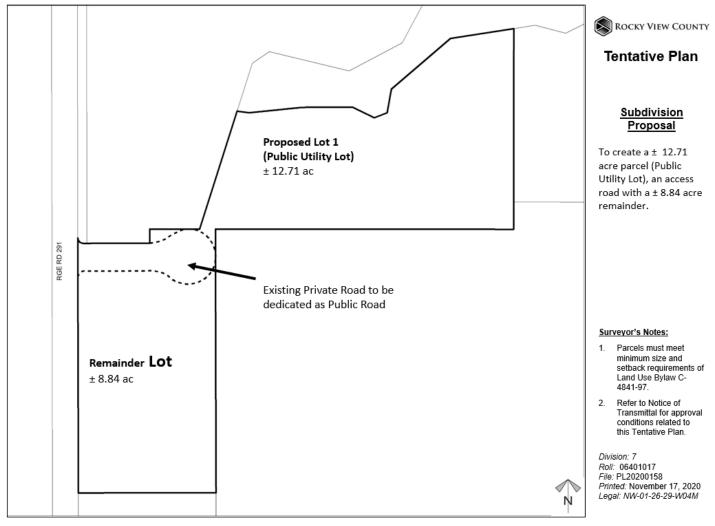
#### Accessibility to a Road:

The existing private road will be converted to a public road with the dedication of the applicable rightof-way in accordance with County Servicing Standards.

Given that this private access had been constructed to County standards, the Development Agreement condition is only to provide for submissions of QA/QC testing and for site inspections prior to the County assuming responsibility for the ongoing operation and maintenance.



### Tentative Plan





## CONCLUSION:

Subject to the proposed conditions of approval, the application is recommended for approval.

Respectfully submitted,

Concurrence,

"Theresa Cochran"

"Al Hoggan"

Executive Director Community Development Services Chief Administrative Officer

ST/IIt

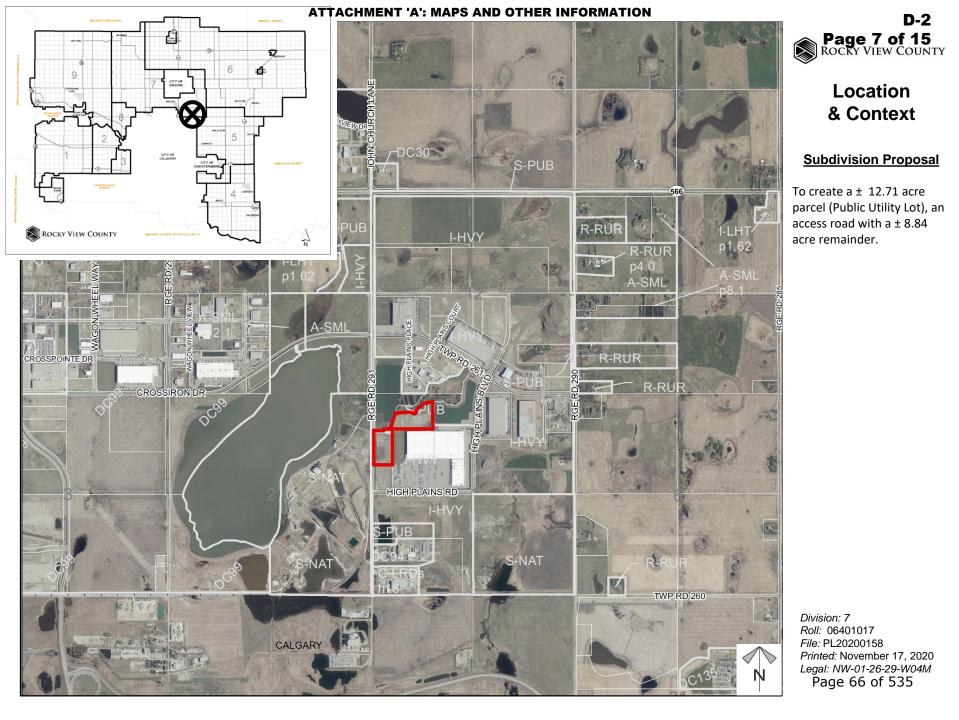
#### **ATTACHMENTS:**

ATTACHMENT 'A': Maps and Other Information ATTACHMENT 'B': Approval Conditions ATTACHMENT 'C': Letters



DATE APPLICATION RECEIVED: November 16, 2020		DATE DEEMED COMPLETE: November 16, 2020	
GROSS AREA: ± 23 acres		LEGAL DESCRIPTION: NW-1-26-29-W04M	
APPEAL BOARD: Subdivision and Development Appeal Board.			
HISTORY:			
<b>October 22, 2019</b> Subdivision Application (PL20190066) conditionally approved to create a $\pm$ 7.50 acre parcel with a $\pm$ 23.00 acre remainder.			
June 23, 2016 Registration of Plan 161 1477 creating a 20.87 acre PUL and the 30 acre remainder.			
<b>May 25, 2020</b> Subdivision PL20200039 conditionally approved to create a $\pm$ 12.71 ac Public Utility Lot, with a $\pm$ 8.84 ac remainder.			
PUBLIC & AGENCY SUBMISSIONS:			

The application was circulated to 28 adjacent landowners. No letters in support/opposition were received. The application was also circulated to a number of internal and external agencies and, where appropriate, conditions of approval have been proposed based on these comments.







# Development Proposal

#### **Subdivision Proposal**

To create a  $\pm$  12.71 acre parcel (Public Utility Lot), an access road with a  $\pm$  8.84 acre remainder.

Division: 7 Roll: 06401017 File: PL20200158 Printed: November 17, 2020 Legal: NW-01-26-29-W04M Page 67 of 535





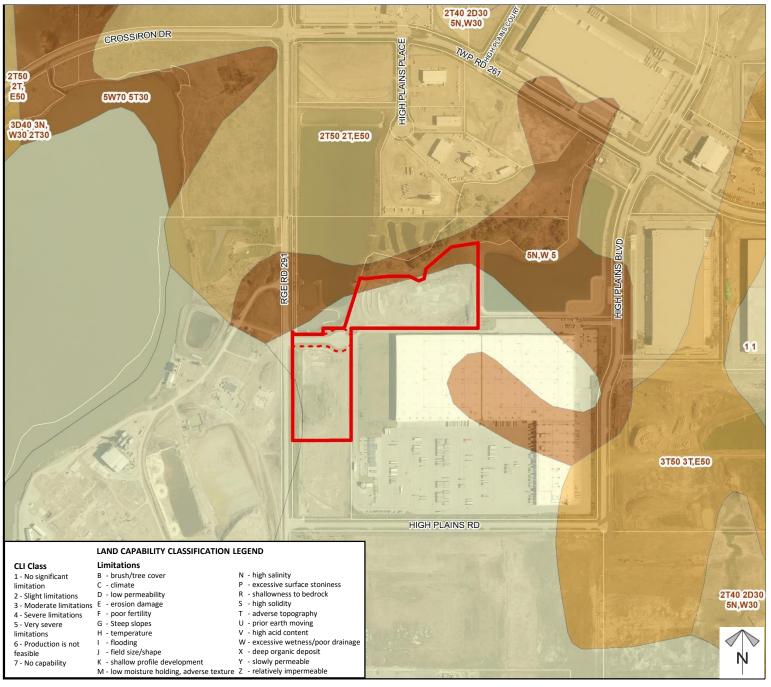
# Environmental

#### **Subdivision Proposal**

To create a  $\pm$  12.71 acre parcel (Public Utility Lot), an access road with a  $\pm$  8.84 acre remainder.



Division: 7 Roll: 06401017 File: PL20200158 Printed: November 17, 2020 Legal: NW-01-26-29-W04M Page 68 of 535



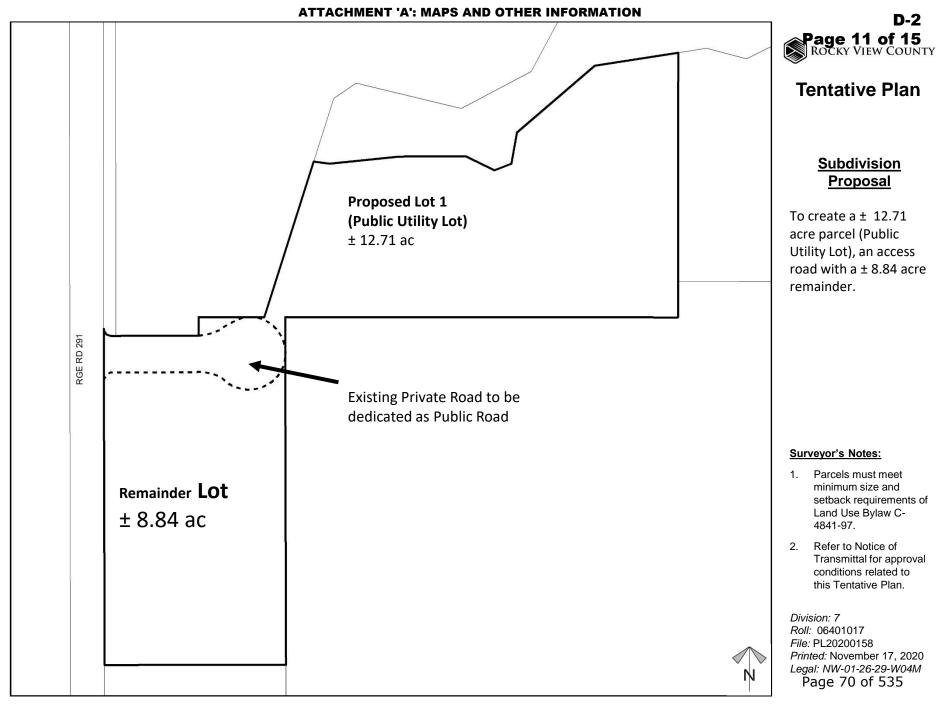
D-2 Page 10 of 15 ROCKY VIEW COUNTY

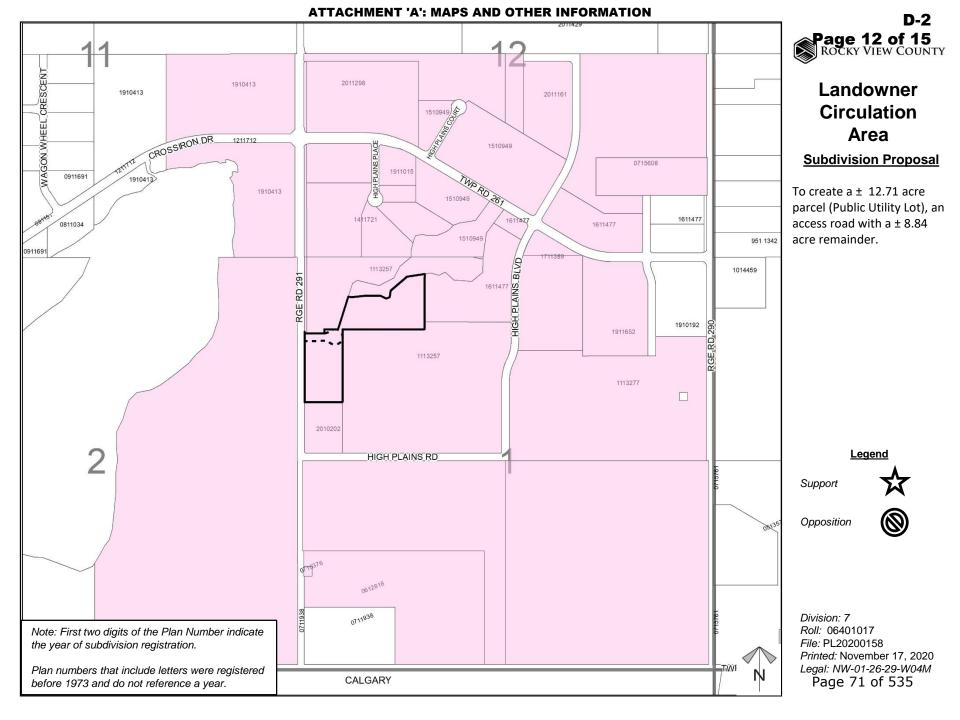
# Soil Classifications

#### **Subdivision Proposal**

To create a  $\pm$  12.71 acre parcel (Public Utility Lot), an access road with a  $\pm$  8.84 acre remainder.

Division: 7 Roll: 06401017 File: PL20200158 Printed: November 17, 2020 Legal: NW-01-26-29-W04M Page 69 of 535







## ATTACHMENT 'B': APPROVAL CONDITIONS

- A. The application to create a ± 12.71 ac (Public Utility Lot), an access road, and a remainder lot (± 8.84 ac) at NW-01-26-29-W04M having been evaluated in terms of Section 654 of the *Municipal Government Act* and Section 7 of the Subdivision and Development Regulations, and having considered adjacent landowner submissions, is approved as per the Tentative Plan for the reasons listed below:
  - 1. The application is consistent with the Statutory Policy;
  - 2. The subject lands hold the appropriate land use designation; and
  - 3. The technical aspects of the subdivision proposal have been considered and are further addressed through the conditional approval requirements.
- B. The Applicant/Owner is required, at their expense, to complete all conditions attached to and forming part of this conditional subdivision approval prior to Rocky View County (the County) authorizing final subdivision endorsement. This requires submitting all documentation required to demonstrate each specific condition has been met, or agreements (and necessary securities) have been provided to ensure the conditions will be met, in accordance with all County Policies, Standards, and Procedures, to the satisfaction of the County, and any other additional party named within a specific condition. Technical reports required to be submitted as part of the conditions must be prepared by a qualified professional, licensed to practice in the province of Alberta within the appropriate field of practice. The conditions of this subdivision approval do not absolve an Applicant/Owner from ensuring all permits, licenses, or approvals required by Federal, Provincial, or other jurisdictions are obtained.
- C. Further, in accordance with Section 654 and 655 of the *Municipal Government Act*, the application shall be approved subject to the following conditions of approval:

#### Survey Plans

1) Subdivision is to be effected by a Plan of Survey, pursuant to Section 657 of the *Municipal Government Act*, or such other means satisfactory to the Registrar of the South Alberta Land Titles District.

#### Development Agreement

- 2) The Owner is to enter into and comply with a Development Agreement pursuant to Section 655 of the Municipal Government Act in accordance with the approved tentative plan and shall include the following:
  - i. Design and construction of an internal road with associated infrastructure which includes:
    - (a) Paved industrial street;
    - (b) Paved cul-de-sac;
  - ii. Provision of all materials testing, quality assurance and quality control reporting related to the construction of the paved industrial street;
  - iii. Payment of any applicable off-site levies, at the then applicable rates, as of the date of the Development Agreement;
  - iv. Payment of all applicable contributions to the County or third parties for oversized or excess capacity infrastructure, roads and/or services;
  - v. The construction of any oversized or excess capacity infrastructure, roads and/or services benefiting the Owner's lands and development and other lands. As contemplated by and in accordance with Section 650, 655, 651 and 648 of the



*Municipal Government Act* and Council policies respecting infrastructure and cost recovery.

#### Payments and Levies

- 3) The Applicant/Owner shall pay the Transportation Off-Site Levy (including the Base Levy and the Special Area Levy) in accordance with the Transportation Off-Site Bylaw C-7356-2014. The County shall calculate the total amount owing:
  - i. From the total gross acreage of the proposed lot 1 (Public Utility Lot) and the proposed road right of way as shown on the Plan of Survey.
- 4) The Owner shall pay the County subdivision endorsement fee, in accordance with the Master Rates Bylaw, for the creation of one new lot.

**Municipal Reserves** 

- 5) The provision of Reserve in the amount of 10% of Lots 1, are to be deferred by Caveat pursuant to Section 669(2) of the Municipal Government Act; and the remainder is to remain deferred without Caveat pursuant to Section 663 of the Municipal Government Act;
- 6) All taxes owing up to and including the year in which subdivision is to be registered are to be paid to Rocky View County prior to signing the final documents pursuant to Section 654(1) of the *Municipal Government Act*.
- D. SUBDIVISION AUTHORITY DIRECTION:
  - Prior to final endorsement of the subdivision, the Planning Department is directed to present the Applicant/Owners with a Voluntary Recreation Contribution Form and ask them if they will contribute to the Fund in accordance with the contributions prescribed in the Master Rates Bylaw



**ATTACHMENT 'C': LETTERS** 

No letters received.



# PLANNING AND DEVELOPMENT SERVICES

**TO:** Municipal Planning Commission

DIVISION: 8

SUBJECT: Subdivision Item: Residential Subdivision

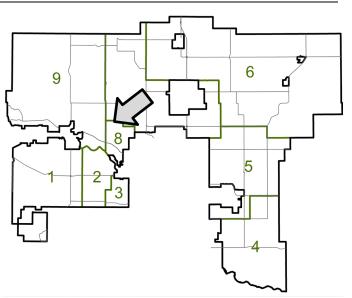
**APPLICATION:** To create a  $\pm$  1.9 hectare (4.71 acre) parcel with a  $\pm$  9.3 hectare (22.97 acre) remainder.

**GENERAL LOCATION:** Located approximately 5.00 kilometres (3.11 miles) northwest of the City of Calgary and 0.20 kilometres (1/8 mile) north of Township Road 262 and 0.81 kilometres (1/2 mile) west of Bearspaw Road.

**LAND USE DESIGNATION:** Rural Residential District (R-RUR)

**ADMINISTRATION RECOMMENDATION:** Administration recommends Approval in accordance with Option #1. DATE: December 10, 2020

APPLICATION: PL20200088



### **OPTIONS:**

- Option #1: THAT Subdivision Application PL20200088 be approved with the conditions noted in Appendix 'B'.
- Option #2: THAT Subdivision Application PL20200088 be refused as per the reasons noted.

## AIR PHOTO & DEVELOPMENT CONTEXT:





## APPLICANT: Horizon Land Surveys

### **OWNER:** Kris & Karen Reinhart

## **APPLICATION EVALUATION:**

The application was evaluated based on the technical reports submitted with the application and the applicable policies and regulations.

APPLICABLE POLICY AND REGULATIONS:	TECHNICAL REPORTS SUBMITTED:
Municipal Government Act;	Land Appraisal by RDS Appraisal Group
Subdivision and Development Regulations;	(July 9, 2020)
Municipal Development Plan;	
Bearspaw ASP	
Land Use Bylaw; and	
County Servicing Standards.	

APPLICABLE FEE/LEVY	AMOUNT OWING (ESTIMATE)
TRANSPORTATION OFFSITE LEVY (C-8007-2020)	N/A
MUNICIPAL RESERVE • \$965,000.00 gross / 27.59 ac = \$34,976.44/acre • \$34,976.44 per acre x (4.71 x 10%) = \$16,473.90	\$16,473.90

#### Transportation and Access:

Access to Lot 1 is provided by an existing paved approach via Poplar Hill Drive. The applicant will be required to construct a new paved approach for Lot 2, which will ensure municipal access is maintained. As the proposed panhandle is 25 meters in width, a Road Acquisition Agreement is not required at this time. Transportation Off-Site Levy (Bylaw C-8007-2020) shall be deferred for both Lot(s) 1 & 2.

#### Servicing:

The dwelling (Lot 1) is serviced by an existing water well and Private Sewage Treatment System. However, both Lots 1 & 2 will be required to tie into the Rocky View Water COOP lines due to the proximity of a piped system along Poplar Hill Road. Additionally, a Deferred Services Agreement for Lots 1 and 2 will be required to connect to wastewater and stormwater servicing when available.

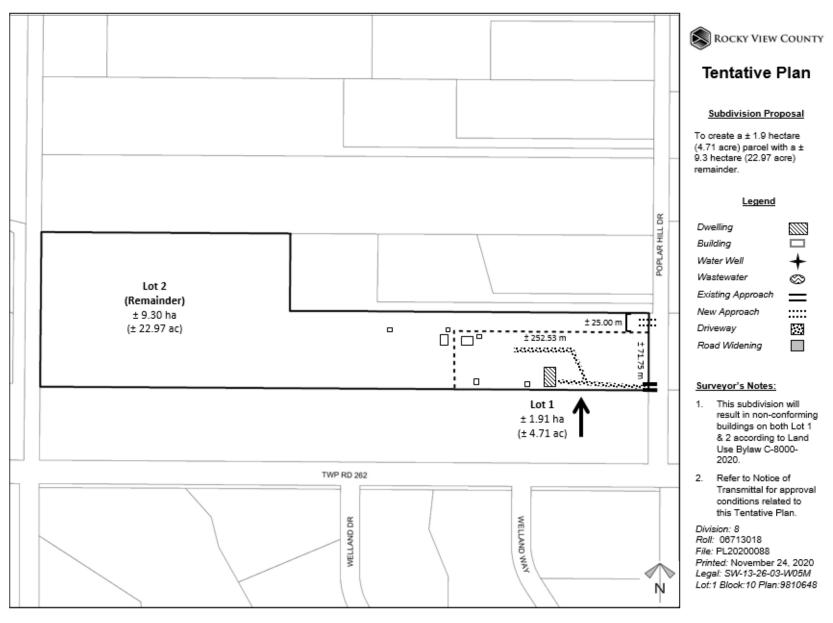
#### Policy Analysis:

The subject lands are located within the Bearspaw ASP, identified as appropriate for Country Residential land uses. A concept plan is recommended within the area but not required at this time as both parcels maintain municipal access and meet minimum parcel size. If additional subdivisions occur in the future the requirement for a concept plan can be reconsidered. The application is inconsistent with Policy 8.1.22 of the Bearspaw ASP, where panhandles should not be supported unless required as a result of topography. However, considering the dimensions of the existing parcel and the proposed width of the area is 25.00m, this does not appear to be a concern.

Municipal Reserves are required for Lot 1 as policy does not support further subdivision. Lot 2 will be deferred at this time.



#### Tentative Plan





### CONCLUSION:

Subject to the proposed conditions of approval, the application is recommended for Approval.

Respectfully submitted,

Concurrence,

"Theresa Cochran"

"Al Hoggan"

Executive Director Community Development Services Chief Administrative Officer

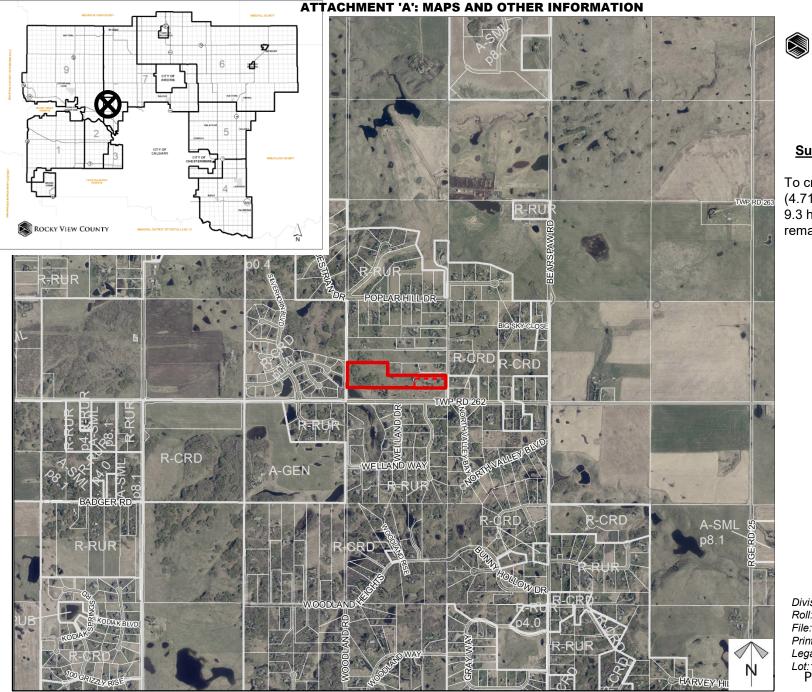
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**ATTACHMENTS:** ATTACHEMENT 'A': Maps and Other Information ATTACHEMENT 'B': Approval Conditions



DATE APPLICATION RECEIVED: July 9, 2020	DATE DEEMED COMPLETE: July 22, 2020			
GROSS AREA: ± 11.17 HECTARES (± 27.59 ACRES)	LEGAL DESCRIPTION: SW-13-26-3-W5M			
APPEAL BOARD: Municipal Government Board				
HISTORY:				
March 9, 1998 – 1997-RV-63 – Parcel registered at Land Titles under Plan 981 0648. Reserves not required.				
PUBLIC & AGENCY SUBMISSIONS:				
The application was circulated to 189 adjacent landowners. No letters were submitted in support or opposition of the application.				

The application was also circulated to a number of internal and external agencies and, where appropriate, conditions of approval have been proposed based on these comments.



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# Location & Context

#### Subdivision Proposal

To create a  $\pm$  1.9 hectare (4.71 acre) parcel with a  $\pm$ 9.3 hectare (22.97 acre) remainder.

Division: 8 Roll: 06713018 File: PL20200088 Printed: November 24, 2020 Legal: SW-13-26-03-W05M Lot:1 Block:10 Plan:9810648 Page 80 of 535





# Development Proposal

### Subdivision Proposal

To create a  $\pm$  1.9 hectare (4.71 acre) parcel with a  $\pm$ 9.3 hectare (22.97 acre) remainder.

Division: 8 Roll: 06713018 File: PL20200088 Printed: November 24, 2020 Legal: SW-13-26-03-W05M Lot:1 Block:10 Plan:9810648 Page 81 of 535





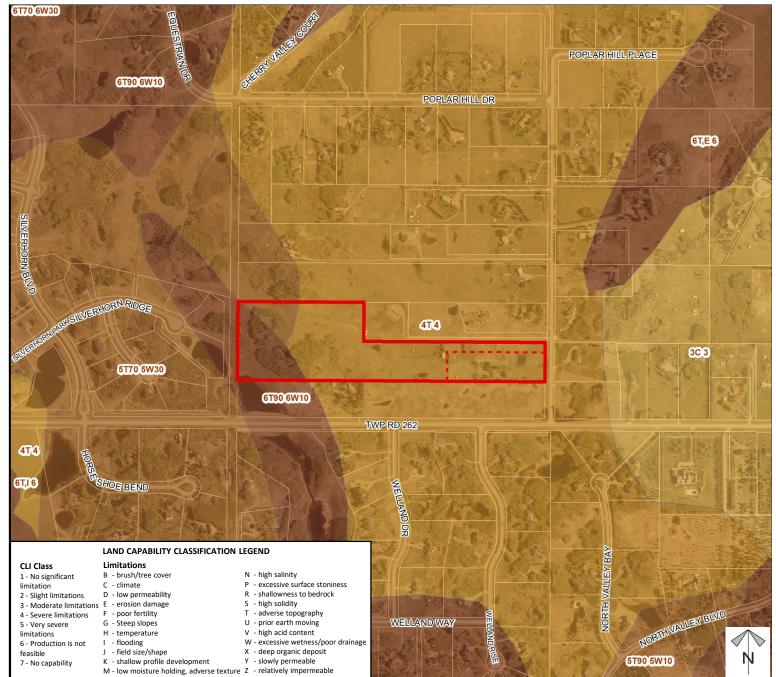
# Environmental

#### **Subdivision Proposal**

To create a  $\pm$  1.9 hectare (4.71 acre) parcel with a  $\pm$ 9.3 hectare (22.97 acre) remainder.



Division: 8 Roll: 06713018 File: PL20200088 Printed: November 24, 2020 Legal: SW-13-26-03-W05M Lot:1 Block:10 Plan:9810648 Page 82 of 535



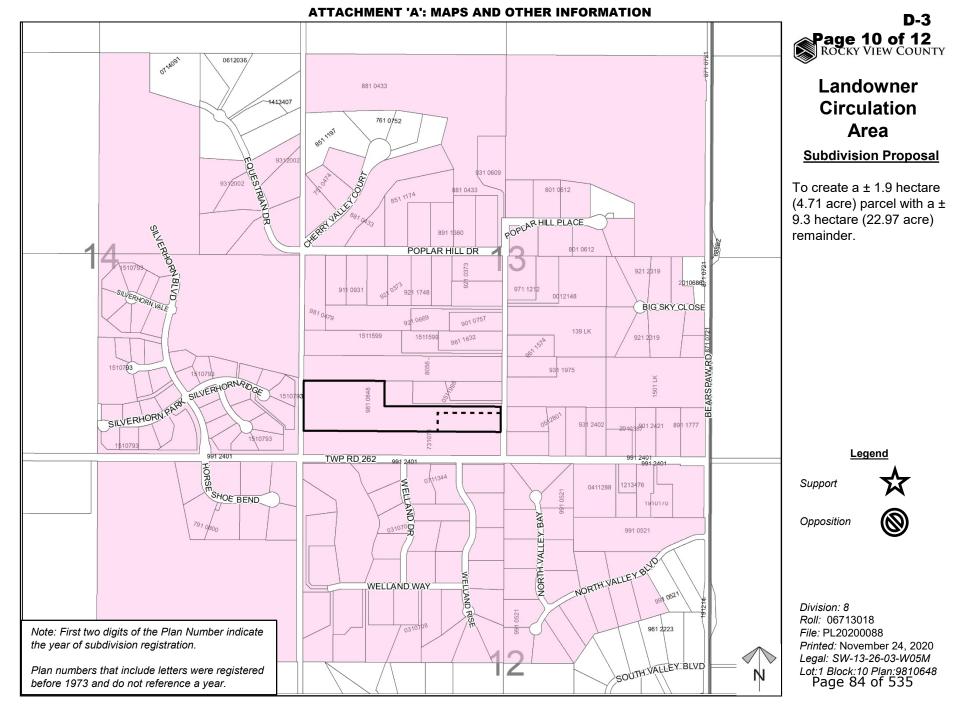


# Soil Classifications

#### Subdivision Proposal

To create a  $\pm$  1.9 hectare (4.71 acre) parcel with a  $\pm$ 9.3 hectare (22.97 acre) remainder.

Division: 8 Roll: 06713018 File: PL20200088 Printed: November 24, 2020 Legal: SW-13-26-03-W05M Lot:1 Block:10 Plan:9810648 Page 83 of 535





### **ATTACHMENT 'B': APPROVAL CONDITIONS**

- A. The application to create a ± 1.9 hectare (± 4.71 acre) parcel with a ± 9.3 hectare (± 22.97 acre) remainder from Lot 1, Block 10, Plan 981 0648, SW-13-26-3-W5M has been evaluated in terms of Section 654 of the *Municipal Government Act* and Sections 7 and 14 of the Subdivision and Development Regulations, and having considered adjacent landowner submissions, it is recommended that the application be approved as per the Tentative Plan for the reasons listed below:
  - 1. The application is consistent with the Statutory Policy;
  - 2. The subject lands hold the appropriate land use designation;
  - 3. The technical aspects of the subdivision proposal have been considered and are further addressed through the conditional approval requirements.
- B. The Applicant/Owner is required, at their expense, to complete all conditions attached to and forming part of this conditional subdivision approval prior to Rocky View County (the County) authorizing final subdivision endorsement. This requires submitting all documentation required to demonstrate each specific condition has been met, or agreements (and necessary securities) have been provided to ensure the conditions will be met, in accordance with all County Policies, Standards, and Procedures, to the satisfaction of the County, and any other additional party named within a specific condition. Technical reports required to be submitted as part of the conditions must be prepared by a qualified professional, licensed to practice in the province of Alberta within the appropriate field of practice. The conditions of this subdivision approval do not absolve an Applicant/Owner from ensuring all permits, licenses, or approvals required by Federal, Provincial, or other jurisdictions are obtained.
- C. Further, in accordance with Section 654 and 655 of the *Municipal Government Act*, the application shall be approved subject to the following conditions of approval:

#### Survey Plans

1) Subdivision is to be effected by a Plan of Survey, pursuant to Section 657 of the *Municipal Government Act*, or such other means satisfactory to the Registrar of the South Alberta Land Titles District.

#### Site Plan

- 2) The Owner is to provide a Site Plan, prepared by an Alberta Land Surveyor, which illustrates the following in relation to the new property lines:
  - a) All existing buildings and structures are to conform to the setback requirements in relation to the new property line, as described in the R-RUR Land Use District, as per the Land Use Bylaw C-8000-2020, as amended.

#### Transportation and Access

- 3) The Applicant/Owner shall construct a new paved approach on Poplar Hill Drive in order to provide access to Lot(s) 2; If a mutual approach is constructed, the Owner shall:
  - a) Provide an access right of way plan; and
  - b) Prepare and register respective easements on each title, where required.



#### Site Servicing

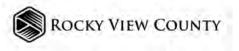
- 4) The Applicant/Owner shall submit a Level 3 PSTS Assessment for Lot 2, prepared by a qualified professional to the satisfaction of the County.
  - a) If the recommendations within the report indicate improvements are required, the Owner shall enter into a Site Improvement/Services Agreement with the County.
- 5) The Owner is to provide confirmation of the tie-in for connection to Rocky View Water COOP, an Alberta Environment licensed piped water supplier, for Lot(s) 1 & 2, as shown on the Approved Tentative Plan. This includes providing the following information:
  - a) Confirmation from the water supplier that an adequate and continuous piped water supply is available for the proposed new Lot(s) 1 & 2;
  - b) Documentation proving that water supply has been purchased for proposed Lot(s) 1 & 2;
  - c) Documentation proving that water supply infrastructure requirements including servicing to the property have been installed or installation is secured between the developer and water supplier, to the satisfaction of the water supplier and the County
- 6) The Owner is to enter into a Deferred Services Agreement with the County, to be registered on title for each proposed Lot(s) 1 & 2, indicating:
  - a) Requirements for each future Lot Owner to connect to County's wastewater, and stormwater systems at their cost when such services become available;
  - b) Requirements for decommissioning and reclamation once County servicing becomes available;

#### **Payments and Levies**

- 7) The provision of Reserve in the amount of 10 percent of the area of Lot(s) 1, as determined by the Plan of Survey, is to be provided by payment of cash-in-lieu in accordance with the per acre value as listed in the land appraisal prepared by RDS Appraisal Group, File #2010104, dated July 9, 2020, pursuant to Section 666(3) of the *Municipal Government Act* 
  - a) Reserves for Lot 2 are to be deferred with Caveat pursuant to Section 669(2) of the Municipal Government Act;
- 8) The Applicant/Owner shall pay the County Subdivision Endorsement fee, in accordance with the Master Rates Bylaw, for the creation of one (1) new Lot.

#### Taxes

- 9) All taxes owing up to and including the year in which subdivision is to be registered are to be paid to Rocky View County prior to signing the final documents pursuant to Section 654(1) of the Municipal Government Act.
- D. SUBDIVISION AUTHORITY DIRECTION:
  - Prior to final endorsement of the subdivision, the Planning Department is directed to present the Applicant/Owners with a Voluntary Recreation Contribution Form and ask them if they will contribute to the Fund in accordance with the contributions prescribed in the Master Rates Bylaw



# PLANNING AND DEVELOPMENT SERVICES

**TO::** Municipal Planning Commission

**DIVISION:** 9

SUBJECT: Development Item: Single-lot Regrading

USE: Discretionary use, with no Variances

APPLICATION: single-lot regrading, for the construction of a sports court

**GENERAL LOCATION:** located approximately 0.41 km (1/4 mile) north of Twp. Rd. 262 and 0.41 km (1/4 mile) west of Rge. Rd 33

LAND USE DESIGNATION: Residential, Rural District (R-RUR) under Land Use Bylaw C-8000-2020.

**ADMINISTRATION RECOMMENDATION:** 

Administration recommends Approval in accordance with Option #1.

## **OPTIONS:** Option #1:

THAT Development Permit

9

- Application PRDP20202966 be approved with the conditions noted in the Development Permit Report, attached.
- Option #2: THAT Development Permit Application PRDP20202966 be refused as per the reasons noted.

## **AIR PHOTO & DEVELOPMENT CONTEXT:**



**DATE:** December 10, 2020

APPLICATION: PRDP20202966

6



# **DEVELOPMENT PERMIT REPORT**

Application Date: September 25, 2020	File: 06716025
Application: PRDP20202966	Applicant: On-Growing Works Inc. (Heather Campbell) Owner: Tracey Taylor
Legal Description: Lot 13, Block 1, Plan 0513431, SE-16-26-03-05	<b>General Location:</b> located approximately 0.41 km (1/4 mile) north of Twp. Rd. 262 and 0.41 km (1/4 mile) west of Rge. Rd 33
Land Use Designation: Residential Rural District (RUR) under Land Use Bylaw C-8000-2020.	Gross Area: ± 1.61 hectares (± 4.00 acres)
File Manager: Jacqueline Targett	Division: 9

#### PROPOSAL:

The proposal is for single-lot regrading, for the construction of a sports court. The application is proposing the regrading to excavate an area to accommodate a sports court.

- Court Dimensions
  - $\circ$  Height (depth) an 8.00 inch (0.66 ft.)
  - o Length 25.60 m (84.00 ft.)
  - o Width 16.45 m (54.00 ft.)
  - o Area 421.41 sq. m (4,536.00 sq. ft.)
  - Volume 561.88 cu. m (6,048.00 cu. ft.)
- Estimated Truck loads Not required;

#### Land Use Bylaw

Section 157 Site stripping, grading, excavation, or fill is a discretionary use in all land use districts.

• As the proposed application is changing the grades onsite and the subject site is located within an area of the County which is prone to flooding issues, a Development Permit is required to ensure no negative impact to adjacent properties.

#### STATUTORY PLANS:

The subject property falls under the Bearspaw Area Structure Plan. The plan gives no guidance on the nature of this application. The application was assessed in accordance with Land Use Bylaw C-8000-2020.

#### **INSPECTOR'S COMMENTS:**

Inspection: October 20, 2020

- Site area slightly sloped; on edge of parcel to adjacent parcels
- Small area of fill stockpiled at time of inspection
- Short fence separating parcels
- No other concerns

## CIRCULATIONS:

#### Development Compliance Officer Review (October 15, 2020)

• Development Compliance has no comments or concerns with the attached application.

#### Agricultural and Environmental Services Review (October 15, 2020)

• No agricultural concerns.

#### Planning and Development Services - Engineering Review (November 18, 2020)

#### General:

• The review of this file is based upon the application submitted. These conditions/recommendations may be subjected to change to ensure best practices and procedures.

## Geotechnical:

- The proposed application involves excavation of 86 m<sup>3</sup> to construct a sport court on the property.
- As a permanent condition, the applicant will be required to provide compaction testing results, prepared and provided by a qualified professional, for any areas of the site filled greater than 1.2m in depth.
- Engineering has no requirements at this time.

#### Transportation:

- Access to the parcel is provided off Mountain Glen Close.
- Prior to issuance, the applicant is required to contact County Road Operations to determine if a Road Use Agreement is required for hauling excavated material off the subject land. Should a Road Use agreement be required by County's Road Operations Department, the applicant shall enter into a Road Use Agreement with the County in accordance with Road Use Agreement Bylaw C-8065-2020 and submit a copy of the executed agreement.
- As the proposed development is an accessory use and is unlikely to increase traffic on local road networks, Traffic Impact Assessment and TOL are not required.
- Engineering has no requirements at this time.

#### Sanitary/Waste Water:

- No information was provided.
- Engineering has no requirements at this time.

#### Water Supply and Waterworks:

- No information was provided.
- Engineering has no requirements at this time.

#### Storm Water Management:

**Rocky View County** 

- Based on County GIS, site contours are pointed towards south west direction.
- The proposed development is close to the western boundary of the subject lot. This may not provide sufficient space for added stormwater to disperse before exiting the property.
- Prior to issuance, the applicant shall provide a stormwater memo, prepared by a qualified professional, confirming whether the addition of the proposed sport court conforms with the overall stormwater management strategy for the subject land or further improvements are required. Should improvements be necessary, the applicant will be required to provide a site specific stormwater management report, prepared by a qualified professional, addressing the necessary improvements to be implemented on the subject land to support the proposed development in accordance with Nose Creek Watershed Water Management Plan and County servicing standards.
- As a permanent condition, the applicant will be required to implement and maintain the approved stormwater management system in perpetuity.

Environmental – Section 900.0 requirements:

• As an advisory, the applicant is responsible for ensuring that proper dust mitigations measures and ESC controls are adhered to on site.

#### I&O Review

• No comments received;

#### **OPTIONS:**

Option #1: (this would grant the requested proposal)

APPROVAL subject to the following conditions:

#### **Description:**

 That single-lot regrading, for construction of Sports Court, approximately 421.41 sq. m (4,536.00 sq. ft.) in area, may take place on the subject lands, in general accordance with submitted application and approved site plan, as prepared by OnGrowing Works, dated September 18, 2020, Job #18-752; Dwgs. SITE and conditions of this permit.

#### Prior to Issuance:

- 2. That prior to issuance of this permit, the Applicant/Owner shall contact County Road Operations with haul details for materials and equipment needed during construction/site development to confirm if Road Use Agreements will be required for any hauling along the County road system and to confirm the presence of County road ban restrictions."
  - i. Written confirmation shall be received from County Road Operations confirming the status of this condition. Any required agreement or permits shall be obtained unless otherwise noted by County Road Operations.
- 3. That prior to issuance of this permit, the Applicant/Owner shall submit a stormwater memo, prepared by a qualified professional, confirming whether the addition of the proposed sport court conforms with the overall stormwater management strategy for the subject land or further improvements are required, to the satisfaction of the County.
  - i. That if improvements are necessary, the Applicant/Owner shall submit a site specific stormwater management report, prepared by a qualified professional, addressing the necessary improvements to be implemented on the subject land to support the proposed



development in accordance with Nose Creek Watershed Water Management Plan and County's Servicing Standards.

#### Permanent:

- 4. That any plan, technical submission, agreement, matter or understanding submitted and approved as part of the application or in response to a Prior to Issuance condition, shall be implemented and adhered to in perpetuity.
- 5. That the Applicant/Owner shall not screen and/or sell the excess topsoil to others without written approval from the County, as there is potential for additional off-site impacts.
- 6. That topsoil from the subject site:
  - i. Be used whenever possible on the subject site, for landscaping purposes;
  - ii. Any additional or excess topsoil may be removed from the subject site;
    - A separate Development Permit shall be required to place the topsoil on a property if located within the County.
  - iii. All topsoil remaining on the subject site shall be spread and seeded to grass or landscaped.
- 7. That upon completion of the proposed development and request of the County, the Applicant/Owners shall submit an as-built survey, confirming that the development proposal and post grades align with the supporting technical submissions for the file.
- 8. That the Applicant/Owner shall take effective measures to control dust in the regrading areas of the subject properties, so that dust originating therein shall not cause annoyance or become a nuisance to adjoining property owners and others in the vicinity.
  - i. That the Owner shall be responsible for ensuring that proper dust mitigations measures and Erosion and Sediment Controls are adhered to on site.
- 9. That any materials removed from the site shall be hauled off in a covered trailer/truck, which will prevent blowing of dust/small rocks onto the road or cause issues with other vehicles on the road.
  - i. That the Applicant/Owner shall take whatever means necessary to avoid the transfer of dirt onto public roadways.
- 10. That the Applicant/Owner shall be responsible for rectifying any adverse effect on adjacent lands from drainage alteration.
- 11. That the fill shall not contain construction rubble or any hazardous substances, including but not limited to large concrete, rebar, asphalt, building materials, organic materials, or other metal.
- 12. That the entire site shall be maintained in a neat and orderly manner at all times to the satisfaction of the County.

#### Advisory:

- 13. That the subject development shall conform to the *County's Noise Bylaw C-5773-2003* in perpetuity.
- 14. That the Applicant/Owner shall be responsible for onsite weed control and shall adhere to the regulations in the Alberta Weed Control Act [*Statutes of Alberta, 2008 Chapter W-5.1, December 2017*] at all times.

Rocky View County

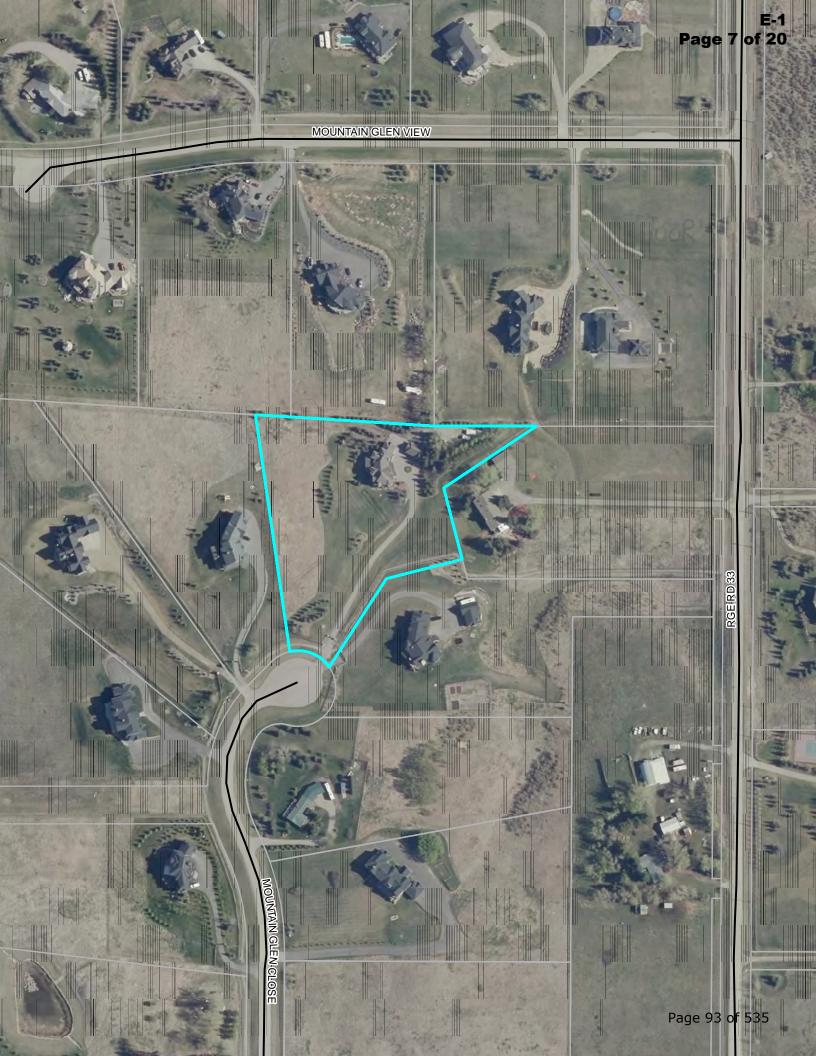
- 15. That the grading activities shall be completed within twelve (12) months from the date of issuance of this permit.
- 16. That any other government permits, approvals, or compliances are the sole responsibility of the Applicant/Owner.
- 17. That if this Development Permit is not issued by **JUNE 30, 2021** or the approved extension date, then this approval is null and void and the Development Permit shall not be issued.

#### Note: That the Applicant/Owner shall be responsible for all Alberta Environment & Park approvals/ compensation as there may be wetlands on site that could be impacted by the proposed grading activities.

Option #2 (this would not allow the development to proceed)

REFUSAL, for the following reasons:

1. That in the opinion of the Municipal Planning Commission, the development unduly interferes with the amenities of the neighbourhood and materially interferes with and affects the use, enjoyment, and value of neighbouring parcels of land.





	Page 9 o
	FOR OFFICE USE ONLY
ROCKY VIEW COUNTY 20202966	Fee Submitted File Number
Cultivating Communities  APPLICATION FOR A	Date of Receipt Receipt # Sealt 25, 2020 2020 02559
DEVELOPMENT PERMIT	
Name of Applicant HEATHER CAMPBELL Email.	
For Agents please supply Business/Agency/ Organization Name ON GROWING	4 WORKS
Registered Owner (if not applicant) TRACEY TAYLOR	
a) All / part of the ¼ Section Township Range	Mart of March
a) Air part of the 74 Section Township Range	vvest ofivieridian
	DEIOILAI
b) Being all / parts of Lot 3 Block 1 Registered Plan Numb	
b) Being all / parts of Lot <u>13</u> Block <u>1</u> Registered Plan Numb c) Municipal Address <u>43</u> MOUNTAIN GLEN CLOSE	
b) Being all / parts of Lot Block Registered Plan Numb         c) Municipal Address MOUNTAIN GLEN GLOSE         d) Existing Land Use Designation Parcel Size	
b) Being all / parts of Lot <u>13</u> Block <u>1</u> Registered Plan Numb c) Municipal Address <u>43</u> MOUNTAIN GLEN CLOSE	
b) Being all / parts of Lot Block Registered Plan Numb         c) Municipal Address MOUNTAIN GLEN GLOSE         d) Existing Land Use Designation Parcel Size	
b) Being all / parts of Lot <u>13</u> Block <u>1</u> Registered Plan Numb c) Municipal Address <u>43</u> <u>MOUNTAIN GLEN (LOSE</u> d) Existing Land Use Designation <u>Parcel Size</u> APPLICATION FOR ADDITIONAL INFORMATION	Division
b) Being all / parts of Lot <u>13</u> Block <u>1</u> Registered Plan Numb c) Municipal Address <u>43 MOUNTAIN GLEN CLOSE</u> d) Existing Land Use Designation <u>Parcel Size</u> APPLICATION FOR ADDITIONAL INFORMATION a) Are there any oil or gas wells on or within 100 metres of the subject property(s)?	_ Division
b) Being all / parts of Lot <u>3</u> Block <u>1</u> Registered Plan Numb c) Municipal Address <u>43 MOUNTAIN GLEN (LOSE</u> d) Existing Land Use Designation <u>Parcel Size</u> APPLICATION FOR ADDITIONAL INFORMATION	Division
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**Development Permit Application** 

#### 5. RIGHT OF ENTRY

I hereby authorize Rocky View County to enter the above parcel(s) of land for purposes of investigation and enforcement related to this Development Permit application.

Applicant's/Owner's Signature

Please note that all information provided by the Applicant to the County that is associated with the application, including technical studies, will be treated as public information in the course of the municipality's consideration of the development permit application, pursuant to the Municipal Government Act, R.S.A 2000 Chapter M-26, the Land Use Bylaw and relevant statutory plans. By providing this information, you (Owner/Applicant) are deemed to consent to its public release. Information 'provided will only be directed to the Public Information Office, 262075 Rocky View Point, Rocky View County, AB, T4A 0X2; Phone: 403-520-8199.

I, <u>HEATHER CAMPBELL</u>, hereby consent to the public release and disclosure of all information contained within this application and supporting documentation as part of the development process.

ignature

Date

# E-1 Page 11 of 20



STRIPPING, FILLING, EXCAVATION

 FOR OFFICE USE ONLY

 Fee Submitted
 File Number

 Date of Receipt
 Receipt #

Name of Applicant HEATHER CAMPBELL

1. NATURE OF THE APPLICATION	
Type of application (Please check off all that apply):	
Site stripping	C Re-contouring
🛱 Filling	Stockpiling
Excavation (including removal of topsoil)	Construction of artificial water bodies and/or dugouts
Grading	습 Other
2. PURPOSE	
What is the intent of the proposal? <u>THE INTENT</u> BO'-O'' X 50'-O'' AREA TO HOU NW CORNER OF THE PROPI	SE A SPORT COURT ON THE

Indicate the effect(s) on existing drainage patterns or environmentally sensitive areas (i.e. riparian, wetland, waterbodies) (if applicable)

THERE WILL	BE NO E	FFFCTS	DN .	EXISTING	DRAINAGE
ON ENVIRONM	MENTALLY	SENSITIV	E	APEAS	

The fill does not contain construction rubble or any hazardous substances (please check)

3. TYPE	3039 86.05	
Height <u> </u>	Volume Hobb. 67 FT 507.97	_meters cubed
Width 50 0" 54	Truckload 50 N/A	(approximately)
Length	Slope Factor	_(if applicable)
Area 4000 50.FT (1219.2) square metres 4 536	SF	

\* Please show all measurements in detail on your site plan.

#### 4. TERMS AND CONDITIONS

(a) General statement about conditions:

- 1. The Development Authority may include any condition necessary to satisfy a Land Use Bylaw provision, a County Plan, Area Structure Plan, Conceptual Scheme, Master Site Development Plan policy and/or County Servicing Standard.
- 2. Where on-site works are proposed the County may, by condition, require the provision of a Construction Management Plan and/or Stormwater Management Plan.
- 3. The Development Authority may impose any condition to meet a requirement of the Municipal Government Act or Subdivision and Development Regulation.
- 4. As a condition of development approval, the Development Authority may include the requirement to update technical reports submitted with the application.

- 5. The Development Authority shall impose relevant requirements for the payment of levies associated with Bylaws for transportation, wastewater, water supply and stormwater:
  - i. Transportation Offsite Levy Bylaw;
  - ii. Water and Wastewater Offsite Levy Bylaw; and
  - iii. Such other Bylaws as may be in force or come into force and be applicable to development or activities on or services provided to the subject land from time to time.
- 6. The Development Authority shall determine any oversizing requirements for services and infrastructure required to be constructed as part of the proposed development. The County will determine Cost Recovery arrangements through preparation and execution of documents prior to endorsement of a plan of survey for registration.

(b) Technical reports are defined as any report or any information regarding a matter identified in the Municipal Government Act, Subdivision and Development Regulations, Statutory Plan, County Policy, Servicing Standards or Bylaw.

(c) General statement about technical reports:

1. Additional technical reports may be required after the time of application, based upon the ongoing assessment of the application.

(e) All costs of development are borne by the landowner / applicant including, but not limited to, all on and off-site construction works, infrastructure development, securities, levies, contributions, additional fees associated the preparation and review of reports and technical assessments, endorsement fees imposed by the County, registration fees and such other costs as may be associated with the development of the land. Further, that it is the landowner / applicant responsibility to identify and consider all costs of development.

(f) The applicant and landowner acknowledge that not providing the information required in this form or failing to provide accurate information may prejudice the assessment of the application.

(g) The applicant and landowner acknowledge that the County including individual staff members have not provided an advisory role with respect to the preparation and making of this application and that the decision to make the application is entirely that of the applicant and landowner.

(h) It should be noted that while every effort is made to ensure the applicants are provided with clear information regarding the requirement for application, that over the course of the application assessment process, particularly following a full technical review and also following submissions from agencies, additional technical information may be required. In addition to the requirement for further technical information, further justification regarding the merits of a development proposal may also be required.

#### 5. ADDITIONAL INFORMATION

	<i>c</i>	
I HEATHER CAMPBELLhereby certify that	I am the registered owner	,
(Print Full Name)	I am authorized to act on behalf	

and that the information given on this form and the material provided with this application is full and complete and is, to the best of my knowledge, a true statement of the facts relating to this application for subdivision approval. Further, I have read, understood and accept the contents, statements and requirements contained and referenced in this document – **STRIPPING, FILLING, EXCAVATION ANDGRADING.** 

of the registered owner

#### PLEASE PROVIDE ALL OF THE ABOVE INFORMATION. THANK YOU.

# OnGrowing



125 River Avenue, Cochrane Alberta, T4C 2C2 www.OnGrowing.com

To Whom It May Concern,

DATE: 2020-09-16 Scope of Work Statement

ADDRESS: 43 Mountain Glen Close, Cochrane, AB T4C-0G6

OnGrowing Works is conducting a landscape project at the residence. As a portion of the landscape project, the client has a request to add a sport court onto the NW corner of the property. The  $80'-0'' \times 50'-0''$  sport court should be excavated to subgrade with an anticipated depth of 8'' to allow for proper compaction soil and appropriate sport court surface.

Regards, Heather Campbell Designer BID (Applied) NCIDQ OnGrowing Works Ltd.



LAND TITLE CERTIFICATE

S					
LINC					TITLE NUMBER
0031 320 419	0513431;1	;13			121 159 717
LEGAL DESCRIPTI PLAN 0513431 BLOCK 1 LOT 13 EXCEPTING THERE AREA: 1.62 HECT	OUT ALL MI				
ESTATE: FEE SIM ATS REFERENCE:		SE			
MUNICIPALITY: R	OCKY VIEW	COUNTY			
REFERENCE NUMBE	R:081 413				
	R	EGISTERED			
REGISTRATION		DOCUMENT	TYPE	VALUE	CONSIDERATION
121 159 717 2 OWNERS	26/06/2012	TRANSFER	of land	\$2,300,000	CASH & MORTGAGE
DOUGLAS HELMERS	ON				
AND					
TRACEY TAYLOR					
BOTH OF:					
	ENC	CUMBRANCES	; LIENS &	INTERESTS	
REGISTRATION NUMBER DA	TE (D/M/Y)	PAI	RTICULARS		
741 018 553 2		AS TO POR		LAN: PORTION IT SEE INSTRUME	זא:

E-1 Page 15 of 20

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E	NCUMBRANCES, LIENS & INTERESTS
	PAGE 2
REGISTRATION	# 121 159 717
NUMBER DATE (D/M/)	) PARTICULARS
761 141 577 17/11/197	5 ZONING REGULATIONS SUBJECT TO SPRINGBANK AIRPORT ZONING REGULATIONS
051 381 775 11/10/200	5 UTILITY RIGHT OF WAY GRANTEE - TELUS COMMUNICATIONS INC. 10020 - 100 STREET EDMONTON ALBERTA T5J0N5 GRANTEE - ATCO GAS AND PIPELINES LTD. 909 11TH AVENUE S.W. CALGARY ALBERTA T2P1L8 GRANTEE - FORTISALBERTA INC. 320-17 AVE SW CALGARY ALBERTA T2S2V1 GRANTEE - THE MUNICIPAL DISTRICT OF ROCKY VIEW NO.
	44. 911-32 AVE NE Calgary Alberta T2E6X6 As to Portion or Plan:0513432
051 381 776 11/10/200	5 UTILITY RIGHT OF WAY GRANTEE - THE MUNICIPAL DISTRICT OF ROCKY VIEW NO. 44. AS TO PORTION OR PLAN:0513433
051 381 777 11/10/200	5 AGREEMENT EASEMENT,RESTRICTIVE COVENANT & UTILITY RIGHT OF WAY (SEE INSTRUMENT).
051 381 781 11/10/200	5 ENCUMBRANCE ENCUMBRANCEE - MOUNTAIN GLEN ESTATES HOMEOWNERS ASSOCIATION. 7140 - 40TH STREET SE CALGARY ALBERTA T2C2B6
051 381 782 11/10/200	5 RESTRICTIVE COVENANT
051 417 535 05/11/200	5 RESTRICTIVE COVENANT
161 098 333 26/04/201	6 MORTGAGE MORTGAGEE - THE TORONTO DOMINION BANK. 500 EDMONTON CITY CENTRE E 10205-101 ST, 5TH FLR EDMONTON ALBERTA T5J5E8 ORIGINAL PRINCIPAL AMOUNT: \$1,259,000

( CONTINUED )

Page 101 of 535

E-1 Page 16 of 20

ENCUMBRANCES, LIENS & INTERESTS

			PAGE 3	
REGISTRATION	<b>N</b>		# 121 159 71	17
NUMBER		(D/M/Y)	PARTICULARS	

171 065 555 24/03/2017 MORTGAGE MORTGAGEE - THE TORONTO DOMINION BANK. 500 EDMONTON CITY CENTRE E 10205-101 ST, 5TH FLR EDMONTON ALBERTA T5J5E8 ORIGINAL PRINCIPAL AMOUNT: \$341,898

TOTAL INSTRUMENTS: 010

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN ACCURATE REPRODUCTION OF THE CERTIFICATE OF TITLE REPRESENTED HEREIN THIS 16 DAY OF SEPTEMBER, 2020 AT 01:45 P.M.

ORDER NUMBER: 40120897

CUSTOMER FILE NUMBER:

\*END OF CERTIFICATE\*

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED FOR THE SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER, SUBJECT TO WHAT IS SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION, APPRAISAL OR OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS PART OF THE ORIGINAL PURCHASER APPLYING PROFESSIONAL, CONSULTING OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT(S).













# PLANNING AND DEVELOPMENT SERVICES

**TO:** Municipal Planning Commission

DIVISION: 5

**SUBJECT:** Development Item – *Stripping and Grading* 

**APPLICATION:** single-lot regrading and placement of clean fill, for a gravel driveway

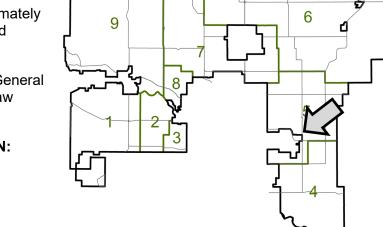
**GENERAL LOCATION:** Located approximately 0.81 km (1/2 mile) south of Highway 1 and 0.81 km (1/2 mile) east of Highway 79.1

LAND USE DESIGNATIN: Agricultural, General District (A-GEN) within the Land Use Bylaw C-8000-2020

#### ADMINISTRATION RECOMMENDATION:

Administration recommends Approval in accordance with Option #1.

## **OPTIONS:**



**DATE:** December 10, 2020

APPLICATION: PRDP20203516

- Option #1: THAT Development Permit Application PRDP20203516 be approved with the suggested conditions noted in the staff report.
- Option #2: THAT Development Permit Application PRDP20203516 be refused as per the reasons noted.

## AIR PHOTO & DEVELOPMENT CONTEXT



Administration Resources Xin Deng, Planning and Development Services



# **DEVELOPMENT PERMIT REPORT**

Application Date: November 2, 2020	File: 04207002 / 04207008
Application: PRDP20203516	Applicant: Feroz Bandali Owner: Glenvista Estates Inc.& Crescent Marketing Ltd.
Legal Description: Lot 3, Block 1, Plan 0811032, SW-07-24-27-W04M & SE-07-24-27- W04M	<b>General Location:</b> Located approximately 0.81 km (1/2 mile) south of Highway 1 and 0.81 km (1/2 mile) east of Highway 791
Land Use Designation: Agricultural, General District (A-GEN) under Land Use Bylaw C-8000-2020.	<b>Gross Area:</b> ± 91.26 hectares (± 225.5 acres) (combined)
File Manager: Xin Deng	Division: 5

### PROPOSAL:

The proposal is for single-lot regrading and placement of clean fill, in order to construct a private driveway.

- The subject land (04207002) contains a dwelling and an accessory building. The property is accessed through the existing shared driveway with an approach off Highway 791.
- The Applicant is seeking an alternative route to access the subject land. The applicant proposes to extend another driveway from the adjacent land he owns (04207008) to reach the subject land (04207002).
- The Applicant indicated that the extension of the driveway will be about 200.00 m (6.56 ft.) long and 7.00 m (22.93 ft.) wide. It will be a gravel surface which matches the existing driveway.
- It is anticipated that approximately 210 cubic meter of material to be brought to the property, approximately 20 truckloads.

## LAND USE BYLAW (C-8000-2020):

- 92 A Development Permit is not required for driveways, so long as it does not impact existing site grades.
- 273 Site stripping, filling, excavation, grading, and/or re-contouring (including construction of an artificial waterbody, but not a dugout) requires a Development Permit.
  - The proposed construction of a driveway would result in grading change, with elevated road surface and ditches on both sides. Therefore, a Development Permit is required.

#### Additional Information:

Development Permit History:

• There is no history for the Development Permit on both lands.

Page 1 of 4



Building Permit Applications:

04207002:

- 2004-BP-17870 Building Permit for "single detached dwelling" was issued on November 9, 2004.
- 2004-BP-17871 Building Permit for "Accessory Building" was issued on October 21, 2004.

04207008:

• 1999-BP-13465 Building Permit for "single detached dwelling" was issued on December 21, 1999.

#### STATUTORY PLANS:

The subject land does not fall within any Area Structure Plan. The application was primarily evaluated in accordance with the Land Use Bylaw. The property falls under the City of Chestermere Notification Area.

#### **INSPECTOR'S COMMENTS:**

- The dwelling is accessed through the existing shared driveway.
- The site is gentally flate with a couple of lower areas.

#### CIRCULATIONS:

Development Compliance, Rocky View County:

• No concerns.

Operations Division, Rocky View County:

• No responses were received:

Planning and Development Services – Engineering Review, Rocky View County:

#### General:

• The review of this file is based upon the application submitted. These conditions/recommendations may be subjected to change to ensure best practices and procedures.

#### Geotechnical:

- As per GIS review, steep slopes are not observed on the subject lands. As per the applicant, fill heights for the installation of the proposed driveway are not anticipated to exceed 1m.
- As a permanent condition, the applicant will be required to provide "Deep Fill" reports, prepared and provided by a qualified professional, for any areas of the site filled greater than 1.2m in depth.

#### Transportation:

- Access to the parcel is provided via an approach and driveway from SEC HWY 791.
- Prior to issuance, the applicant is required to contact county road operations to confirm if a road use agreement is required for any hauling on or off the subject land for the proposed development.

#### Sanitary/Waste Water:

• Engineering has no requirements at this time.

#### Water Supply and Waterworks:

• Engineering has no requirements at this time.



#### **Stormwater Management:**

 Given the size of the subject land(s) and the scope of the development, engineering does not anticipate that the proposed development will result in a significant increase in imperviousness, therefore an SSIP is not required at this time.

#### Environmental:

• The proposed development does not appear to have a direct impact on any wetlands. Should the applicant propose development that has a direct impact on any wetlands, the applicant will be responsible for obtaining all required AEP approvals.

#### **OPTIONS:**

Option 1: (this would allow the development to proceed)

APPROVAL, subject to the following conditions:

#### **Description:**

- 1. That the single-lot regrading and placement of clean fill, in order to construct a private driveway, may commence on the site in general accordance with the approved application drawings, as prepared by JSR Consulting Ltd, Sheet: A; dated November 1, 2020and information submitted with the application and includes:
  - i. approximately 1,400 sq. m (15,069.47 sq. ft.) in area, with approximately 210.00 cu. m of fill;

#### Prior to Issuance:

- That prior to issuance of this permit, the Applicant/Owner shall contact County Road Operations with haul details for materials and equipment needed during construction/site development to confirm if Road Use Agreements will be required for any hauling along the County road system and to confirm the presence of County road ban restrictions.
  - i. Written confirmation shall be received from County Road Operations confirming the status of this condition. Any required agreement or permits shall be obtained unless otherwise noted by County Road Operations.

#### Permanent:

- 3. That the Applicant/Owner shall submit Deep Fill reports, prepared and provided by a qualified professional, for any areas of the property filled, that exceed 1.20 m (3.93 ft.) in depth.
- 4. That upon completion of the development proposal, the proposed development graded area (as per the approved site plan), shall be spread and seeded to native vegetation, farm crop, or landscaped to the satisfaction of the County.
- 5. That the Applicant/Owner shall be responsible for rectifying any adverse effect on adjacent lands from drainage alteration.
- 6. That the Applicant/Owner shall take effective measures to control dust in the grading areas of the subject property, so that dust originating therein shall not cause annoyance or become a nuisance to adjoining property owners and others in the vicinity.
  - i. That if at any time the removal or handling of the topsoil creates a visible dust problem, the removal or handling of the topsoil shall cease immediately until remedial measures are taken.



- 7. That any topsoil hauled to or removed from the site, shall be hauled in a covered trailer/truck, which will prevent blowing of dust/small rocks onto the road or cause issues with other vehicles on the road.
  - i. That the Applicant/Owner shall take whatever means necessary to avoid the transfer of dirt onto public roadways.
- 8. That the fill shall not contain construction rubble or any hazardous substances, including but not limited to large concrete, rebar, asphalt, building materials, organic materials, or other metal.
- 9. That the entire site shall be maintained in a neat and orderly manner at all times to the satisfaction of the Development Officer.

#### Advisory:

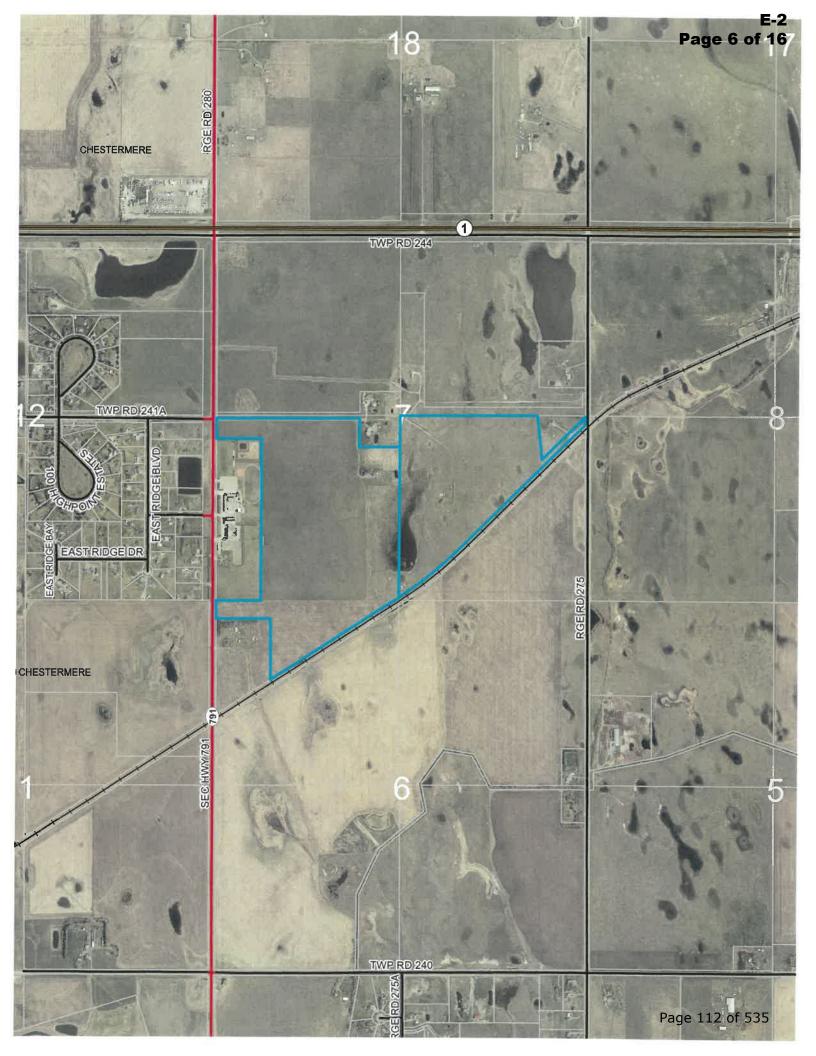
- 10. That the Applicant/Owner shall remain free of restricted and noxious weeds and be maintained in accordance with the Alberta Weed Control Act [*Statutes of Alberta, 2008 Chapter W-5.1; Current as of December 15, 2017*].
- 11. That the County's Noise Bylaw (C-5772-2003) shall be adhered to at all times.
- 12. That any other government permits, including through Alberta Transportaiton, approvals, or compliances are the sole responsibility of the Applicant/Owner.
- 13. That all grading activities shall be completed within 12 months from date of permit issue.
- 14. That if this Development Permit is not issued by **June 30**, **2021** or the approved extension date, then this approval is null and void and the Development Permit shall not be issued.

# Note: The Applicant/Owner shall be responsible for all Alberta Environment and Park (AEP) approvals for any impact to any wetland areas or for on-site stormwater Infrastructure

Option #2: (this would not allow the development to proceed)

REFUSAL, for the following reasons:

1. That in the opinion of the Municipal Planning Commission, the development unduly interferes with the amenities of the neighbourhood and materially interferes with and affects the use, enjoyment, and value of neighbouring parcels of land.





		FO	Page 8 of
ROCKY VIEW COUNT	ROCKY VIEW COUNTY		20203516
		ROLL NO.	04207002,09207008
<b>DEVELOPMENT PERM</b>	IT	RENEWAL OF	
APPLICATION		FEES PAID	\$465.00
		DATE OF RECEIPT	1612 2020
APPLICANT/OWNER	TRIE C TUE		
CRESCENT MI	ARKETING LI	MITED	
Business/Organization Name (if applicable):			
-			
-			
Landowner Name(s) per title (if not the Appl	icant): GLEN UI	EW ESTATES	IN C
Business/Organization Name (if applicable):			
LEGAL LAND DESCRIPTION - Subject site	9		
All/part of: SE 1/4 Section: 7 Tow	nship: 24 Range:	27 West of: 4	Meridian Division:
All parts of Lot(s)/Unit(s): Bloc	k: Plan:	1.8	Parcel Size (ac/ha):
Municipal Address:		Land Use Distr	ict:
APPLICATION FOR - List use and scope of	fwork		
STRIPPIN	6 2 GRADIN	S OF TEMPOR	LARY ROAD ACCESS
Variance Rationale included: YES I		DP Checklis	st Included: YES NO
a. Oil or gas wells present on or within	100 metres of the subi	act property(c)	
b. Parcel within 1.5 kilometres of a sou	ur gas facility (well, pipe	line or plant)	
<ul> <li>c. Abandoned oil or gas well or pipelin (Well Map Viewer: <u>https://extmapviewe</u>)</li> </ul>		5	TYES 12-NO
d. Subject site has direct access to a c			idway) 🗆 YES 🖻 NO
AUTHORIZATION			
, FEROZM. BANJ	ALI (Full nam	e in Block Capitals), here	by certify (initial below):
That I am the registered owner <b>OR</b>			
That the information given on this knowledge, a true statement of the	form and related doci	uments, is full and comp	
That I provide consent to the public submitted/contained within this appl collected in accordance with s.33(c)	ication as part of the re	view process. I acknowled	ge that the information is
<b>Right of Entry:</b> I authorize/acknowl purposes of investigation and enforce Municipal Government Act			
Applicant Signature	andali.	Landowner Signature_	mandali.
Date <u>NN 2, 2</u>	020	Date	NN 2, 2020

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# STRIPPING, GRADING, EXCAVATION

AND/OR FILL INFORMATION SHEET

FOR OFFICE USE ONLY		
APPLICATION NO.		
ROLL NO.		
DISTRICT		

DETAILS			APPLICATION FOR:	
Total area of work	ACRE	(ac / m²)	Site Stripping	
Length	200m	(m / ft.)	Grading	
Width	7m	(m / ft.)	Excavation Excavation	
Height		(m / ft.)	(cut-to-fill) (borrow areas)	
Volume		$(m^3 / ft^3)$	<ul> <li>Construction of artificial waterbody (not including dugouts)</li> </ul>	
Number of truckloads (approx.)			□ Stockpiling	
Slope factor (if applicable)			□ Other:	
DESCRIPTION OF WORK				
Describe the purpose and intent of the work proposed (include cover letter for detailed description): OBTATIN ACCESS TO ACCEPTABLE MUNICIPAL STANDARD AS PER ATTACHED ENGINEER CONSOLTANTS DRAWING, ATTRAHED Indicate the timing/duration of work (which shall not coincide with bird nesting seasons, as determined): BY SPRING 2021 - Indicate the effect(s) on existing drainage patterns or environmentally sensitive areas (i.e. riparian, wetland, other waterbodies etc.) if applicable: ROAD ACCESS WILL BE TO MUNICIPAL STANDARDS PROVIDING DRAINGE ON SIDES CONNECTING TO EXISTING DRAINAGE Confirm if proposed fill contains any rubble or hazardous substances: NO, BUT GRUEL TO BE PACKED TO STANDARD				
ADDITIONAL REQUIREMENTS, The following must be included				
<ul> <li>Pre-development and Post-</li> <li>Other documents: Stormwa</li> <li>Cover letter shall address</li> <li>Soil-handling plan dep</li> </ul>	development grading pl iter Management Plan, l ALL of the following: icting movement of fill o	ans Fill Management n the site and cor	Plan, Soil Quality Report may be required	
<ul> <li>Traffic control plan</li> <li>Weed Management Pl</li> <li>Costs (anticipated) to r</li> </ul>	an		the Site/Grading Plan as necessary)	
On the Site/Grading Plans     Dimensions and area(s) of     Location of wetlands and w     Location where the excavat     Proposed access, have rout	excavation, fill, and/or g atercourses and any ec ion, stripping, or grading	ologically sensitiv		

Bandali . Applicant Signature

Stripping, Grading, Excavation and/or Fill - Information Sheet

Date Normber 2,202 0

Page 1 of 1 Page 115 of 535



LAND TITLE CERTIFICATE

EXCEPTING THEREOU PLAN ROAD ROAD	4;27;24;7;NE N 27 TOWNSHIP 24 ST HECTARES (160 ACRE JT: NUMBER	S) MORE OR L	ESS	TITLE NUMBER 071 186 109
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MERIDIAN 4 RANGE SECTION 7 QUARTER NORTH EAS CONTAINING 64.7 H EXCEPTING THEREOU PLAN ROAD ROAD	27 TOWNSHIP 24 ST HECTARES (160 ACRE JT: NUMBER	S) MORE OR L	ess	
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REFERENCE NUMBER:	061 523 708 +1			
	REGISTERED			
REGISTRATION DA	ATE (DMY) DOCUMENT	TYPE VA	LUE	CONSIDERATION
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CALGARY				
ALBERTA T3L 2N2				
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			NTERESTS	
REGISTRATION NUMBER DATE	ENCUMBRANCES (D/M/Y) PA		NTERESTS	
NUMBER DATE		RTICULARS	nterests	

Page 11 of 16 ENCUMBRANCES, LIENS & INTERESTS PAGE 2 # 071 186 109 REGISTRATION NUMBER DATE (D/M/Y) PARTICULARS . . \_\_\_\_\_ GRANTEE - CANADIAN WESTERN NATURAL GAS COMPANY LIMITED. 931 109 680 17/05/1993 CAVEAT RE : ACQUISITION OF LAND CAVEATOR - THE MUNICIPAL DISTRICT OF ROCKY VIEW NO. 44. 911 - 32ND AVENUE N E CALGARY ALBERTA T2M4L6 931 214 775 01/09/1993 CAVEAT **RE : SEE CAVEAT** CAVEATOR - ARCHER GORDON WEBB AGENT - RICHARD L CRAGG 061 523 656 19/12/2006 CAVEAT RE : ACQUISITION OF LAND CAVEATOR - HER MAJESTY THE QUEEN IN RIGHT OF ALBERTA AS REPRESENTED BY MINISTER OF INFRASTRUCTURE AND TRANSPORTATION ALBERTA TRANSPORTATION REGIONAL SERVICES 2ND FLOOR, TWIN ATRIA BUILDING 4999 98 AVENUE EDMONTON ALBERTA T6B2X3 071 602 711 14/12/2007 MORTGAGE MORTGAGEE - BAHARI INVESTMENTS INC. 23 BEARSPAW MEADOWS COURT CALGARY ALBERTA T3L2N2 ORIGINAL PRINCIPAL AMOUNT: \$1,861,000 181 100 181 16/05/2018 CAVEAT RE : BENEFICIAL OWNER , ETC. CAVEATOR - CRESCENT MARKETING LIMITED. C/O GLEN PRAIRIE ESTATES INC COURT 23 BEARSPAW MEADOWS CALGARY ALBERTA T3L2N2 AGENT - FEROZ BANDALI

E-2

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN ACCURATE REPRODUCTION OF THE CERTIFICATE OF TITLE REPRESENTED HEREIN THIS 29 DAY OF OCTOBER, 2020 AT 04:21 P.M.

ORDER NUMBER: 40412749

CUSTOMER FILE NUMBER: PL20200152



\*END OF CERTIFICATE\*

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED FOR THE SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER, SUBJECT TO WHAT IS SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION, APPRAISAL OR OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS PART OF THE ORIGINAL PURCHASER APPLYING PROFESSIONAL, CONSULTING OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT(S).



LAND TITLE CERTIFICATE

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LEGAL DESCRIPT	ION				
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SECTION 7					
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NORTH WEST OF	THE RAILWAY	ON PLAN RW	67 CONTAIN	ING 34.7 HE	CTARES
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OWNERS					
GLEN VIEW ESTA	TES INC.				
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AS TO AN UNDIVIDED 63% INTEREST

-----Page 14 of 16 ENCUMBRANCES, LIENS & INTERESTS PAGE 2 # 181 229 793 REGISTRATION NUMBER DATE (D/M/Y) PARTICULARS \_\_\_\_\_\_ 951 096 790 02/05/1995 EASEMENT OVER PORTION OF SE 7 - 24 - 27 - W4M FOR BENEFIT OF BLOCK 1, PLAN 9511056 (PORTION DESCRIBED) 951 213 581 20/09/1995 EASEMENT OVER AND FOR BENEFIT OF: SEE INSTRUMENT (PORTION AS DESCRIBED) 041 466 972 09/12/2004 UTILITY RIGHT OF WAY GRANTEE - FORTISALBERTA INC. PORTION AS DESCRIBED 071 049 410 30/01/2007 MORTGAGE MORTGAGEE - 1166988 ALBERTA LTD. 23 BEARSPAW MEADOWS COURT CALGARY ALBERTA T3L2N2 ORIGINAL PRINCIPAL AMOUNT: \$2,275,000 181 076 216 16/04/2018 EASEMENT OVER AND FOR THE BENEFIT OF: SEE INSTRUMENT PORTION DESCRIBED 201 072 338 16/04/2020 ORDER AFFECTS INSTRUMENT: 181076216 **RE: EASEMENT 181 076 216** SEE ORDER 201 097 105 27/05/2020 WRIT CREDITOR - SILVANO DEBORTOLI CREDITOR - DEBORAH DEBORTOLI BOTH OF: C/O 207 1717 10 ST NW CALGARY ALBERTA T2M4S2 DEBTOR - CRESCENT MARKETING LIMITED. 23 BEARSPAW MEADOWS COURT CALGARY ALBERTA T3L2N2 COSTS ACTION NUMBER: 1901-02518 201 097 106 27/05/2020 WRIT CREDITOR - SILVANO DEBORTOLI CREDITOR - DEBORAH DEBORTOLI BOTH OF: C/O 207 1717 10 ST NW CALGARY ALBERTA T2M4S2 Page 120 of 535 ( CONTINUED )

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#### ENCUMBRANCES, LIENS & INTERESTS

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PAGE 3 # 181 229 793

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E-2

REGISTRATION

NUMBER DATE (D/M/Y) PARTICULARS

DEBTOR - GLEN VIEW ESTATES INC. 23 BEARSPAW MEADOWS COURT CALGARY ALBERTA T3L2N2 COSTS ACTION NUMBER: 1901-02518

TOTAL INSTRUMENTS: 008

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN ACCURATE REPRODUCTION OF THE CERTIFICATE OF TITLE REPRESENTED HEREIN THIS 4 DAY OF NOVEMBER, 2020 AT 12:01 P.M.

ORDER NUMBER: 40447405

CUSTOMER FILE NUMBER: PRDP20203516



#### \*END OF CERTIFICATE\*

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED FOR THE SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER, SUBJECT TO WHAT IS SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION, APPRAISAL OR OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS PART OF THE ORIGINAL PURCHASER APPLYING PROFESSIONAL, CONSULTING OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT(S).





4

### PLANNING AND DEVELOPMENT SERVICES

TO: Municipal Planning Commission

DATE: December 10, 2020

DIVISION:

APPLICATION: PRDP20202898

SUBJECT: Development Item: Signage (Fascia and Free Standing)

USE: Permitted use (Fascia) and Discretionary use (Free standing) signage

**APPLICATION:** Signs, installation of three fascia signs and one free standing sign, associated to the principle use (Restaurant)

**GENERAL LOCATION:** located in the hamlet of Langdon

**LAND USE DESIGNATION:** Direct Control District 2 (DC 2) and under Land Use Bylaw C-4841-97.

#### ADMINISTRATION RECOMMENDATION:

Administration recommends Approval in accordance with Option #1.

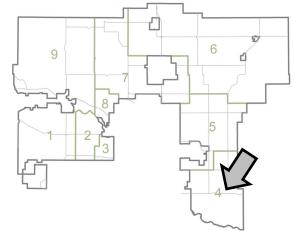
#### **OPTIONS**:

- Option #1: THAT Development Permit Application PRDP20202898 be approved with the conditions noted in the Development Permit Report, attached.
- Option #2: THAT Development Permit Application PRDP20202898 be refused as per the reasons noted.

#### AIR PHOTO DEVELOPMENT CONTEXT:



Administration Resources Evan Neilson, Planning and Development Services





### DEVELOPMENT PERMIT REPORT

Application Date: Sept 24, 2020	File: 032233122
Application: PRDP20202898	Applicant/Owner: David Atkinson
<b>Legal Description:</b> UNIT 1 Plan:0011878 (704 Centre Street)	<b>General Location:</b> Located in the hamlet of Langdon
Land Use Designation: Direct Control District 2 (DC-2) and under Land Use Bylaw C-4841-97.	Gross Area: ± 0.33 hectares (± 0.84 acres)
File Manager: Evan Neilsen	Division: 4

#### PROPOSAL:

This proposal is for the installation of three fascia signs and one free standing sign accessory to the principal restaurant use. The principal use, is a Restaurant (Dairy Queen), approved with Development Permit #PRDP20171222. *Note: This application has been evaluated in accordance with C-4841-97*.

Within DC 2, Section 4.2, fascia signs (associated with the principal use are a listed permitted use. The fascia signs will be located on the north, west, and east facades of the restaurant. Each fascia sign is composed of two elements - including the restaurant chain's logo ("DQ") and the restaurant chain's catchphrase ("Grill & Chill").

Within DC 2, Section 4.3, free standing signs (associated with the principal use) are a listed discretionary use. The freestanding sign will be located near the southwest corner of the parcel. The sign contains three elements including the logo, the catchphrase and an illuminated LED billboard used for advertisement.

The proposed fascia signs vary in area from 1.38 sq. m. (14.85 sq. ft.) to approximately 6.00 sq. m. (64.58 sq. ft.) and the three aspects of the proposed freestanding sign will range from 2.20 sq. m. (23.68 sq. ft.) in area to approximately 3.40 sq. m. (36.59 sq. ft.). The height to base of the fascia signs range from 3.30 m to 4.20 m and the height to base of the highest element of the freestanding sign is 5.10 m.

The restaurant directly interfaces with residential parcels to the south -- with residential parcels screened through fencing and trees to both the east and west. There are light commercial uses to the north of the restaurant. DC-2 lists fascia signage associated with the principle use as a permitted use, however, it also identifies that free standing Signs associated with the principle use are discretionary. Langdon is home to many fast food and traditional sit-down restaurants and many have signage. The proposed freestanding sign with an LED screen would be the first of its type within the Hamlet. Section 35.5 of C-4841-97 identifies that:

"Interiorly illuminated signs shall not be permitted in developments where they might, in the opinion of the Development Authority, affect residents in adjacent housing or residential areas, interfere with the interpretation of traffic signs or controls, or interfere with traffic."

In consulting with the applicant and reviewing industry-specific literature, the principle concern of administration involves the potential of light pollution interfering with the use or enjoyment of adjacent parcels, with secondary concerns about potential traffic safety impacts. The parcel directly interfaces with residential parcels to the south and east – with the proposed signs likely visible from residential parcels to the west located on the opposite side of Centre Street. To manage these potential impacts



Administration is recommending approval with only one north-facing LED sign. Administration believes that the potential negative impacts on residential parcels to the south and west by from the proposed LED sign are unable to be mitigated through various regulatory or other brightness-control measures. Furthermore, administration believes that allowing a south facing LED sign may also distract northbound drivers approaching the intersection of Glenmore Trail/Highway 560 and Highway 797. The proposed freestanding sign is located within 90 m (295.27 ft.) of 3 traffic control signs – with the closest sign being approximately 26.00 m (85.00 ft.) away. Administration is recommending approval in accordance with the conditions presented in option one, however administration has also prepared a condition set in option two that represents approval conditions for all signage requested by the applicant for review by the Commission.

Signage	Туре	Approximate Area	Height to base	Illuminated?
North Logo	Fascia	6.00 sq. m.	3.60 m	Yes (internal)
North Catchphrase	Fascia	3.90 sq. m.	3.90 m	Yes (internal)
West Logo	Fascia	2.60 sq. m.	3.90 m	Yes (internal)
West Catchphrase	Fascia	1.38 sq. m.	3.30m	Yes (internal)
East Logo	Fascia	1.71 sq. m.	4.20 m	Yes (internal)
East Catchphrase	Fascia	0.64 sq. m.	3.60 m	Yes (internal)
Freestanding Logo (North/South)	Freestanding	4.42 sq. m.	5.10 m	Yes (internal)
Freestanding Catchphrase (North/South)	Freestanding	2.72 sq. m.	4.30 m	Yes (internal)
Freestanding LED(North/South)	Freestanding	2.2 sq. m.	3.20 m	Yes (LED)

#### STATUTORY PLANS:

#### • Langdon Area Structure Plan

- ASP identifies that parcel is located in the Business Commercial area.
- Policy 9.9 of the ASP requires the application address "Rocky View County's Commercial, Office and Industrial Design Guidelines, and the Langdon Centre Street Corridor Design Guidelines."
  - Section 5.2 of Rocky View County's Commercial, Office and Industrial Design Guidelines apply to all parcels within 800 m of a provincial Highway, the subject parcel is located approximately 63 m from the intersection of HWY 560 and HWY 797.
    - The application complies with Policy 2 of the above section, as the proposed signage is not adjacent to a highway right-of-way.



- The application complies with Policy 3 of the above section, as the proposed signage faces both the highway and internal roads.
- Section 5.3 of Rocky View County's Commercial, Office and Industrial Design Guidelines apply to this parcel, however there are no relevant policies for signage.
- The Langdon Centre Street Corridor Design Guidelines continue to be developed and are not yet in effect.

#### **INSPECTOR'S COMMENTS (Inspection performed Oct 1, 2020):**

- No signs in place.
- Building currently under construction.
- No concerns at time of inspection.

#### **CIRCULATIONS (Circulated, 2020):**

Building Services: No concerns with signs.

<u>Development Compliance</u>: Development Compliance has no comments or concerns with respect to the attached application.

Operations Division: No response received at the time of report writing.

<u>Alberta Transportation:</u> In reviewing the application, the proposed development falls within the control distance of a provincial highway as outlined in the Highways Development and Protection Act / Regulation, and will require a roadside development permit from Alberta Transportation.

The application form and instructions can be obtained from the department's website at https://www.alberta.ca/roadside-development-permits.aspx.

The department has the following additional comments on the referral:

- A Traffic Impact Assessment (TIA) shall be prepared by a qualified transportation professional in accordance with Alberta Transportation guidelines https://open.alberta.ca/publications/traffic-impact-assessmentguideline. The TIA will provide information regarding the traffic that could be generated by the proposed development, and will identify any necessary upgrades to the Highway 560 / Highway 797 intersection. The TIA shall be reviewed and accepted by Alberta Transportation as a condition of approval. The municipality shall be responsible for ensuring that any required intersection improvements are in place prior to occupancy.
- The municipality shall be responsible for determining an alternate access arrangement for lands in proximity of the Highway 560 / Highway 797 intersection, protecting suitable local road right of way, and implementing this strategy prior to improvement of the highway, as outlined in the Highway 560 Functional Planning Study. <u>http://www.transportation.alberta.ca/projects/assets/Area 7 Calgary Area</u> <u>/Hwy 560/Recomended plan.pdf</u>
- 3. No compensation will be payable to the permittee for loss of convenient or direct access, or for a more circuitous/less convenient access arrangement. The on-site drainage, surface water run-off and/or storm water management must not be directed into the highway ditches. All on-



site drainage, storm water management and surface water run-off must be handled in a manner that is acceptable to the department. The department may request that a special report and plan be submitted that outlines how the surface water and storm water run-off will be handled. This could be requested after the development permit has been issued or after the facility/operation has been established. Remedial work, that may be required to correct drainage concerns, will be the responsibility of the permittee.

Planning and Development Services – Engineering Review:

• Engineering has no requirements at this time.

Road Operations: No response received at the time of report writing.

Transportation Services: No response received at the time of report writing.

#### **OPTIONS:**

<u>Option #1</u>: (this would allow the proposed development as recommended by Administration) APPROVAL, subject to the following conditions:

#### **Description:**

- 1. That *Signs*, may be placed on the subject property in general accordance with the site plan and signage details, as prepared by Sunset Neon; dated May 16, 2019, submitted with the application, while also taking into account the changes proposed by Administration to manage potential impacts on adjacent parcels or land.
  - i. One Freestanding sign approximately 7.30 m (23.95 ft.) in height with two sign faces and one LED sign facing north.
    - a) One sign face faces north and a separate sign face faces south. The north sign face contains three elements: one internally-illuminated Restaurant chain logo ("DQ"), one internally-illuminated restaurant chain slogan ("Grill & Chill"), and one LED sign displaying a static, non-animated image in accordance with the below conditions.
    - b) The South-facing sign contains only two elements, one internally-illuminated Restaurant chain logo ("DQ") and one internally-illuminated restaurant chain slogan ("Grill & Chill").
  - ii. Three Fascia signs, attached respectively to the north, west, and east sides of the restaurant, each containing two elements: one internally-illuminated restaurant chain logo and one internally-illuminated restaurant chain catchphrase.

#### Permanent

- 2. That the signs shall be maintained in accordance with the design drawings and site plan as submitted with the application with.
- 3. The LED sign shall be equipped with an ambient light detector.
- 4. The hours of operation for the LED digital sign will be between 6:00 am to 10:00 pm; the sign will be de-activated, or set to emit 0.0 lux between the hours of 10:01 pm to 6:59 am.
- 5. The LED sign shall be a multi-colour, full colour board;
- 6. The LED sign is to have static copy with a hold time of a minimum of six (6.00) seconds or more. The maximum transition time between each digital copy must not exceed 0.25 seconds.



ROCKY VIEW COUNTY

- 7. That the LED sign shall not display any moving, flashing or animated images and shall not otherwise give the appearance of animation or movement;
  - i. That any images or transitions between images shall not be displayed using any visible effects, including but not limited to action, motion, fading in and out, dissolving, blinking, intermittent or flashing light, or the illusion of such effects.
  - ii. That any copy displayed on the LED sign shall not be shown in a manner that requires the copy to be viewed or read over a series of sequential copy messages on a single digital display, or sequenced on multiple digital displays
- 8. A digital display shall not increase the light levels adjacent to the digital display by more than 3.0 LUX above the ambient light level.
- 9. The LED sign shall at no time display an image or any transition between images in such a way as to be potentially distracting to drivers, the identification of a potentially distracting image or image transition shall be at the sole discretion of the development authority.
- 10. The light output of the LED sign shall be set in accordance with the following maximum luminance levels when measured from the sign face at its maximum brightness:
  - iii. From sunrise to sunset: 7500 Nits.
  - iv. From activation to sunrise: 300 Nits.
  - v. From sunset to deactivation: 300 Nits.
- 11. The electrical power supply to the LED Sign shall be provided underground on the subject parcel.
- 12. That any trees identified in the approved landscaping plan under PRDP20171222 shall not be altered, removed or otherwise changed to accommodate placement of the Freestanding sign, or Fascia signs.
- 13. That if any component of the LED sign fails or malfunctions in any way, or fails to operate as indicated on the approved development permit plans, the sign shall be turned off until all components are fixed and operating as approved.
- 14. The backs of all digital displays, all cutouts and the space between the faces of a double-faced digital display shall be enclosed.

#### Advisory:

- 15. That all other government compliances, including a Roadside Development Permit from Alberta Transportation, and approvals are the sole responsibility of the Applicant/Owner.
- 16. That if the development authorized by this Development Permit is not commenced with reasonable diligence within 12 months from the date of issue, and completed within 24 months of the issue, the permit is deemed to be null and void, unless an extension to this permit shall first have been granted by the Development Officer.

Option #2: (this would allow the proposed development as requested by Applicant)

APPROVAL, subject to the following conditions:

#### **Description:**

1. That *Signs*, may be placed on the subject property in general accordance with the site plan and signage details, as prepared by Sunset Neon; dated May 16, 2019.

**ROCKY VIEW COUNTY** 

- i. One Freestanding sign approximately 7.30 m (23.95 ft.) in height with two sign faces and two LED signs, one LED sign faces north and one LED sign faces south.
  - a) One sign face faces north and a separate sign face faces south. Each sign face shall contain three elements: one internally-illuminated Restaurant chain logo ("DQ"), one internally-illuminated restaurant chain slogan ("Grill & Chill"), and one LED sign displaying a static, non-animated image in accordance with the below conditions.
- ii. Three Fascia signs, attached respectively to the north, west, and east sides of the restaurant, each containing two elements: one internally-illuminated restaurant chain logo and one internally-illuminated restaurant chain catchphrase.

#### Permanent

- 2. The LED signs shall be equipped with an ambient light detector.
- 3. The hours of operation for the LED digital signs will be between 6:00 am to 10:00 pm; the sign will be de-activated, or set to emit 0.0 lux between the hours of 10:01 pm to 6:59 am.
- 4. The LED signs shall be multi-colour, full colour boards;
- 5. The LED signs are to have static copy with a hold time of a minimum of six (6.00) seconds or more.
- 6. The maximum transition time between each digital copy must not exceed 0.25 seconds.
- 7. That the LED signs shall not display any moving, flashing or animated images and shall not otherwise give the appearance of animation or movement;
  - i. That any images or transitions between images shall not be displayed using any visible effects, including but not limited to action, motion, fading in and out, dissolving, blinking, intermittent or flashing light, or the illusion of such effects.
  - ii. That any copy displayed on the LED signs shall not be shown in a manner that requires the copy to be viewed or read over a series of sequential copy messages on a single digital display, or sequenced on multiple digital displays
- 8. A digital display shall not increase the light levels adjacent to the digital display by more than 3.0 LUX above the ambient light level.
- 9. The LED signs shall at no time display an image or any transition between images in such a way as to be potentially distracting to drivers, the identification of a potentially distracting image or image transition shall be at the sole discretion of the development authority.
- 10. The light output of the LED signs shall be set in accordance with the following maximum luminance levels when measured from the sign face at its maximum brightness:
  - i. From sunrise to sunset, 7500 Nits.
  - ii. From activation to sunrise: 300 Nits.
  - iii. From sunset to deactivation: 300 Nits.
- 11. The electrical power supply to the LED Signs must be provided underground on the subject parcel.
- 12. That any trees identified in the approved landscaping plan under PRDP20171222 shall not be altered, removed or otherwise changed to accommodate placement of the Freestanding sign, or Fascia signs.

ROCKY VIEW COUNTY

- 13. That if any component of the sign fails or malfunctions in any way, or fails to operate as indicated on the approved development permit plans, the sign(s) must be turned off until all components are fixed and operating as approved.
- 14. The backs of all digital displays, all cutouts and the space between the faces of a double-faced digital display shall be enclosed.

#### Advisory:

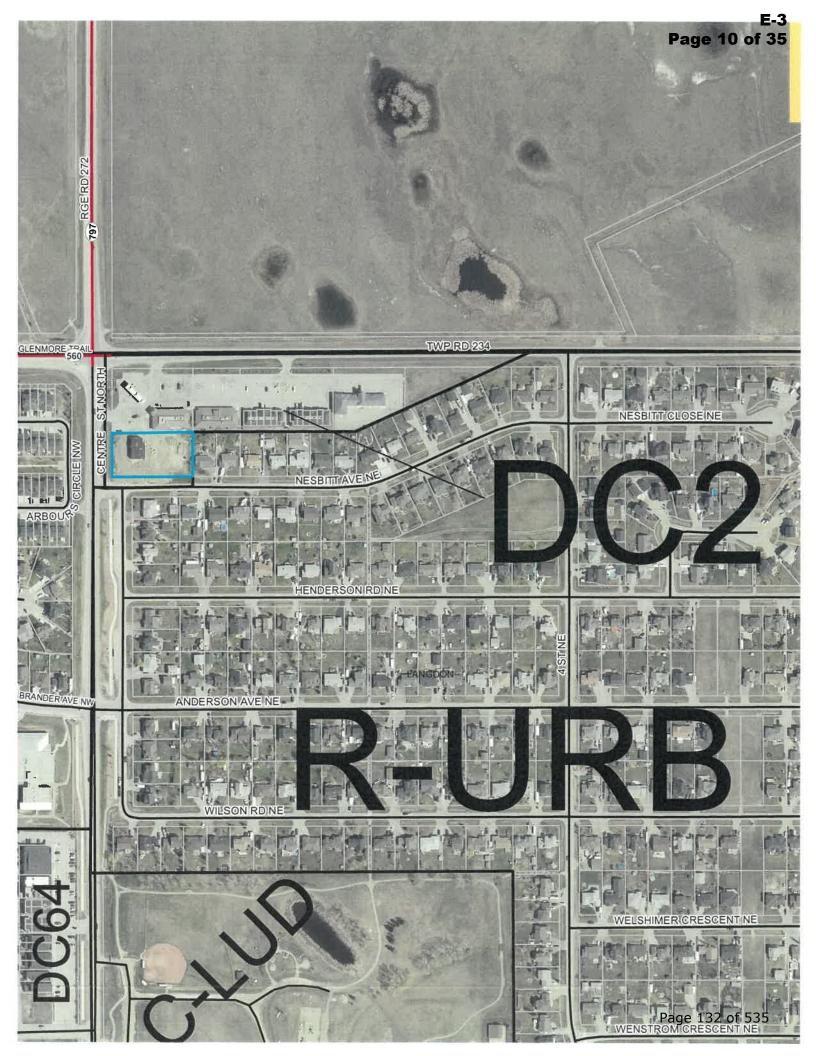
- 15. That all other government compliances, including a Roadside Development Permit from Alberta Transportation, and approvals are the sole responsibility of the Applicant/Owner.
- 16. That if the development authorized by this Development Permit is not commenced with reasonable diligence within 12 months from the date of issue, and completed within 24 months of the issue, the permit is deemed to be null and void, unless an extension to this permit shall first have been granted by the Development Officer.

#### Option 3: (this would not allow the proposed development)

REFUSAL, for the following reasons:

- 1. That the proposed signage unduly impacts neighboring residential parcels and does not comply with the requirements of Section 35.5 of Land Use Bylaw C-4841-97.
- 2. That the proposed signage may potentially interfere with the interpretation of traffic signs or controls, or interfere with traffic.
- 3. In the opinion of the Municipal Planning Commission, the development unduly interferes with the amenities of the neighbourhood and materially interferes with and affects the use, enjoyment, and value of neighbouring parcels of land.





ROCKY VIEW COUNTY
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### **DEVELOPMENT PERMIT** APPLICATION

APPLICATION NO.
ROLL NO.
RENEWAL OF
FEES PAID
DATE OF RECEIPT

				DATE OF RECEIPT			
APPLICANT/OWNE	R						
Applicant Name: D	David Atkinsor	ו					
Business/Organization Name (if applicable): Dairy Queen							
Landowner Name(s)	per title (if not the	e Applicant):					
Business/Organizatio	on Name (if applic	able): Heesin Inv	vestments Ltd				
LEGAL LAND DESC	RIPTION - Subje	ect site			1		
All/part of: 1⁄4	Section:	Township:	Range:	West of:	Meridian	Division:	
All parts of Lot(s)/Uni		Block:	Plan: 0011878		Parcel Size	e (ac/ha):	
Municipal Address:	704 Centre S	treet		Land Use Distr	ict: DC2-H	lamlet Co	mmercial
APPLICATION FOR	- List use and sc	ope of work					
On Premise Bu	siness signag	e as per drawing	gs submitted				
Variance Rationale in		s 🛷 no 🗆 n/a		DP Checklis	st Included:	□ YES	V NO
SITE INFORMATION	N	•	f the subject prope		st Included:		
SITE INFORMATION a. Oil or gas we	N ells present on or	S 🐼 NO □ N/A within 100 metres o f a sour gas facility (1		rty(s)	st Included:	□ YES □ YES □ YES	V NO
SITE INFORMATION a. Oil or gas we b. Parcel within c. Abandoned o	<b>I</b> ells present on or 1.5 kilometres of bil or gas well or p	within 100 metres o f a sour gas facility ( pipeline present on t	well, pipeline or pla he property	rty(s) int)	st Included:	□ YES	V NO V NO
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site information a. Oil or gas we b. Parcel within c. Abandoned o (Well Map Vie d. Subject site b	N Ils present on or 1.5 kilometres of bil or gas well or p wer: <u>https://extma</u>	within 100 metres o f a sour gas facility ( pipeline present on t	well, pipeline or pla he property <u>bandonedWells/Ind</u>	rty(s) int) <u>ex.html</u> )		□ YES □ YES	V NO V NO
SITE INFORMATION a. Oil or gas we b. Parcel within c. Abandoned o (Well Map Vie d. Subject site H AUTHORIZATION	N 1.5 kilometres of bil or gas well or p ewer: https://extma nas direct access	within 100 metres of f a sour gas facility ( pipeline present on the pviewer.aer.ca/AERA to a developed Mur	well, pipeline or pla he property <u>bandonedWells/Ind</u> nicipal Road (acces	rty(s) int) <u>ex.html</u> ) ssible public roa	dway)	□ YES □ YES □ YES	<ul> <li>✓ NO</li> <li>✓ NO</li> <li>✓ NO</li> <li>✓ NO</li> <li>✓ NO</li> </ul>
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SITE INFORMATION <ul> <li>a. Oil or gas we</li> <li>b. Parcel within</li> <li>c. Abandoned of (Well Map Vie)</li> <li>d. Subject site H</li> </ul> <li>AUTHORIZATION <ul> <li>I, DAVID ATK</li> <li>That I am the Info knowledge, a</li> <li>That I provide submitted/coordinate of the Information of the Information</li></ul></li>	N         ells present on or         1.5 kilometres of         bil or gas well or p         ewer: https://extma         has direct access         KINSON         e registered owne         ormation given or         a true statement or         accordance with s         accordance with s         ry: I authorize/ac         investigation and         overnment Act.	within 100 metres of f a sour gas facility (pipeline present on the pviewer.aer.ca/AERA to a developed Mur er <b>OR</b> That I on this form and relation of the facts relating to public release and d s application as part 5.33(c) of the <i>Freedo</i> knowledge that Roc	well, pipeline or pla he property <u>bandonedWells/Ind</u> nicipal Road (access (Full name in Block am authorized to a ated documents, is o this application. isclosure of all info of the review proc or of Information a ky View County ma t to this application	rty(s) int) ex.html) ssible public roa k Capitals), <b>here</b> ct on the owner' s full and comp rmation, includin ess. I acknowled <i>nd Protection of</i> ay enter the abo	dway) by certify (i s behalf. lete and is, g supporting dge that the <i>Privacy Act.</i> ve parcel(s) vith Section	<ul> <li>☐ YES</li> <li>☐ YES</li> <li>☑ YES</li> <li>✓ YES</li> <li>✓ YES</li> <li>Initial below</li> <li>to the best of the best of</li></ul>	NO     NO



### SIGNAGE - GENERAL INFORMATION SHEET

FOR OFFICE USE ONLY		
APPLICATION NO.		
ROLL NO.		
DISTRICT		

SIGN DETAILS	SIGN 1	SIGN 2	SIGN 3	SIGNAGE LIST		
Located on or off-site?	On	On	On	Sign Type:		
Indicate Sign Type:	Fascia	Fascia	Fascia	Awning/Canopy		
Area of sign (m <sup>2</sup> / ft. <sup>2</sup> )	6.0m2	3.9m2	2.6m2	Billboard		
Length of sign (m / ft.)	2.0m	1.0m	1.3m	Digital Display		
Width of sign (m / ft.)	3.0m	3.9m	2.0m	Fascia		
Height from grade to bottom of sign (m/ ft.)	3.6m	3.9m	3.9m	<ul> <li>Freestanding</li> <li>Inflatable</li> </ul>		
Indicate Sign Purpose:	Identification	Identification	Identification	Portable		
Attached to: structure, building, or vehicle?	Building	Building	Building	Projecting		
Method of support	2" Wood Screws	1/4" Lag Bolts	2" Wood Screws	Roof     Purpose of Sign:		
Sign material	Aluminum Polycarbonate	Aluminum Polycarbonate	Aluminum Polycarbonate	<ul><li>Advertisement</li><li>Directional</li></ul>		
Sign illuminated?	YES 🗆 NO	□ YES □ NO		Information		
	NOTE: For divited divides since others Simons Divited Divides Information Object along with this form					

NOTE: For digital display signs, attach Signage - Digital Displays Information Sheet along with this form.

SPECIFIC SITE PLAN REQUIREMENTS

Required on the Site Plan in addition to DP Checklist - General requirements (select if provided):

- □ Show sign location/setbacks in relation to property boundaries and buildings
- Distance from sign to another similar/distinct sign if present on site (indicate all sign types)

Distance from sign to overhead power and service lines, and/or road right of ways (as applicable)

Distance from sign to highway, public roadway, and/or back of curb (as applicable)

#### SIGN ELEVATIONS AND DESIGN

Required in addition to DP Checklist - General requirements (select if provided):

- □ Minimum clearance above grade to bottom of sign (for awing/canopy, billboard, and projecting signs)
- Dimensions of sign projection from structure, building, or vehicles (as applicable)
- Design samples/digital sketches including sign content, structure, dimensions etc.
- □ Type of sign construction and finishing to be utilized
- Photographs of the proposed site showing adjacent properties and signs within approximately 30.0 m (98.43 ft.) of the proposed sign location
- Photographs of site and structure(s)/building(s) identifying proposed sign location
- Details of illuminated or digital signs (For digital signage, <u>Signage Digital Displays Information Sheet</u> to be completed in accordance with Section 212 of the Land Use Bylaw)

*Refer to Section 92(r) of the Land Use Bylaw C-8000-2020 for signs not requiring a development permit. Refer to Signage regulations under Sections 151-153 and 212-224 for sign specific requirements.* 

**Applicant Signature** 

Date September 19, 2020



### **SIGNAGE - GENERAL** INFORMATION SHEET

FOR OFFICE USE ONLY		
APPLICATION NO.		
ROLL NO.		
DISTRICT		

SIGN DETAILS	SIGN 4	SIGN 5	SIGN 6	SIGNAGE LIST
Located on or off-site?	On	On	On	Sign Type:
Indicate Sign Type:	Fascia	Fascia	Fascia	□ Awning/Canopy
Area of sign (m <sup>2</sup> / ft. <sup>2</sup> )	1.38m2	1.71m2	0.64m2	□ Billboard
Length of sign (m / ft.)	0.6m	0.9m	0.4m	Digital Display
Width of sign (m / ft.)	2.3m	1.9m	1.6m	Fascia
Height from grade to	3.3m	4.2m	3.6m	Freestanding
bottom of sign (m/ ft.)				🗆 Inflatable
Indicate Sign Purpose:	Identification	Identification	Identification	□ Portable
Attached to: structure, building, or vehicle?	Building	Building	Building	Projecting
				□ Roof
Method of support	1/4" Lag Bolts	2" Wood Screws	1/4" Lag Bolts	
				Purpose of Sign:
	Aluminum	Aluminum	Aluminum	Advertisement
Sign material	Polycarbonate	Polycarbonate	Polycarbonate	Directional
Sign illuminated?	YES 🗆 NO	YES 🗆 NO	YES 🗆 NO	Information
NOTE: For divited display since other boundary Divited Displays Information Obset slope with this form				

NOTE: For digital display signs, attach Signage - Digital Displays Information Sheet along with this form.

SPECIFIC SITE PLAN REQUIREMENTS

Required on the Site Plan in addition to DP Checklist - General requirements (select if provided):

□ Show sign location/setbacks in relation to property boundaries and buildings

Distance from sign to another similar/distinct sign if present on site (indicate all sign types)

Distance from sign to overhead power and service lines, and/or road right of ways (as applicable)

Distance from sign to highway, public roadway, and/or back of curb (as applicable)

#### SIGN ELEVATIONS AND DESIGN

Required in addition to DP Checklist - General requirements (select if provided):

- □ Minimum clearance above grade to bottom of sign (for awing/canopy, billboard, and projecting signs)
- Dimensions of sign projection from structure, building, or vehicles (as applicable)
- Design samples/digital sketches including sign content, structure, dimensions etc.
- □ Type of sign construction and finishing to be utilized
- □ Photographs of the proposed site showing adjacent properties and signs within approximately 30.0 m (98.43 ft.) of the proposed sign location
- □ Photographs of site and structure(s)/building(s) identifying proposed sign location
- Details of illuminated or digital signs (For digital signage, <u>Signage Digital Displays Information Sheet</u> to be completed in accordance with Section 212 of the Land Use Bylaw)

*Refer to Section 92(r) of the Land Use Bylaw C-8000-2020 for signs not requiring a development permit. Refer to Signage regulations under Sections 151-153 and 212-224 for sign specific requirements.* 

Applicant Signature \_

Date September 19, 2020



### **SIGNAGE - GENERAL** INFORMATION SHEET

FOR OFFICE USE ONLY		
APPLICATION NO.		
ROLL NO.		
DISTRICT		

SIGN DETAILS	SIGN 7 (x3)	SIGN 8		SIGNAGE LIST
Located on or off-site?	On	On		Sign Type:
Indicate Sign Type:	Freestanding	Freestanding		□ Awning/Canopy
Area of sign (m <sup>2</sup> / ft. <sup>2</sup> )	0.24m2	11.57m2		□ Billboard
Length of sign (m / ft.)	0.4m	4.45m		Digital Display
Width of sign (m / ft.)	0.6m	2.6m		Fascia
Height from grade to bottom of sign (m/ ft.)	0.76m	3.2m		□ Freestanding
<b>.</b> ,	Directional	Advertisement/ID		. 🗆 Inflatable
Indicate Sign Purpose:	Directional	Advertisement/ID		Portable
Attached to: structure, building, or vehicle?	Ground	Ground		Projecting
; = = = = = = = = = = = = = = = =	Conorata	O an anata		🗆 Roof
Method of support	Concrete	Concrete		
Method of Support	Footings	Footings		Purpose of Sign:
	Aluminium	Aluminum/Steel		Advertisement
Sign material	Poly Carbonate	Poly Carbonate		Directional
Sign illuminated?	YES 🗆 NO	YES 🗆 NO		
NOTE: For divided display since other & Cimerce Divided Displays Information Obset slave with this form				

NOTE: For digital display signs, attach Signage - Digital Displays Information Sheet along with this form.

SPECIFIC SITE PLAN REQUIREMENTS

Required on the Site Plan in addition to DP Checklist - General requirements (select if provided):

□ Show sign location/setbacks in relation to property boundaries and buildings

Distance from sign to another similar/distinct sign if present on site (indicate all sign types)

Distance from sign to overhead power and service lines, and/or road right of ways (as applicable)

Distance from sign to highway, public roadway, and/or back of curb (as applicable)

#### SIGN ELEVATIONS AND DESIGN

Required in addition to DP Checklist - General requirements (select if provided):

- □ Minimum clearance above grade to bottom of sign (for awing/canopy, billboard, and projecting signs)
- Dimensions of sign projection from structure, building, or vehicles (as applicable)
- Design samples/digital sketches including sign content, structure, dimensions etc.
- □ Type of sign construction and finishing to be utilized
- Photographs of the proposed site showing adjacent properties and signs within approximately 30.0 m (98.43 ft.) of the proposed sign location
- □ Photographs of site and structure(s)/building(s) identifying proposed sign location
- Details of illuminated or digital signs (For digital signage, <u>Signage Digital Displays Information Sheet</u> to be completed in accordance with Section 212 of the Land Use Bylaw)

*Refer to Section 92(r) of the Land Use Bylaw C-8000-2020 for signs not requiring a development permit. Refer to Signage regulations under Sections 151-153 and 212-224 for sign specific requirements.* 

Applicant Signature \_

Date \_\_\_\_\_September 18, 2020





### **SIGNAGE - DIGITAL DISPLAYS** INFORMATION SHEET

FOR OFFICE USE ONLY		
APPLICATION NO.		
ROLL NO.		
DISTRICT		

CONTACT DETAILS					
Full name of person with technology controls of the sign:					
Business name (if applicable):					
Telephone (Primary):     Alternative:     Email:					
GENERAL AND SITE REQUIREMENTS					
I,					
at 704 Centre Street Langdon AB (address), and confirm compliance to Section 212 Digital					
Display, Land Use Bylaw C-8000-2020 requirements, as follows:					
GENERAL REQUIREMENTS:					
The digital display will be static and remain in place for a minimum of 6.0 seconds before switching to the next copy. <b>Proposed display time for each slide/copy:</b> 6.0 seconds					
The maximum transition time between each digital copy will not exceed 0.25 seconds.					
Proposed transition time: 0.25 seconds					
<ul> <li>The digital display will not use full motion video or otherwise give the appearance of animation or movement.</li> <li>The transition between each digital copy will not be displayed using any visible effects, including but not limited to action,</li> </ul>					
motion, fading in and out, dissolving, blinking, intermittent or flashing light, or the illusion of such effects.					
Copy will not be shown in a manner that requires the copy to be viewed or read over a series of sequential copy					
messages on a single digital display, or sequenced on multiple digital displays.					
<ul> <li>The digital display will be equipped with an ambient light sensor.</li> <li>The digital display will not increase the light levels adjacent to the digital display by more than 3.0 LUX above the</li> </ul>					
ambient light level.					
$\Box$ The light output of a digital display is <b>proposed at</b> <u>7500</u> Nits, from sunrise to sunset, in accordance					
with the maximum luminance levels under Section 212(i) when measured from the sign face at its maximum brightness in this <b>Residential/Business/Commercial/Industrial/Other:</b> <u>Commercial</u> <u>district.</u>					
If any component on the sign fails or malfunctions in any way, or fails to operate as indicated on the approved					
development permit plans, the sign will be turned off until all components are fixed and operating as required.					
The back of the digital display and all cut-outs will be enclosed.					
The space between the faces of a double-faced digital display will be enclosed.					
SITE REQUIREMENTS:					
Where a digital display is visible from and located within 125.0 m (410.11 ft.) of a building containing a Dwelling Unit, the					
sign will not operate, or will only display a black screen between 10 p.m. and 7 a.m. The electrical power supply to a digital Message Sign will be provided underground.					
A digital display is located at least 300.0 m (984.25 ft.) from another digital display.					
Trees required under an approved development permit will not be removed or altered in any way to accommodate the					
placement or visibility of a digital display.					
The lighting or orientation of a digital display shall not adversely affect any neighbouring residential areas.					
Specification Requirement: Has a detailed specification sheet/operating standards from the manufacturer (identifying both the NITS and dimming option for night time hours) been provided?  YES, included in application package  NO					
VARIANCE(S) REQUESTED					
List any variances requested on above requirements. Variance rationale letter must be attached:					

Date September 18, 2020



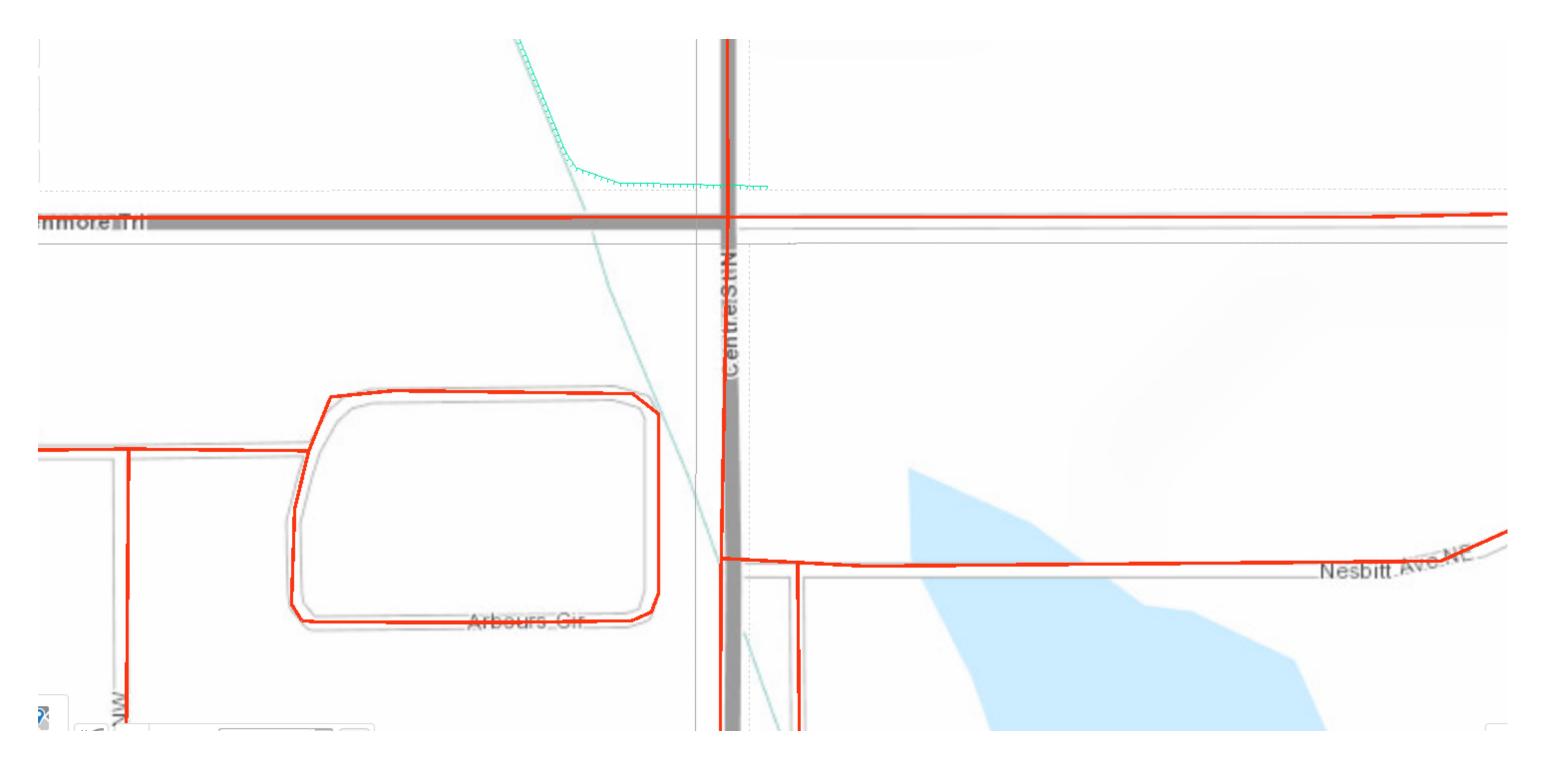
To Whom It May Concern DQ – 704 Centre Street Langdon AB

## Sign Permit application details Signage to include:

- Sign 1 6'-6" DQ Logo
- Sign 2 3'3" Grill & Chill
- Sign 3 4'-3" DQ Logo
- Sign 4 2'1" Grill & Chill
- Sign 5 3'-0" DQ Logo
- Sign 6 1'-4" Grill & Chill
- Sign 12a-b-c 1'-3" x 2'-1" D/S Illuminated Directional Sign
- Sign 13 Double side Freestanding sign with LED Message centre inclusive

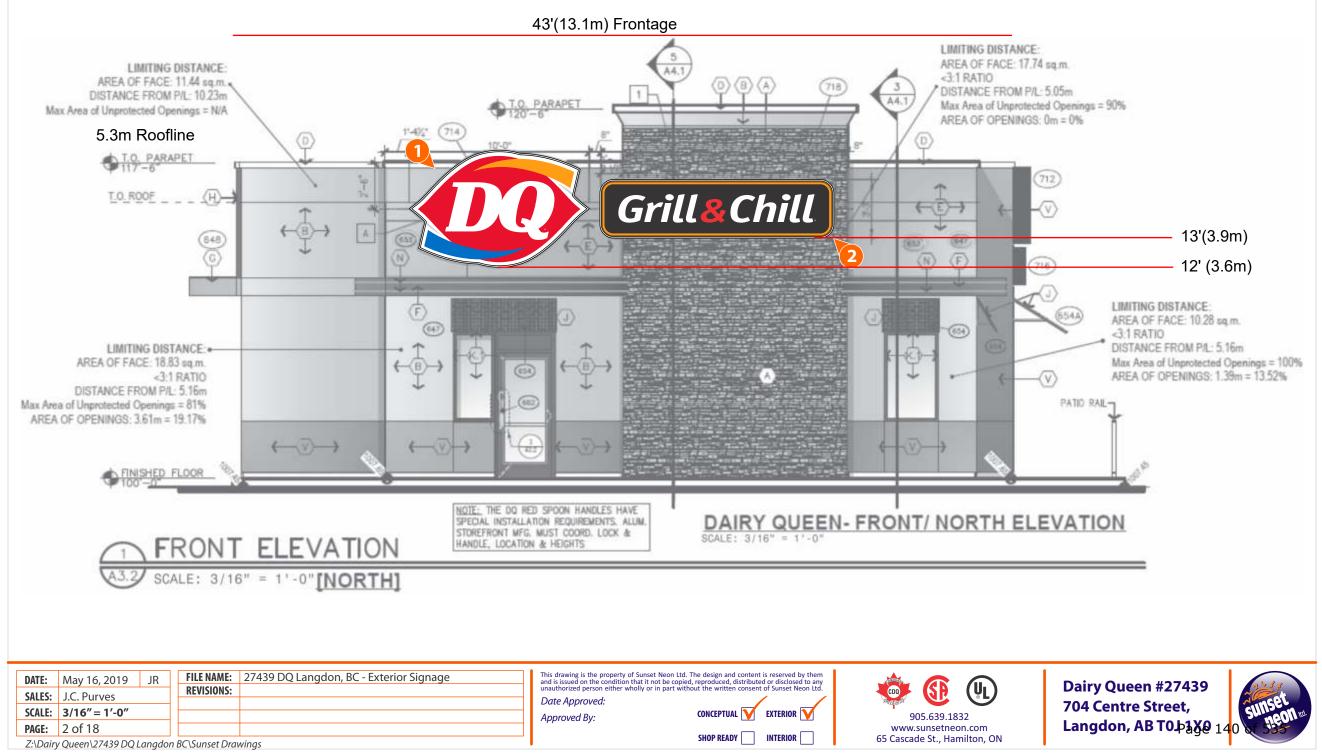
#### Drawings with this package include

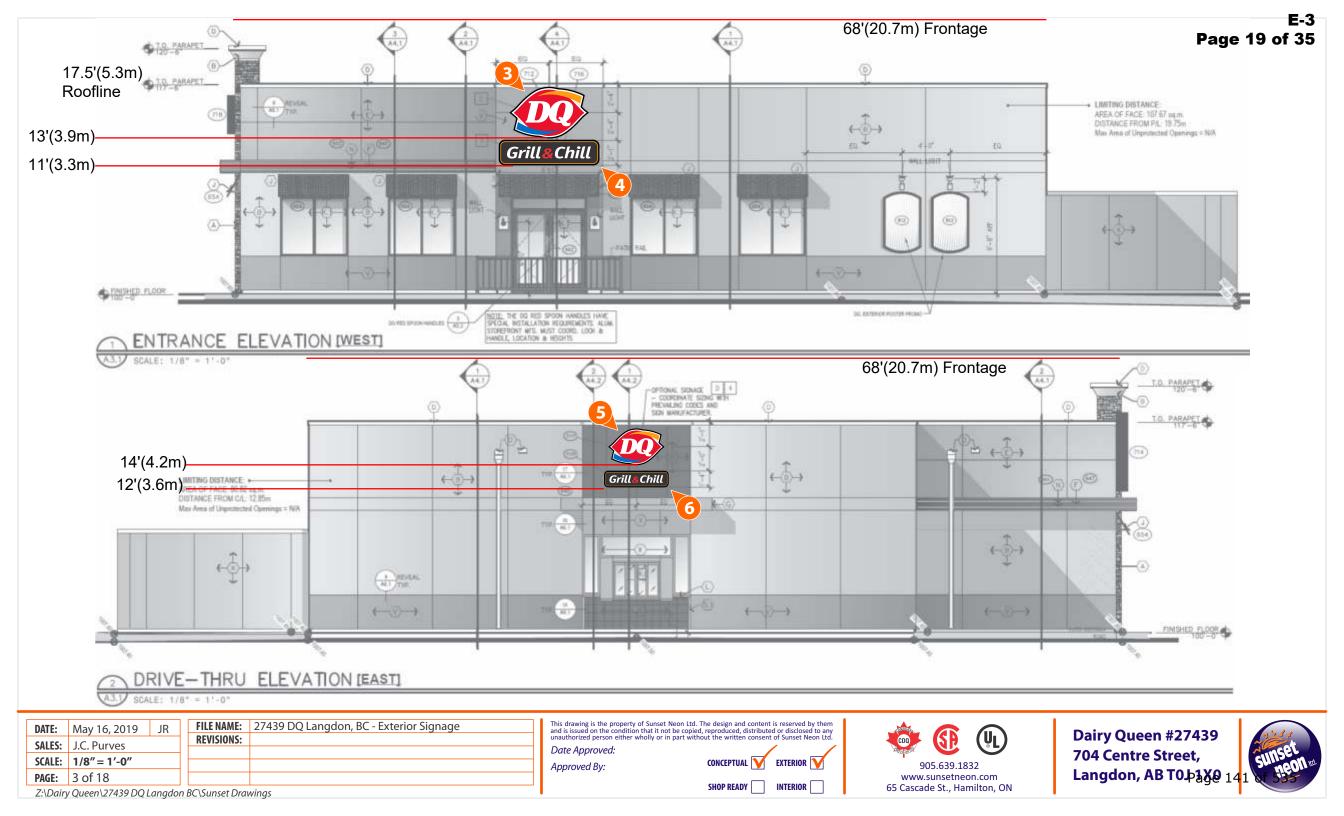
- Artwork- file 27439 DQ Langdon, BC Exterior Signage
- Landlord Approval
- Permit application
- Site Plan
- Title Certificate

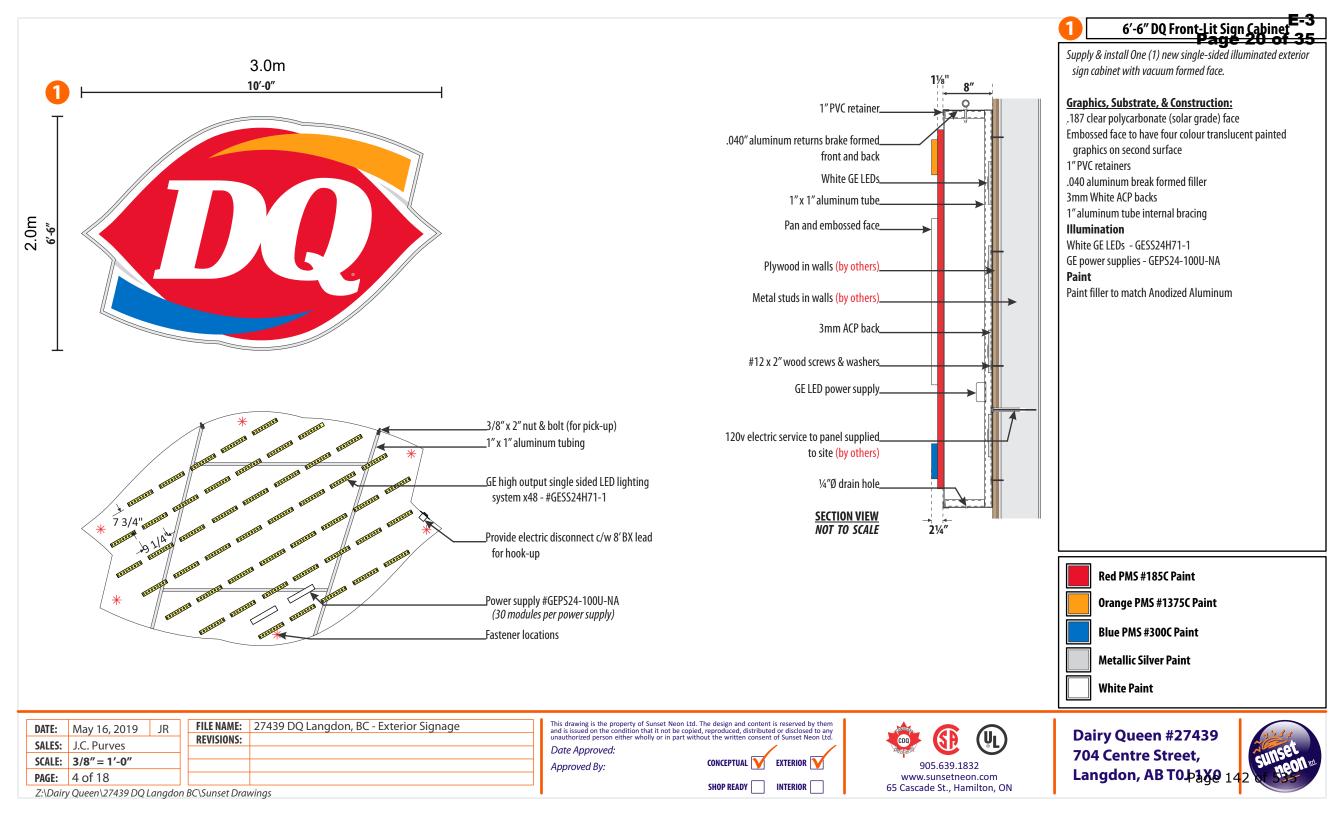


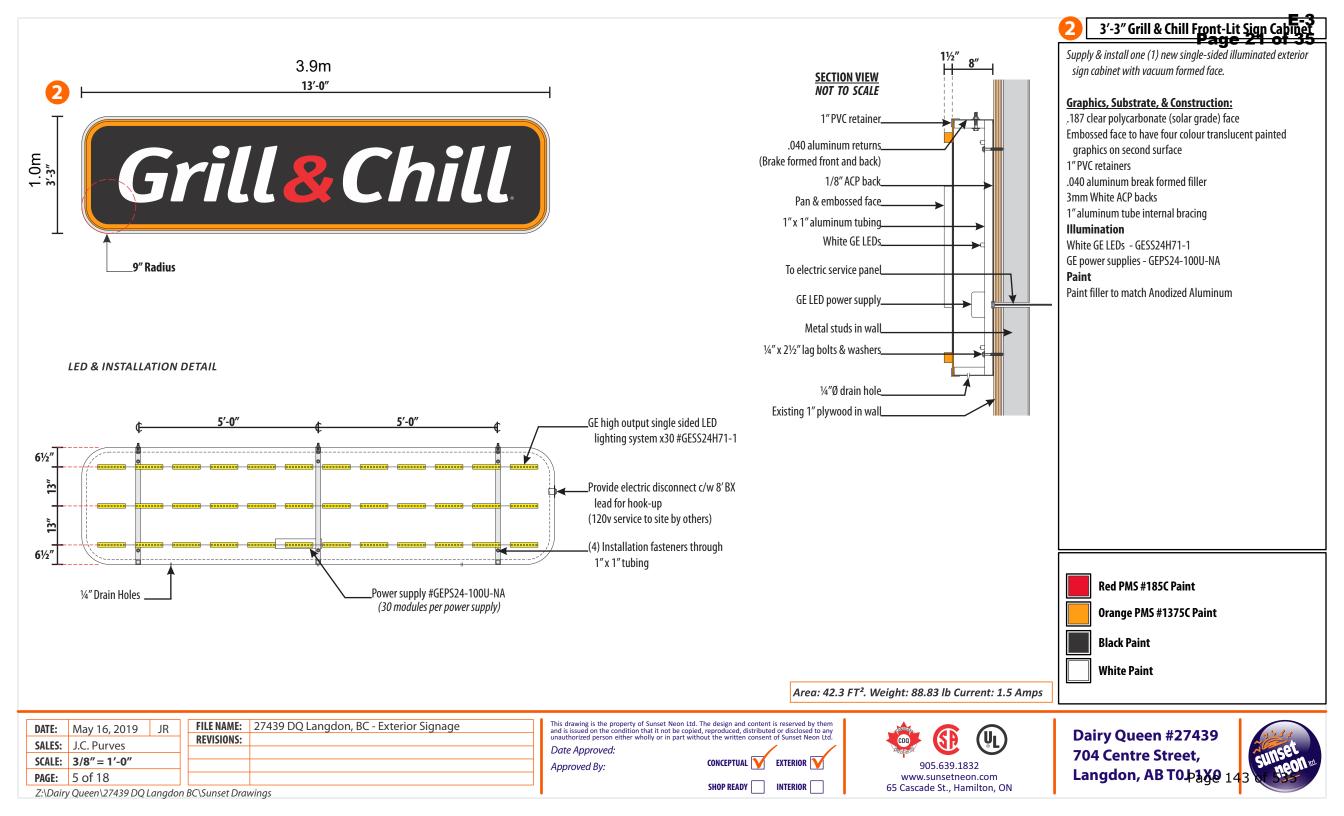
Abandoned Well Map from Web link

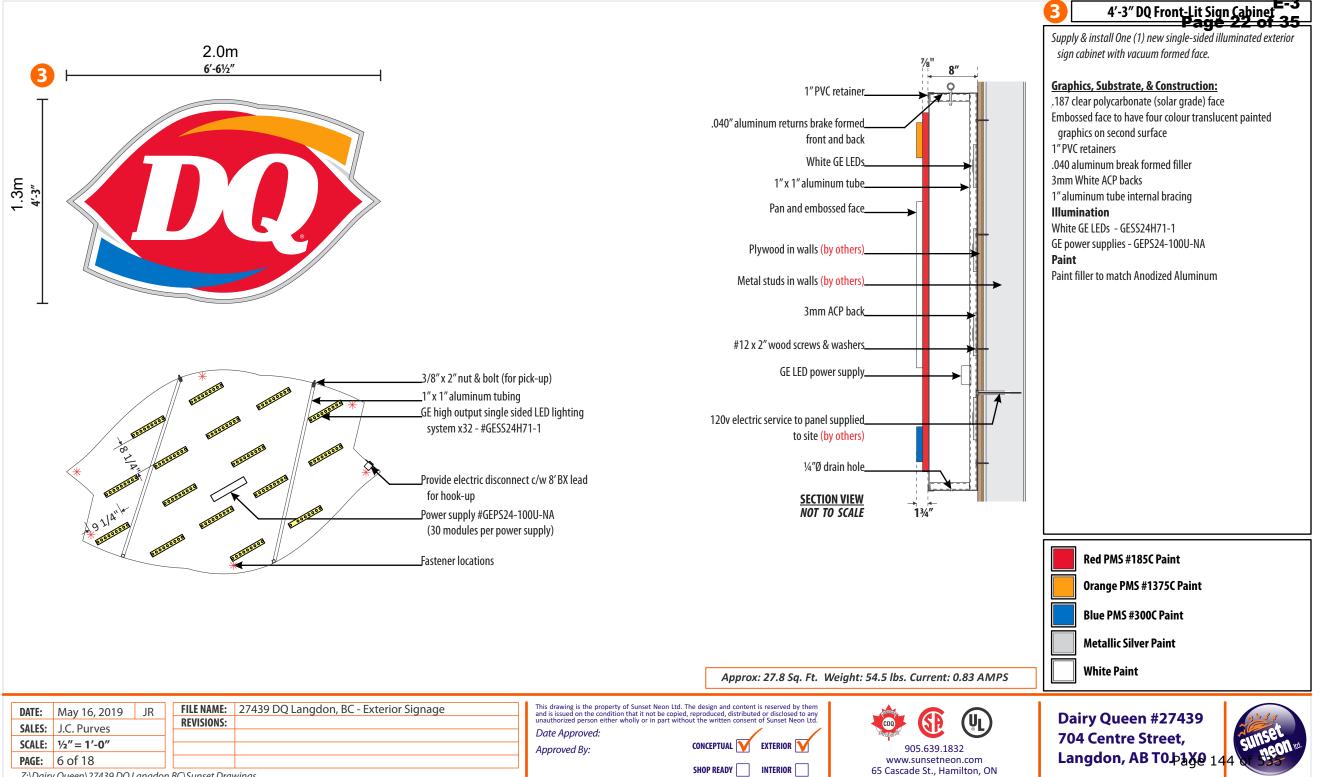
#### E-3 Page 18 of 35



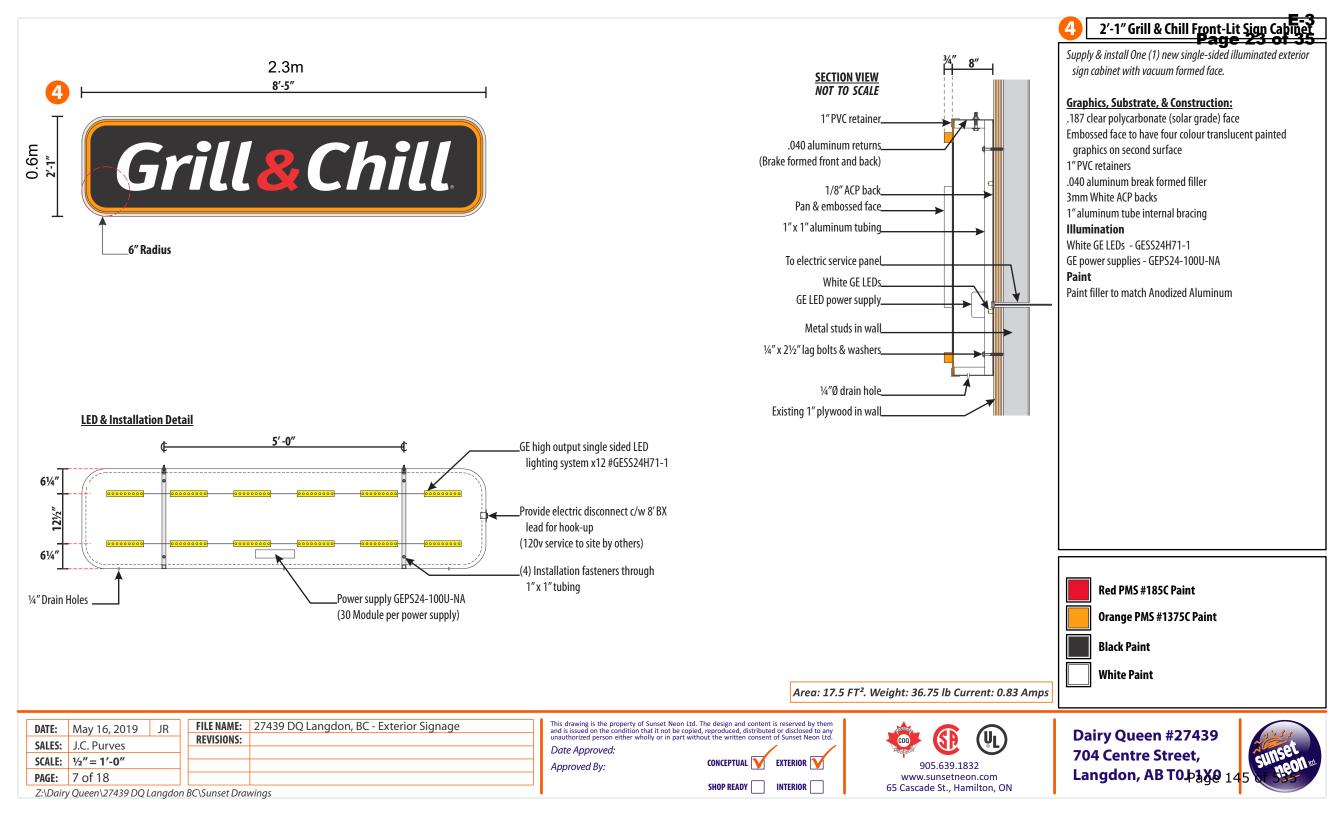


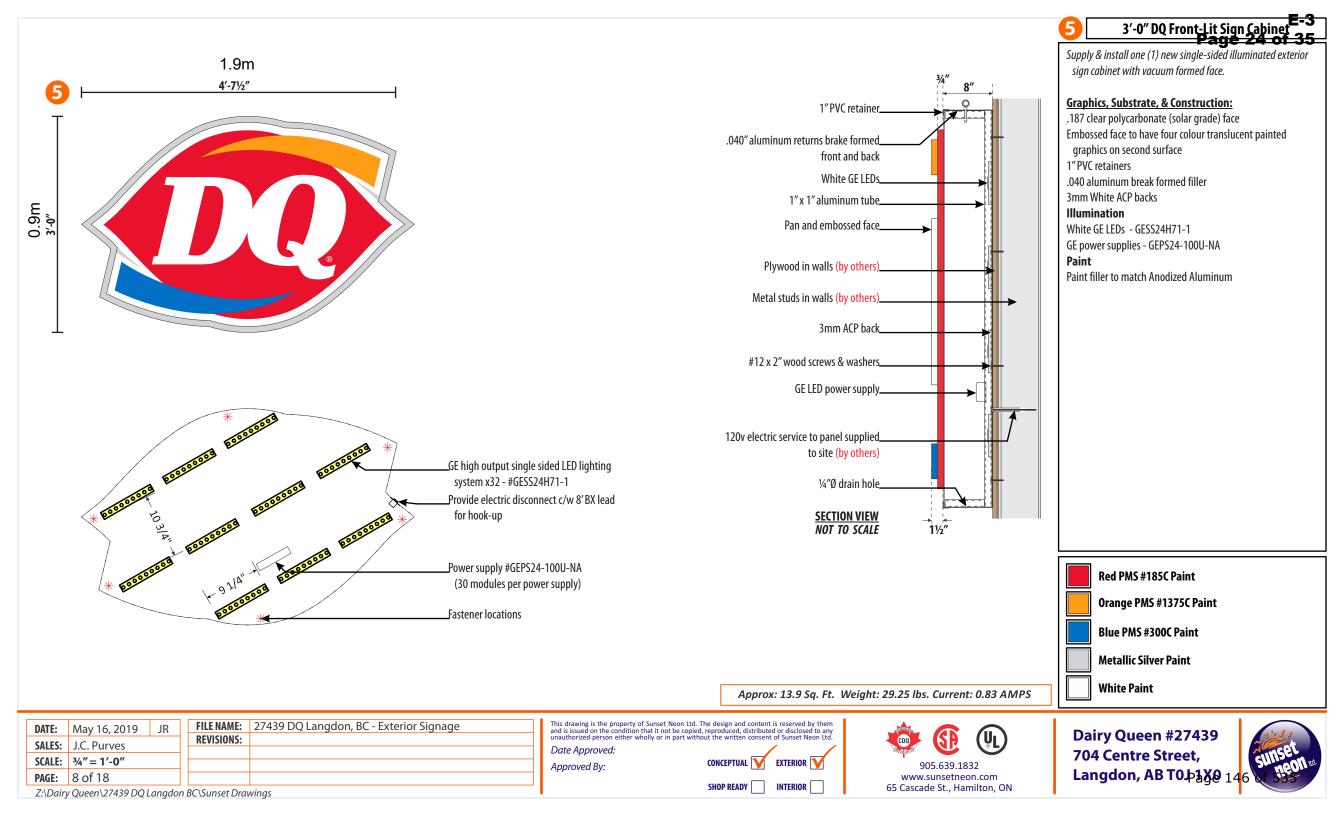


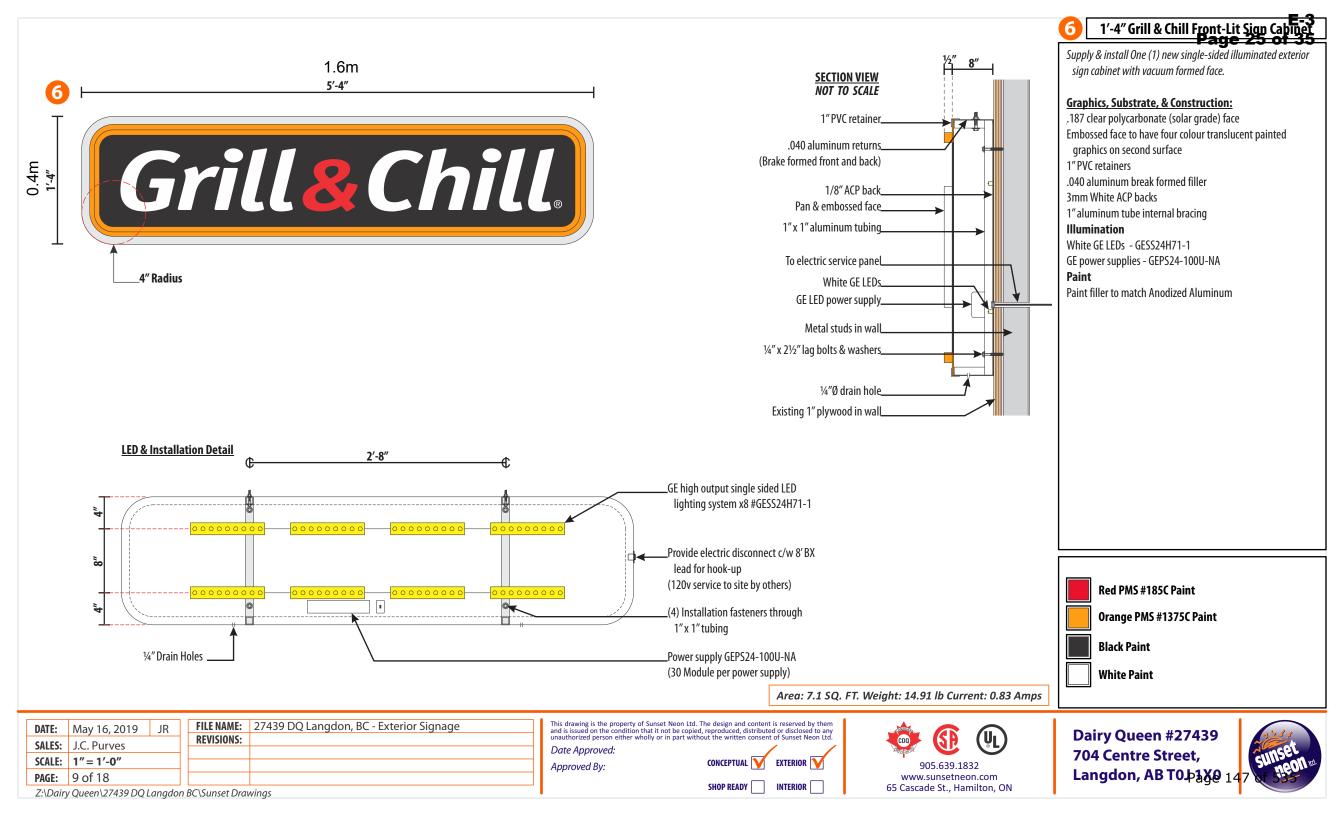


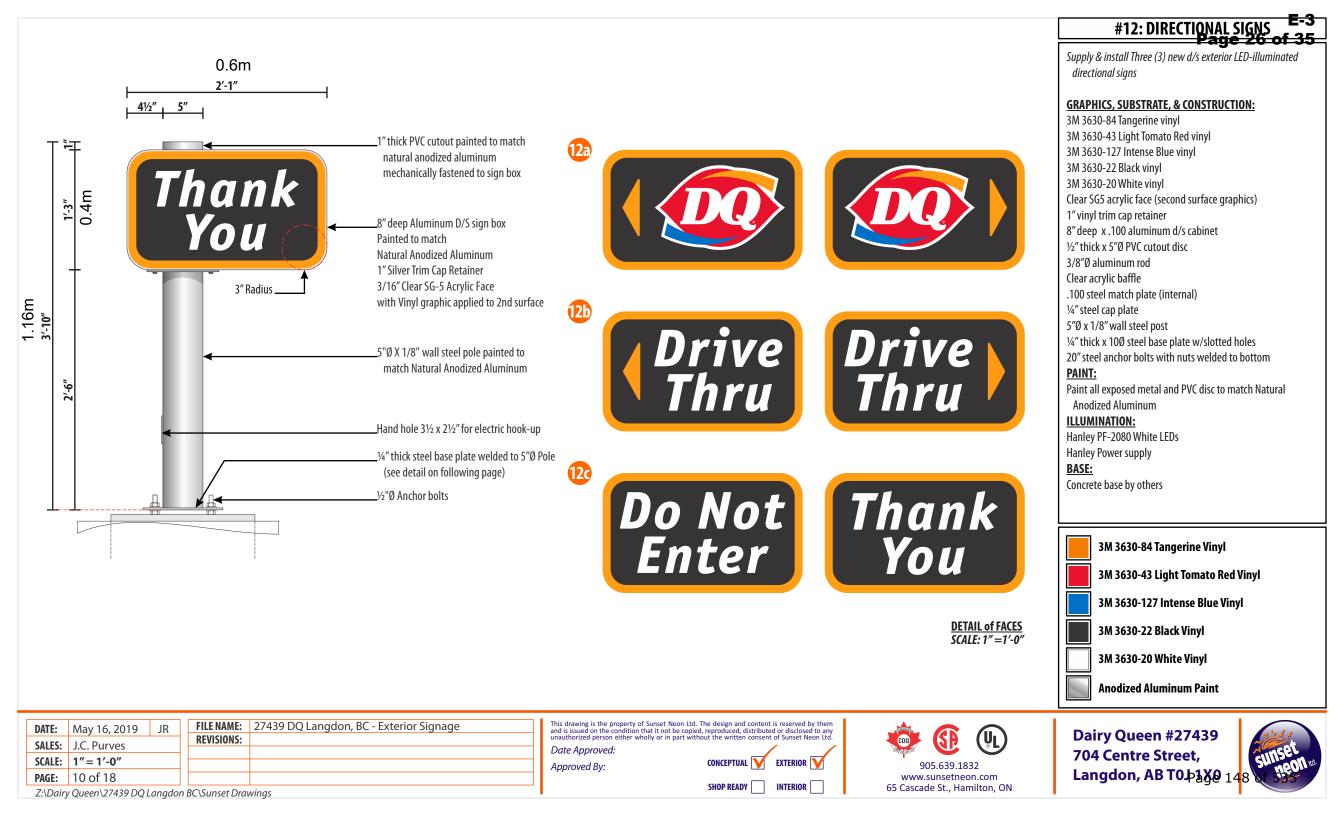


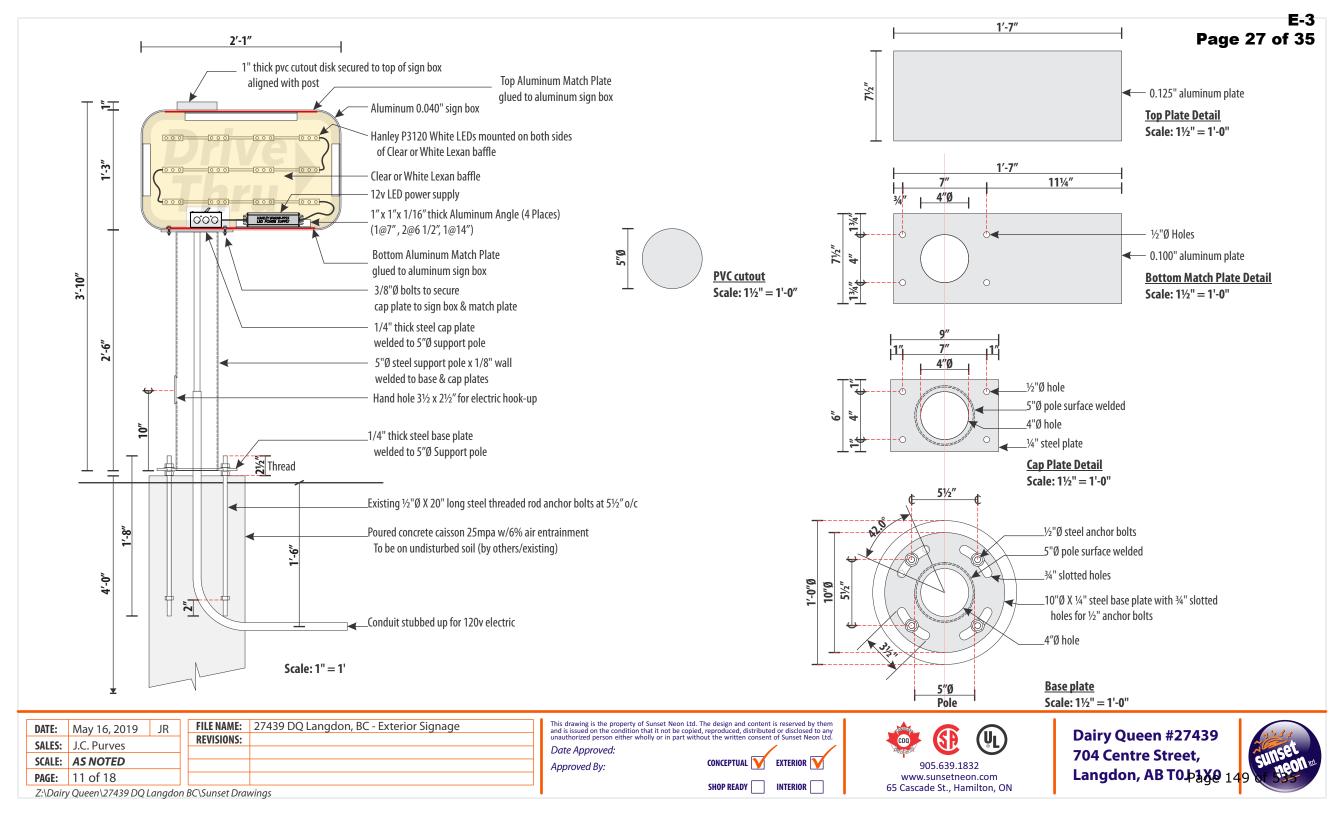
*Z*:\Dairy Queen\27439 DQ Langdon BC\Sunset Drawings

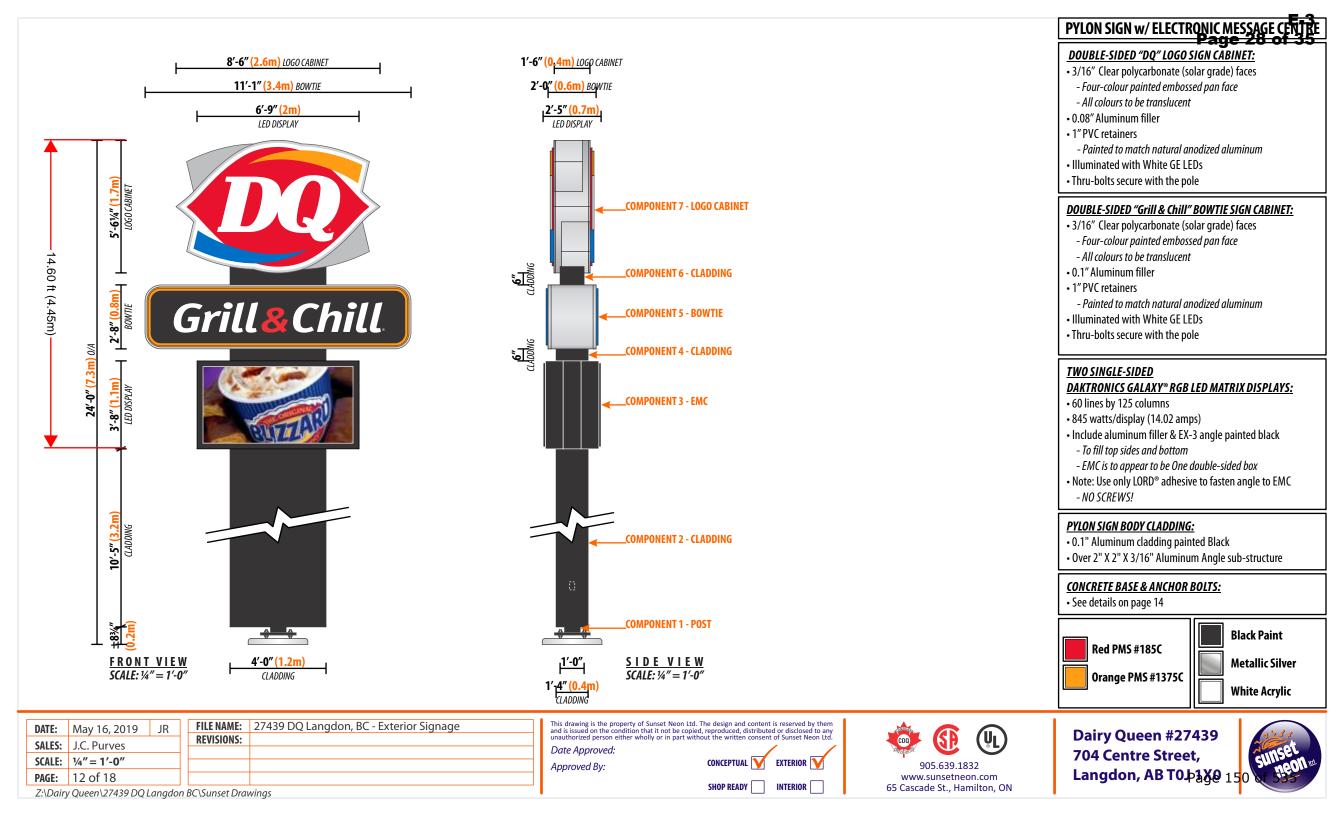


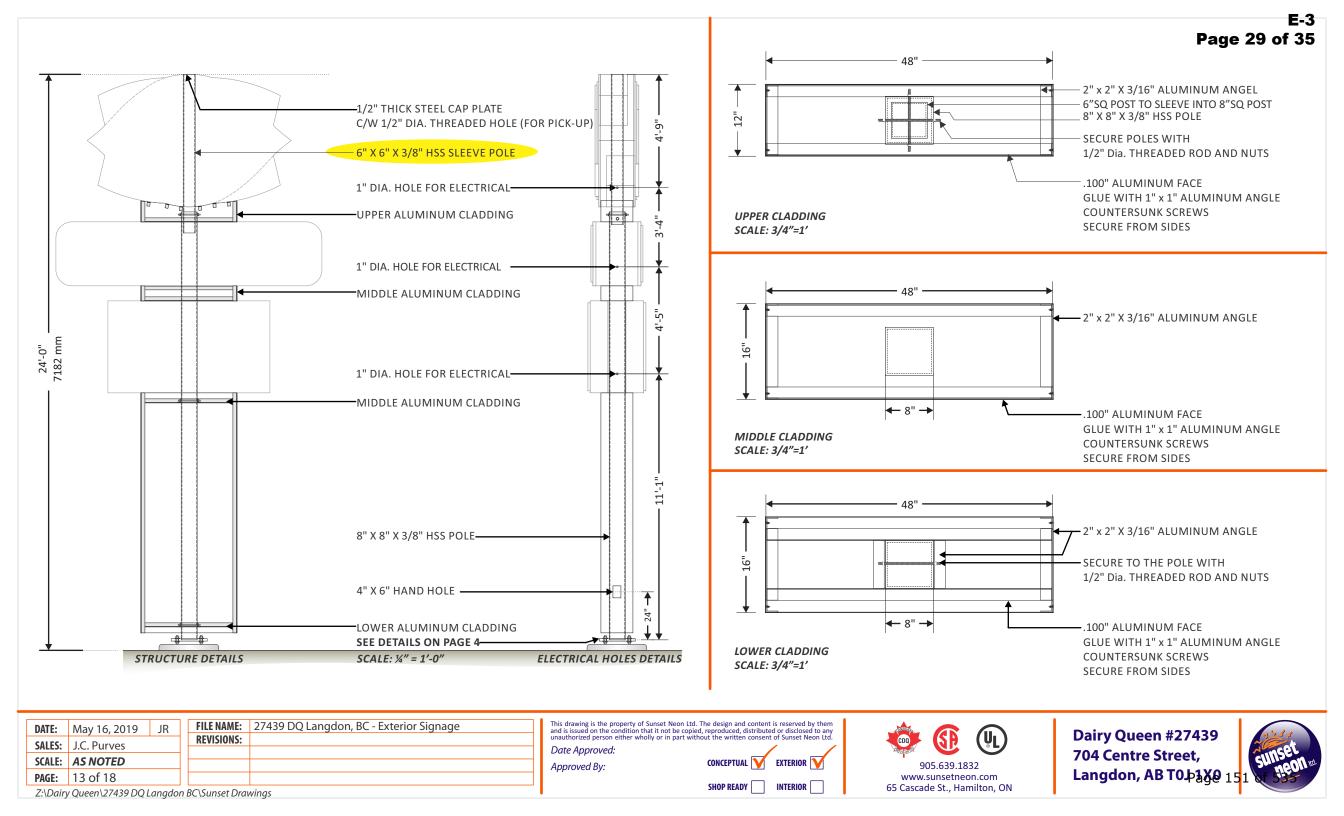


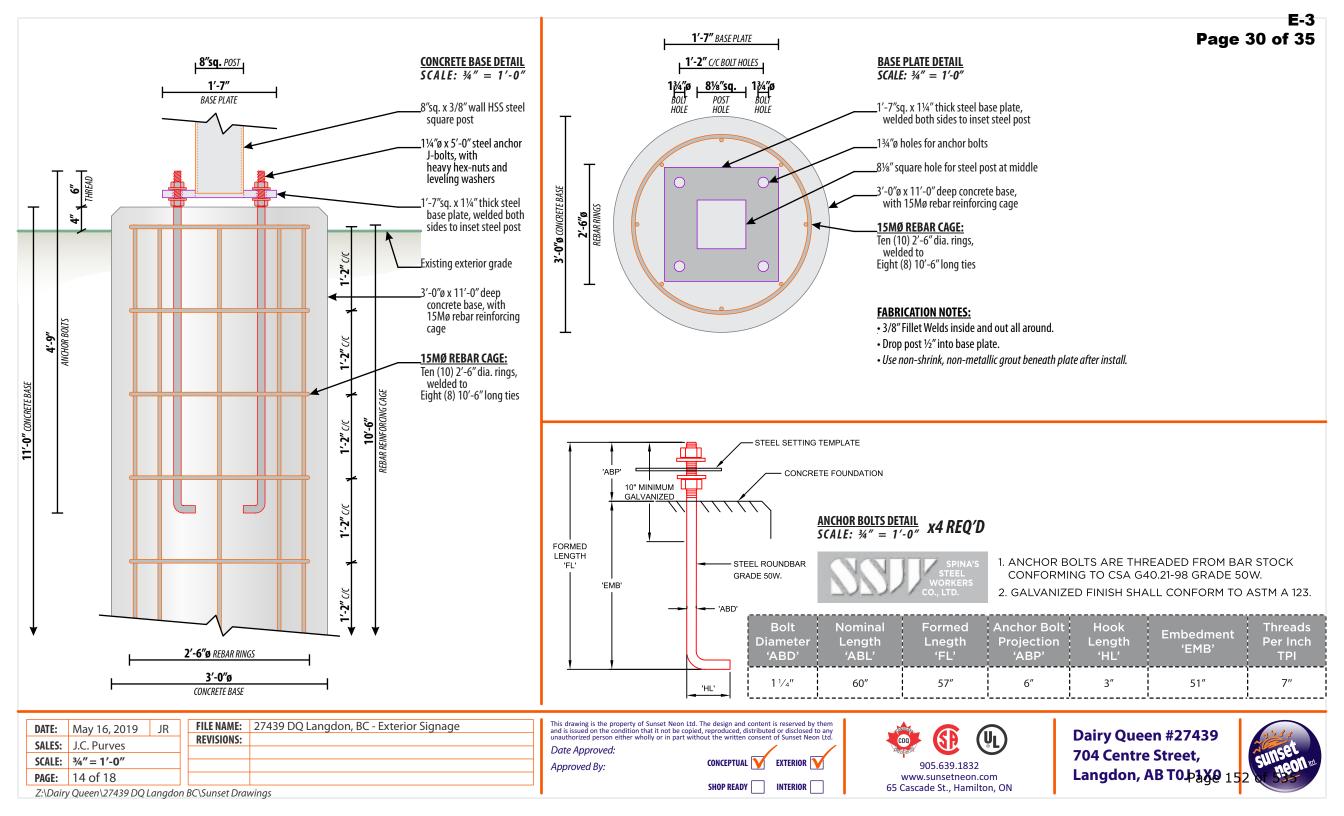


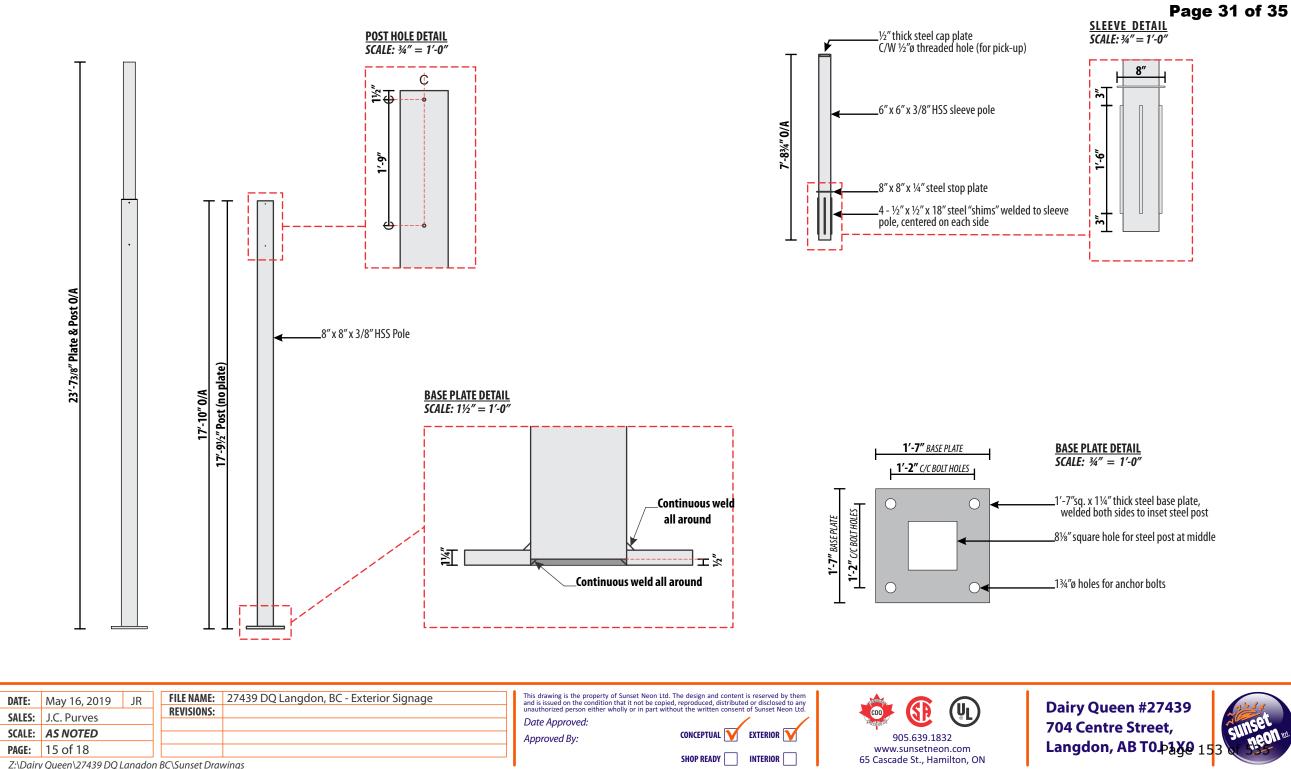








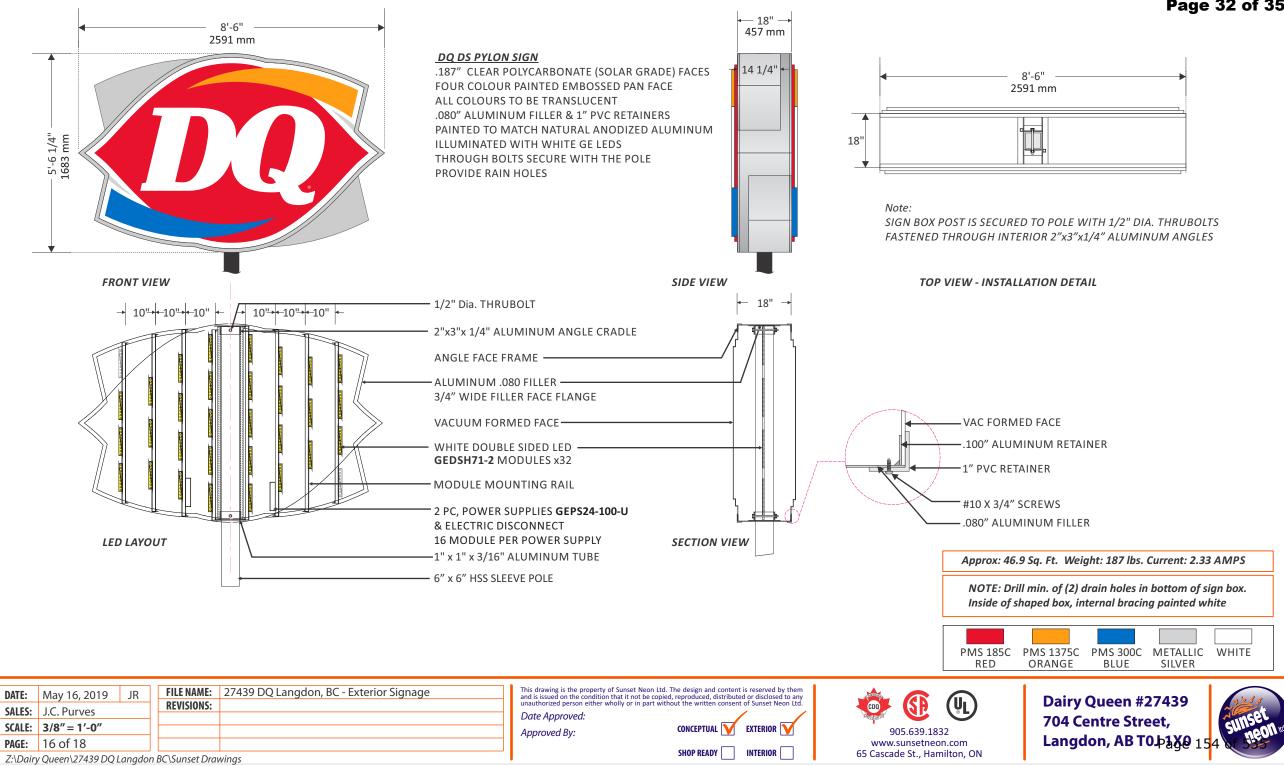




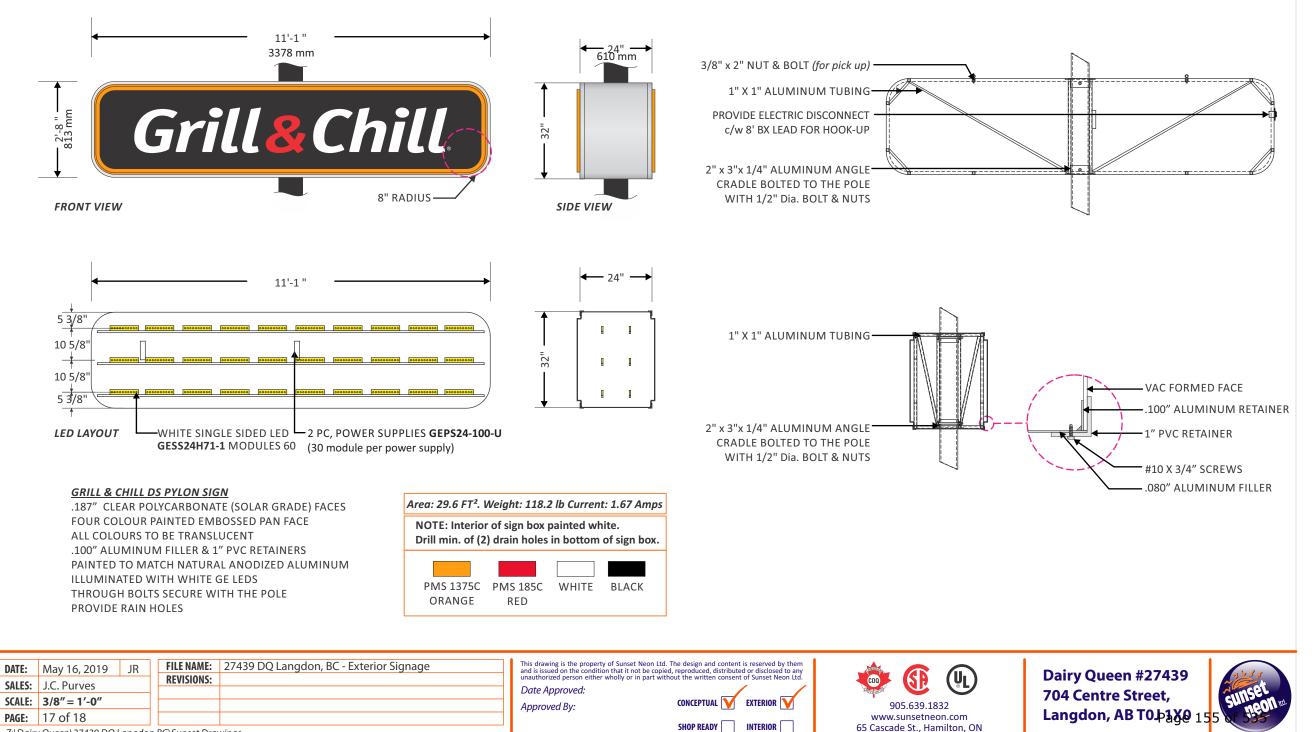
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E-3

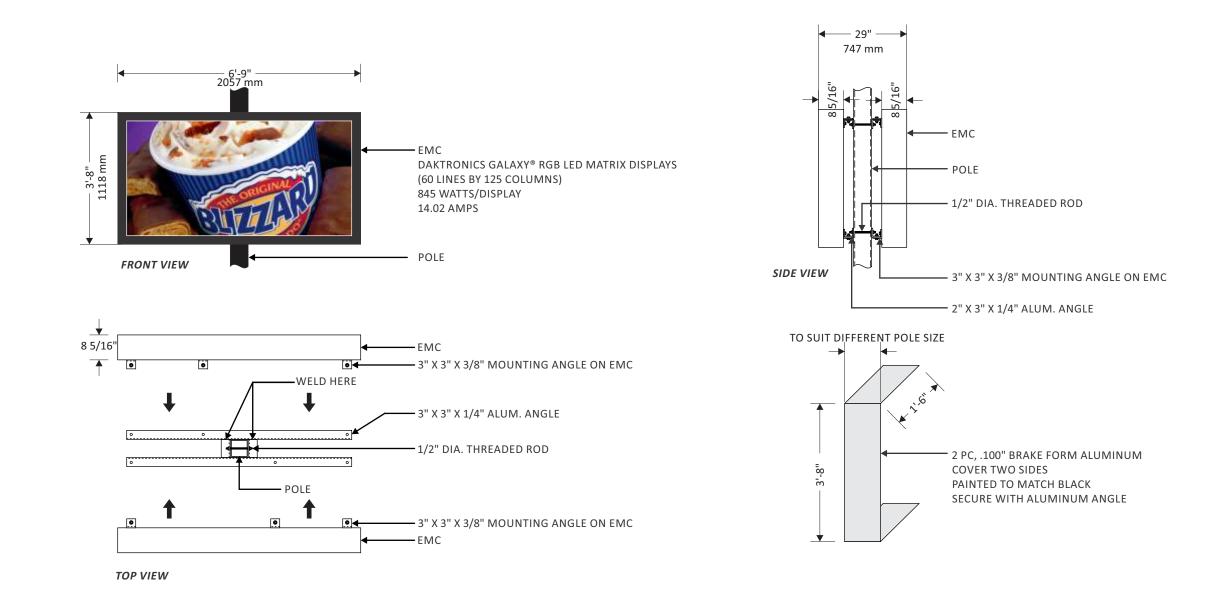
E-3 Page 32 of 35

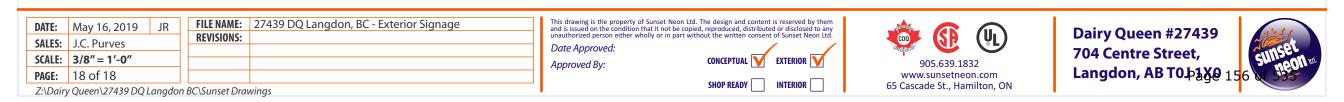


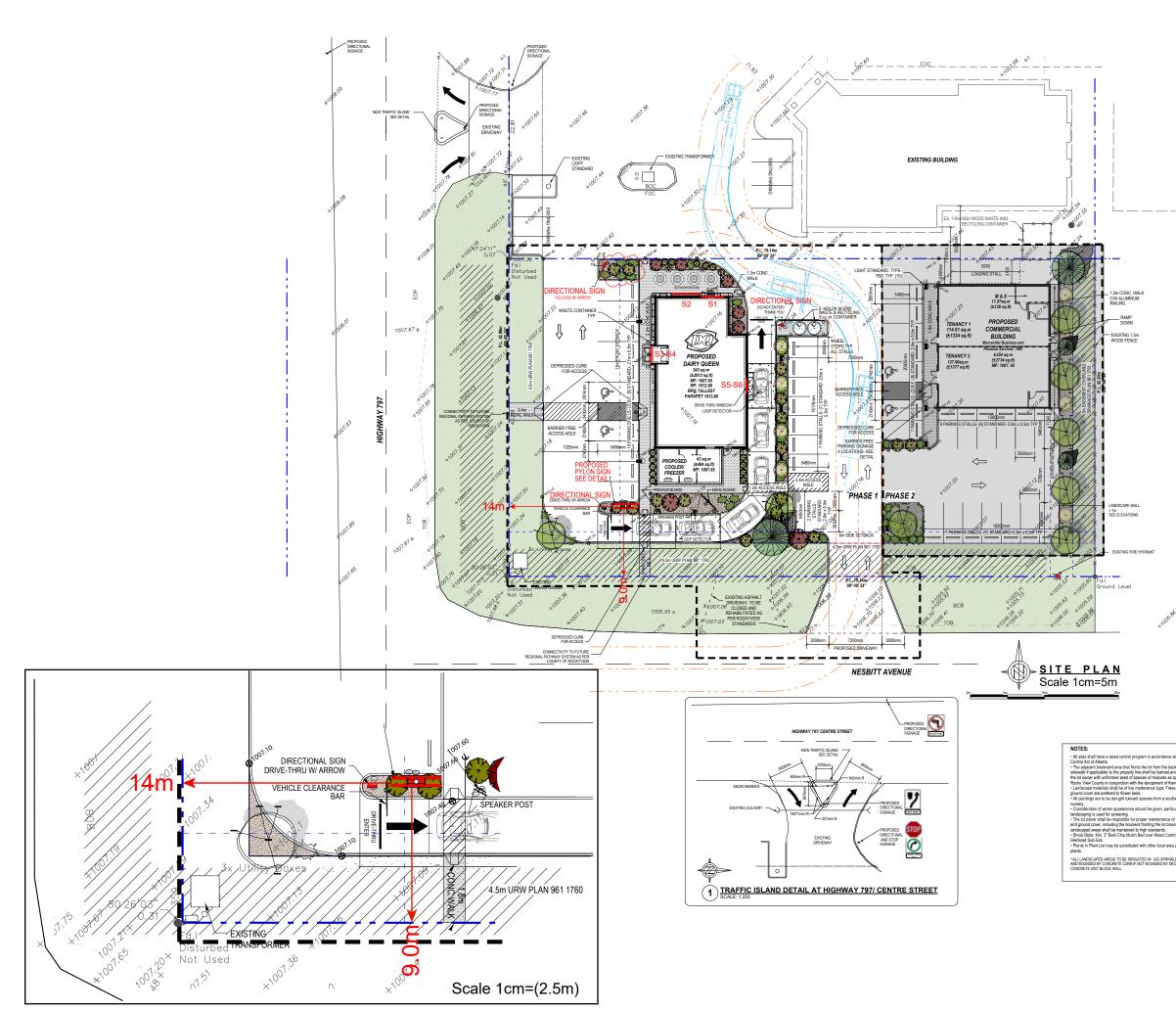
#### E-3 Page 33 of 35



*Z*:\Dairy Queen\27439 DQ Langdon BC\Sunset Drawings

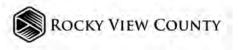






				XK	Page 35 of
SI	TE INI	FORMATION		IS OREPANDES ARE TO BE REPORTED TO THE ARCHITECT PROR TO THE COMMENCEMENT OF ANY WORK	
		RIPTION: CONDO PLAN: UNIT 1 PLAN 001	1878	TOF	
		4 Centre Street Langdon, Alberta ± 3396.72 sq.m. (±36,562 sq.f) (0.839 ac)		EMEN	Rick Balbi Architect Ltd. 5917 - 1"A" Street S.W.
		002- DIRECT CONTROL C-4873-98		ENCE	Calgary, Alberta T2H 0G4 Ph: (403) 253 - 2853 Fax: (403) 253 - 3078
		AGE: 15.89%		MMOS	general@rbalbi.ca
FAR	: 0.158			물	
		NG AREA INFORMATION		- NO	Seal:
PRO	POSED D	AIRY QUEEN COOLER/ FREEZER:	±243 sq.m. (2,613± sq.ft. ± 43 sq.m. (463± sq.ft.	CT PRI	
			±254 sq.m. (2,734± sq.ft. ±540 sq.m. (5,810± sq.ft.	CHITE	
PA	RKIN	IG REQUIREMENTS		le ar	
		REQUIRED:			
N KIN		ONTROL BYLAW C-4873-98: G STALLS REQUIRED: 7 STALLS/ 100 sg.m		RED	Site Services:
VEHICLE PARKING		n/ 100 = 5.4 X 7= 37.8 REQUIRED PARKING ST		EPOF	
	PARKIN	G STALLS PROVIDED: 39 STALLS		BER	
5	WHEEL S	TOPS: ROVIDED AT ALL PROPOSED STALLS		RE TO	
	-MAX. HT. -MIN. 0.60	oF 0.10m m FROM FRONT OF STALL		IES AF	Structural:
PR	RIMAF	Y FIRE ACCESS ROUTE	DESIGN	EPANC	
NOTE:	ACCESS R	DUTE AVAILABLE BUT NOT REQUIRED- 3.2.5.4- < 3 S	Storeys, < 600 sq.m in building area	DISCRE	
		A CATES FIR	E ACCESS ROUTE	ANY	Mechanical:
				INGS:	
	FIRE AC	CESS ROUTE TO CONSIST OF AN ASPHALT DF ED TO SUPPORT 38,556kg LOAD. EMERGENCY	RVEWAY VEHICLE	DRAW	
LA		CAPE		CALE (	Electrical:
LAN	DSCAPIN	G AREA REQUIRED :		NOT SCALE DRAWINGS:	
тот	AL SETB	5 of the Development Area = 339.67 sq ACK AREA:		G	
	SID	E + REAR = FRONT = 1,254.69 sq	. <b>m</b> .		
TRE	E TYPE /	CALLIPER / HEIGHT:			
• De	iciduous tre iciduous tre	es (small)50 mm calliper ees (large)85 mm calliper			
• Co	oniferous tro	ees (small)2 metres height ees (large)3 metres height			
• Sh	irubs 0.6 m	etres height or spread			
TRE	ES REQU	RED:		E E	PROPOSED
1 TF	REE FOR E	EACH 46.0 sq.m. OF SETBACK AREAS 4.69 sq.m. / 46.0 sq.m. = 27.27		NSEN	DAIRY QUEEN
50 %	6 OF THE	REQUIRED NUMBER OF TREES MAY BE		N CO	
SUE	ES, AND	WITH SHRUBS AT A RATIO OF 3 SHRUBS TO SHRUBS TO 1 TREE FOR CONIFEROUS TREE	1 TREE FOR DECIDUOUS S.		
	TRE	ES 27.27 / 2 = 13.6 TREES		I IN	
	60 0	DECIDUOUS : 40 CONIFEROUS RATIO		IHOI	Grill & Chill.
		13.6 x 0.60 = 8.16 DECIDUOUS 3:1 RATIO = 8.16 x 3 = 24.48 DECIDUOUS	SHRUBS	ED M	AND
		13.6 x 0.40 = 5.44 CONIFEROUS 4:1 RATIO = 8.16 x 4 = 32.64 CONIFEROU	SSHRURS	DDUC	COMMERCIAL BUILDING
тот	AL TREES	S / SHRUBS REQUIRED:	o onkobo	REPRO	704 Centre Street
	25 [	IREES DECIDUOUS SHRUBS CONIFEROUS SHRUBS		ORF	Langdon, Alberta
PL	ANT LIST		SIZE	CANNOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT	
K	EY	ITEM	(At time of Planting) No.	DT BE	
6		LARGE CONIFEROUS TREES - Colorado Blue Spruce (Picea Pungens)	4.0m height 2 minimum	SANN	
4				AND	
		SMALL CONIFEROUS TREES - Columnar Spruce (Picea Pungens 'Fastigiata')	3.0m height 2 minimum	Ë	Revisions:
(	)	LARGE DECIDUOUS TREES - Columnar Swedish Aspen (Populus Tremula "Erecta")	minimum 85mm 7 caliper	TECT	MARCH 15, 2017: ISSUED FOR CLIENT REVIEW APRIL 10, 2017: ISSUED FOR DEVELOPMENT PERMIT
_	<u>_</u>			ARCHITECT	May 30, 2017: REVISIONS TO PLANS AS PER COUNTY COMMENTS MAY 5, 2017
-	¥	SMALL DECIDUOUS TREES - Shubert Chokecherry (Prunus Virginiana 'Shubert') - Amur Maple - Pin Cherry	minimum 50mm 8 calliper		
_		DECIDUOUS SHRUBS		RICK BALBI	SUBSEQUENT COMMENTS AND DISSCUSSIONS WITH THE PLANNER ON FILE commercial building foot print reduced, parking revised, landscaping revised
E	3	- Western Sandcherry (Prunie Reseaul)	600mm height 35 minimum	OF RIC	February 7, 2018: REVISIONS AS PER DQ Plans January 25, 2018.
		- Golden Currant (Rbes Aureum) - Ural False Spirea (Sorbifolia Sorbifolia)		RTY C	February 28, 2018: REVISIONS AS PER CIVIL
-	3	- Diablo Ninebark (Physocarpus Opulifolius) - Red Osier Dogwood (Cornus Sericea)	600mm height 7 minimum	EXCLUSIVE PROPERTY	May 1, 2018: Revisions as per Prior to Issuance comments. Phase 1 and 2 delineated. Access Aisle Added.
_	-			NE P	November 28, 2019: Pylon Sign Location Change due to electrical and telus line conflicts at previous location.
# 0	of plantings	CONIFEROUS SHRUBS - Juniper (Juniperous Communis "Alpine Carpet")	600mm spread 37 minimum	CLUS	
4	$\Rightarrow$			Ě	
тот	19 1	S / SHRUBS PROVIDED: TREES		ALL TIMES REMAIN THE	Drawing Title:
	42 0	DECIDUOUS SHRUBS CONIFEROUS SHRUBS		REM	Site Diam
	'ALL TREE	S AND SHRUBS SHOWN ON PLAN ARE SHOWN AT	MATURITY/ FULL GROWTH	] [] [] []	Site Plan
Ī		GRASS/SOD 105816	DENOTES EXISTING		
L. F	142(94)2	X	GRADE DENOTES PROPOSED	AND AT	JOB No. 16-349
-000		MULCH 😵 🔊	DENOTES PROPOSED GRADE		DATE: JAN. 17, 2017
[			- EX. WOOD FENCE	SN ARE,	DRAWN: EF
E		●LS	LIGHT STANDARD- TBD.	DESIGN	
800000		EXPOSED OR STAMPED CONCRETE			ന്തമ
Ē		ASDIALT		THIS PLAN AND	UFU
		ASPHALT 💢	EX. FIRE HYDRANT	I SF	
L					

E-3



## PLANNING AND DEVELOPMENT SERVICES

9

TO: Municipal Planning Commission

DIVISION: 4

SUBJECT: Development Item: Signs

**USE:** Listed DC Use,

**APPLICATION:** Signs, installation of 3 digital signs (menu boards)

**GENERAL LOCATION:** Located in the hamlet of Langdon.

LAND USE DESIGNATION: Commercial, Local Urban District (C-LUD) under Land Use Bylaw C-8000-2020.

**ADMINISTRATION RECOMMENDATION:** Administration recommends Approval in accordance with Option #1.

- OPTIONS: Option #1: THAT Development Permit Application PRDP20203422 be approved with the conditions noted in the Development Permit Report, attached.
- Option #2: THAT Development Permit Application PRDP20203422 be refused as per the reasons noted.

### AIR PHOTO & DEVELOPMENT CONTEXT



DATE: December 10, 2020

APPLICATION: PRDP20203422

6



### **DEVELOPMENT PERMIT REPORT**

Application Date: October 26, 2020	File: 03222109
Application: PRDP20203422	<b>Applicant/Owner:</b> Isabella Cerelli (Pride Signs)/ Jim Pattison Developments Ltd.
<b>Legal Description:</b> Lot 2 Block 1 Plan 1113376, SE-22-23-27-04;	<b>General Location:</b> Located in the hamlet of Langdon
Land Use Designation: Commercial, Local Urban District (C-LUD) under Land Use Bylaw C-8000- 2020.	<b>Gross Area:</b> ± 2.10 hectares (± 5.19 acres)
File Manager: Scott Thompson	Division: 4

#### PROPOSAL:

The proposal is for the installation of three freestanding signs, to include one Pre-Sale Sign and two digital menu boards. All signs will have a digital display and include an animated LED portion. The proposed display time for each slide is 8-10 seconds. The proposed light output is 300 nits, from sunrise to sunset.

The signage is associated with the Tim Horton's business (PRDP20141414) on site and would replace the existing standard menu signs that already exist on site.

### FREESTANDING SIGNS

#### Signage Details:

- Digital Pre-Sale Board
  - o Overall height: 1.84 m (6.06 ft.)
  - o Overall width: 621 mm (2.03 ft.)
  - o Overall depth: 172 mm (0.56 ft.)
    - Digital LED Sign portion:
      - Height: 1.07 m (3.52 ft.)
      - Width: 621 mm (2.03 ft.)
      - Area: 0.67 sq. m (7.17 sq. ft.)
- Two Digital Menu Boards
  - Overall height: 1.84 m (6.06 ft.)
  - Overall width: 1.87 m (6.12 ft.)
  - o Overall depth: 172 mm (0.56 ft.)
    - Digital LED Sign portion:
      - Three panels (0.67 sq. m / 7.17 sq. ft. each)
      - Height: 1.07 m (3.52 ft.)
      - Width: 1.87 m (6.12 ft.)
      - Area: 2.00 sq. m (7.17 sq. ft.)

Land Use Bylaw Requirements (C-8000-2020):

Section 151 Signage General Requirements:



Section 152 Signage Site Requirements:

Section 153 Signage Development Permit Requirements:

#### Digital Displays

Section 212 Digital Display General Requirements

Section 212.1 Digital Display Site Requirements:

Section 212.2 Digital Display Development Permit Requirements

#### Property History:

Development Permits:

PRDP20191896	Tenancy and signage for a dental office.
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- PRDP20180528 Restaurant and Drinking Establishment (existing building), construction of an exterior entrance and patio within an existing parking area.
- PRDP20174906 Tenancy and signage for pizza service and a lounge.
- PRDP20174919 Liquor Sales (existing building), tenancy and signage for a liquor store.
- PRDP20172504 Restaurant and Drinking Establishment (existing building), tenancy and signage for pizza service and a lounge.
- PRDP20161408 Health Care Services and Retail Store (existing building), expansion of an existing medical clinic and pharmacy.
- PRDP20144010 Liquor Sales (existing building), tenancy and signage for a liquor store.
- PRDP20141878 Health Care Services and Retail Store (existing building), tenancy and signage for a medical clinic and pharmacy.
- PRDP20141414 Restaurant (existing building), tenancy and signage for Tim Horton's.
- 2013-DP-15474 Stripping and Grading (1 lot) in accordance with site works required for 2013-DP-15286.
- 2013-DP-15286 Grocery Store, Retail Store, Personal Service Business and Restaurant and construction of four (4) buildings including Site Grading and Signage.

Planning Applications:

2007-RV-245 Snyrgy Bri-Mor subdivision to create 3 new lots.

### STATUTORY PLANS:

The subject lands are located within the Langdon Area Structure Plan. The ASP gives direction on this sort of application through policy 9.9, that states "Highway commercial development shall be attractively designed and address Rocky County's Commercial, Office and Industrial guidelines, and the Langdon Centre Street Corridor Design Guidelines." Additionally, The County's Commercial, Office and Industrial Guidelines provide guidance on application through policy 5.2. As such, this application was evaluated using the Land Use Bylaw (C-8000-2020).



### **INSPECTOR'S COMMENTS:**

Inspection date: October 30, 2020

- No screening from road
- Replacing existing, non-illuminated signs.
- Could pose a safety issue for drivers along centre street.

#### CIRCULATIONS:

#### **Building Services**

• No concerns with signs.

#### Fire Services and Emergency Management:

• No response received.

#### Development Compliance, Rocky View County

• No comments received

#### Planning and Development Services – Engineering Review

• No concerns.

#### <u>Utilities</u>

• No concerns.

### **OPTIONS**:

Option 1: (this would allow the proposed development)

APPROVAL, subject to the following conditions:

#### **Description:**

- 1. That *Signs*, may be placed on the subject property in general accordance with the site plan and signage details, as prepared by Pride Signs; dated September 20, 2020, submitted with the application:
  - i. Three free standing signs freestanding signs; all digitally illuminated. The Pre-sale sign approximately 0.67 sq. m (7.17 sq. ft.) in area and the menu board approximately Area: 2.00 sq. m (7.17 sq. ft.).
    - a) LED digital signs shall not be more than 300 nits from sunrise to sunset.
    - b) Digital sign shall be multi-colour, full colour board;
    - c) Digital signs to have static cop withhold time of a minimum of six seconds or more; no moving or flashing images.
- 2. That the signs shall be maintained in accordance with the design drawings and site plan as submitted with the application.

#### Permanent:

- 3. That the signs shall be kept in a safe, clean and tidy condition at all times.
- 4. That the signs shall be maintained in accordance with the design drawings and site plan as submitted with the application.
- 5. The LED signs shall be equipped with an ambient light detector.



- 6. The LED signs shall be multi-colour, full colour boards;
- 7. That the LED signs shall not display any moving, flashing or animated images and shall not otherwise give the appearance of animation or movement;
  - i. That any images or transitions between images shall not be displayed using any visible effects, including but not limited to action, motion, fading in and out, dissolving, blinking, intermittent or flashing light, or the illusion of such effects.
  - ii. That any copy displayed on the LED signs shall not be shown in a manner that requires the copy to be viewed or read over a series of sequential copy messages on a single digital display, or sequenced on multiple digital displays
- 8. A digital display shall not increase the light levels adjacent to the digital display by more than 3.0 LUX above the ambient light level.
- 9. The LED signs shall at no time display an image or any transition between images in such a way as to be potentially distracting to drivers, the identification of a potentially distracting image or image transition shall be at the sole discretion of the development authority.
- 10. The light output of the LED signs shall be set in accordance with the following maximum luminance levels when measured from the sign face at its maximum brightness:
  - iii. From sunrise to sunset: 7500 Nits.
  - iv. From activation to sunrise: 300 Nits.
  - v. From sunset to deactivation: 300 Nits.
- 11. The electrical power supply to the LED Signs shall be provided underground on the subject parcel.
- 12. That if any component on the signs fails or malfunctions in any way, or fails to operate as indicated on the approved development permit plans, the sign shall be turned off until all components are fixed and operating as approved.

#### Advisory:

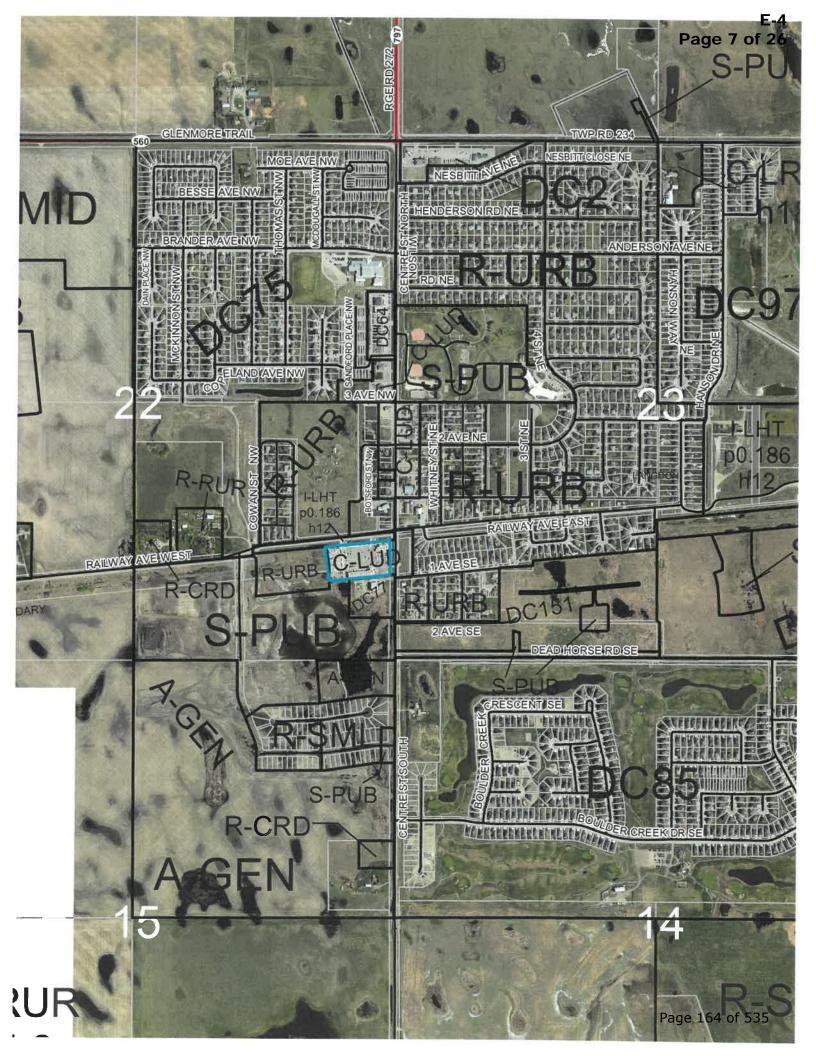
- 13. That all other government compliances and approvals are the sole responsibility of the Applicant/Owner.
- 14. That if the development authorized by this Development Permit is not commenced with reasonable diligence within 12 months from the date of issue, and completed within 24 months of the issue, the permit is deemed to be null and void, unless an extension to this permit shall first have been granted by the Development Officer.

Option 2: (this would not allow the proposed development)

REFUSAL, for the following reasons:

1. In the opinion of the Municipal Planning Commission, the development unduly interferes with the amenities of the neighbourhood and materially interferes with and affects the use, enjoyment, and value of neighbouring parcels of land.





			FOI	R OFFICE USI	E ONLPag	e 8 of
ROCKY VIEW COL	JNTY		APPLICATION NO.			
•			ROLL NO.			
DEVELOPMENT PER	2MIT		RENEWAL OF			
APPLICATION			FEES PAID			
AFFLICATION			DATE OF RECEIPT			
APPLICANT/OWNER						
Applicant Name:						
Business/Organization Name (if applic	cable):					
Landowner Name(s) per title (if not the	e Applicant):					
Business/Organization Name (if applic						
LEGAL LAND DESCRIPTION - Subje	ect site					
All/part of: 1/4 Section:	Township:	Range:	West of:	Meridian	Division:	
•	Block:	Plan:	west of.	Parcel Size		
All parts of Lot(s)/Unit(s):	DIUCK.	Plan.	Land Llas Distri		e (ac/na).	
Municipal Address:			Land Use Distri	CI:		
APPLICATION FOR - List use and sc	оре от work					
	S 🗆 NO 🗆 N/A		DP Checklis	st included:		
a. Oil or gas wells present on or	within 100 metres o	f the subject prope	arty(s)		□ YES	
b. Parcel within 1.5 kilometres of	f a sour gas facility (	well, pipeline or pla			□ YES	□ NO
c. Abandoned oil or gas well or p			l l- for l )		□ YES	□ NO
<ul> <li>(Well Map Viewer: <u>https://extma</u></li> <li>d. Subject site has direct access</li> </ul>				dway)		
AUTHORIZATION	•	<u> </u>	•	3,		
l,		(Full name in Bloc	k Capitals) <b>here</b>	by cortify (i	initial belov	۷۷).
', That I am the registered owne						•).
That the information given o	n this form and rel	ated documents,			to the be	st of my
knowledge, a true statement o	-					4 - 4'
That I provide consent to the p submitted/contained within thi collected in accordance with s	s application as part	t of the review proc	cess. I acknowled	lge that the	informatio	
<b>Right of Entry:</b> I authorize/ac purposes of investigation and Municipal Government Act.						
Applicant Signature		Landov	vner Signature_			
		Lundo				
Date			Dale_			<del></del>

ROCKY VIEW COUNTY

		DEVELOPMENT PERMIT APPLICATION CHECKLIST - GENERAL
Se	lect [	All plans shall be submitted as one (1) legible hard copy and in DIGITAL form (pdfs)
	APP	LICATION FORM(S) AND CHECKLIST: All parts completed and signed.
	APP	LICATION FEE: Refer to Planning and Development Fee Schedule within the Master Rates Bylaw.
	CUF	RENT LAND TITLES CERTIFICATE COPY - dated within 30 days of application, and:
	0	Digital copy of non-financial instruments/caveats registered on title
	App	<b>TER OF AUTHORIZATION:</b> Signed by the registered landowner(s) authorizing person acting on behalf (if not the icant). If registered owner on title is a company, authorization to be provided on a company letterhead <u>or</u> as an avit (signed by a Commissioner of Oaths).
	COV	/ER LETTER, shall include:
	0	Proposed land use(s) and scope of work on the subject property
	0	Detailed rationale for any variances requested
	0	For businesses - Complete operational details including days/hours of work, number of employees, parking provisions, types of vehicles, outdoor storage areas, site access/approach, traffic management, etc.
	0	Reference to any Supporting Documents, images, studies, plans etc. provided within application package
		PLAN, shall include:
	0	Legal description and municipal address
	0	North arrow
	0 0	Property dimensions (all sides) Setbacks/dimensions from all sides of the property line(s) to existing/proposed buildings, structures (cantilevers,
	_	decks, and porches), outdoor storage areas etc.
	0	Dimensions of all buildings/structures
	0	Location and labels for existing/proposed approach(s)/access to property
	0	Identify names of adjacent internal/municipal roads and highways
	-	Identify any existing/abandoned/proposed oil wells, septic fields/tanks, or water wells on site, including their distances to existing/proposed buildings
	0	Identify any existing/proposed site features such as trees, shelterbelts, canals, waterbodies, etc.
	0	Identify site slopes greater than 15% and distances from structures
_	0	Location and labels for easements and/or rights-of-way on title
		OR PLANS/ELEVATIONS, shall include:
	0	Overall dimensions on floor plans for all buildings/structures (for new construction, additions, renovations etc.)
	0	Indicate floor area and existing/proposed uses on floor plans and height(s) on elevations
	0	Indicate type of building/structure on floor plans and elevations
		<b>.OUR PHOTOGRAPHS (Min. 3) - one hard and digital copy:</b> Of existing site, building(s), structure(s), signage, site ures, taken from all sides including surrounding context, and when existing floor plans/elevations are not available
	prop	<b>PORTING DOCUMENTS (as applicable):</b> Include technical studies/reports and any additional plans relating to the osed development (lot grading, site lighting, storm water management plans etc.). Refer to the Land Use Bylaw for or district specific requirements.
		FOR OFFICE USE ONLY
Propo	sed L	Use(s): Land Use District:
Applic	able	ASP/CS/IDP/MSDP:
Includ	ed wi	thin file: 🛛 Information Sheet 🔹 🗆 Parcel Summary 👘 Site Aerial 🔅 Land Use Map Aerial 🗔 Site Plan
NOTE	S:	
		Staff Signature:



## **SIGNAGE - GENERAL**

**INFORMATION SHEET** 

FOR OFFICE USE ONLY					
APPLICATION NO.					
ROLL NO.					
DISTRICT					

SIC	GN DETAILS	SIGN 1	SIGN 2	SIGN 3	SIGNAGE LIST
Located on or off-site?					Sign Type:
Indicate Sign Type:					Awning/Canopy
Area of	sign (m²/ft.²)				Billboard
Length	of sign (m / ft.)				Digital Display
Width o	of sign (m / ft.)				• Fascia
	from grade to				Freestanding
	of sign (m/ ft.)				Inflatable
	e Sign Purpose:				Portable
	ed to: structure, g, or vehicle?				Projecting
	-				Roof
Method	l of support				Purpose of Sign:
					Advertisement
Sign ma	aterial				Directional
0:					Information
	uminated?				
			lage - Digital Displays	s Information Sneet	along with this form.
	FIC SITE PLAN RE		Observation Company in		if a namial all t
-			Checklist - General r		if provided):
	U U		to property boundarie	0	un tumpo)
	-		istinct sign if present o		
	-		and service lines, and/ oadway, and/or back c		,
	-				)
	LEVATIONS AND				
-			ral requirements (sel	. ,	
		-	ttom of sign (for awing		nd projecting signs)
	-		ucture, building, or veh	,	
Design samples/digital sketches including		0 0	ture, dimensions etc.		
	□ Type of sign construction and finishing to be utilized				
		e proposed site show proposed sign locatior	ving adjacent propertie າ	s and signs within ap	proximately 30.0 m
	Photographs of si	te and structure(s)/bu	uilding(s) identifying pro	oposed sign location	
			or digital signage, <u>Sigr</u> 212 of the Land Use B		<u>s Information Sheet</u> to be
Refer t	o Section 92(r) of	the Land Use Bylav	w C-8000-2020 for sig	ns not requiring a d	levelopment permit.
Defense					

Refer to Signage regulations under Sections 151-153 and 212-224 for sign specific requirements.

Applicant Signature \_\_\_\_\_



FOR OFFICE USE ONLY

, (Applicant/Owner) propose to install a Digital Display sign (address), and confirm compliance to Section 212 Digital

APPLICATION NO.

ROLL NO. DISTRICT



## SIGNAGE - DIGITAL DISPLAYS

	СПЕЕТ
INFORMATION	SHEEL

#### CONTACT DETAILS

Full name of person with technology controls of the sign:

Business name (if applicable):

#### **GENERAL AND SITE REQUIREMENTS**

.,, (, , phion	na e mier, proposo to motan a Bighar Biophay t
at(address)	), and confirm compliance to Section 212 Digit
Display, Land Use Bylaw C-8000-2020 requirements, as follows:	
GENERAL REQUIREMENTS:	
☐ The digital display will be static and remain in place for a minimum	of 6.0 seconds before switching to the next copy.
Proposed display time for each slide/copy: se	conds
□ The maximum transition time between each digital copy will not exc	eed 0.25 seconds.
Proposed transition time:seconds	

I.

□ The digital display will not use full motion video or otherwise give the appearance of animation or movement.

The transition between each digital copy will not be displayed using any visible effects, including but not limited to action, motion, fading in and out, dissolving, blinking, intermittent or flashing light, or the illusion of such effects.

Copy will not be shown in a manner that requires the copy to be viewed or read over a series of sequential copy messages on a single digital display, or sequenced on multiple digital displays.

□ The digital display will be equipped with an ambient light sensor.

□ The digital display will not increase the light levels adjacent to the digital display by more than 3.0 LUX above the ambient light level.

□ The light output of a digital display is **proposed at**\_ Nits, from sunrise to sunset, in accordance with the maximum luminance levels under Section 212(i) when measured from the sign face at its maximum brightness in this Residential/Business/Commercial/Industrial/Other: district.

□ If any component on the sign fails or malfunctions in any way, or fails to operate as indicated on the approved development permit plans, the sign will be turned off until all components are fixed and operating as required.

- The back of the digital display and all cut-outs will be enclosed.
- □ The space between the faces of a double-faced digital display will be enclosed.

#### SITE REQUIREMENTS:

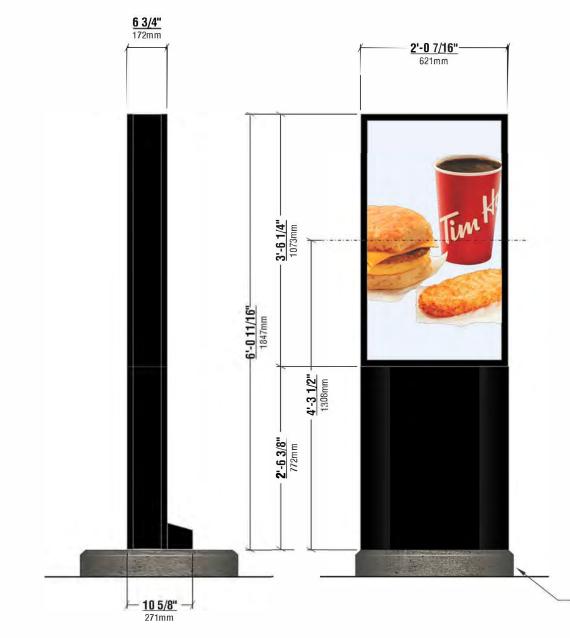
- □ Where a digital display is visible from and located within 125.0 m (410.11 ft.) of a building containing a Dwelling Unit, the sign will not operate, or will only display a black screen between 10 p.m. and 7 a.m.
- □ The electrical power supply to a digital Message Sign will be provided underground.
- A digital display is located at least 300.0 m (984.25 ft.) from another digital display.
- □ Trees required under an approved development permit will not be removed or altered in any way to accommodate the placement or visibility of a digital display.
- □ The lighting or orientation of a digital display shall not adversely affect any neighbouring residential areas.

Specification Requirement: Has a detailed specification sheet/operating standards from the manufacturer (identifying both the NITS and dimming option for night time hours) been provided? 
VES, included in application package 
NO

#### VARIANCE(S) REQUESTED

List any variances requested on above requirements. Variance rationale letter must be attached:

Applicant Signature



#### **Material Specifications**

- 1. Internal frame materials: Steel, powder coated Pantone 425 (Matte Grey)
- 2. External covers: Aluminum power coated Pantone 2479CP (Matte Black)
- 3. External perimeter trim: Aluminum power coated Pantone 425 (Matte Grey)
- 4. Digital display equipment: Samsung outdoor display model OH46F

#### Power & Data Requirements

Power supply: 120v Single Phase 60HZ 20A
 Data feed: CAT6 cable with RJ45 Termination

#### TOTAL CABINET AREA = .67m2

May 21, 2020 8:21 AM **B. Guse** REVISED DIMS TO STRUCTURAL

**F**-4

Drawing No. OM467-Single Display

**Electrical Requirements** 

Sign 1

Structural Reference: TIMS -MB105240.150A1

120v

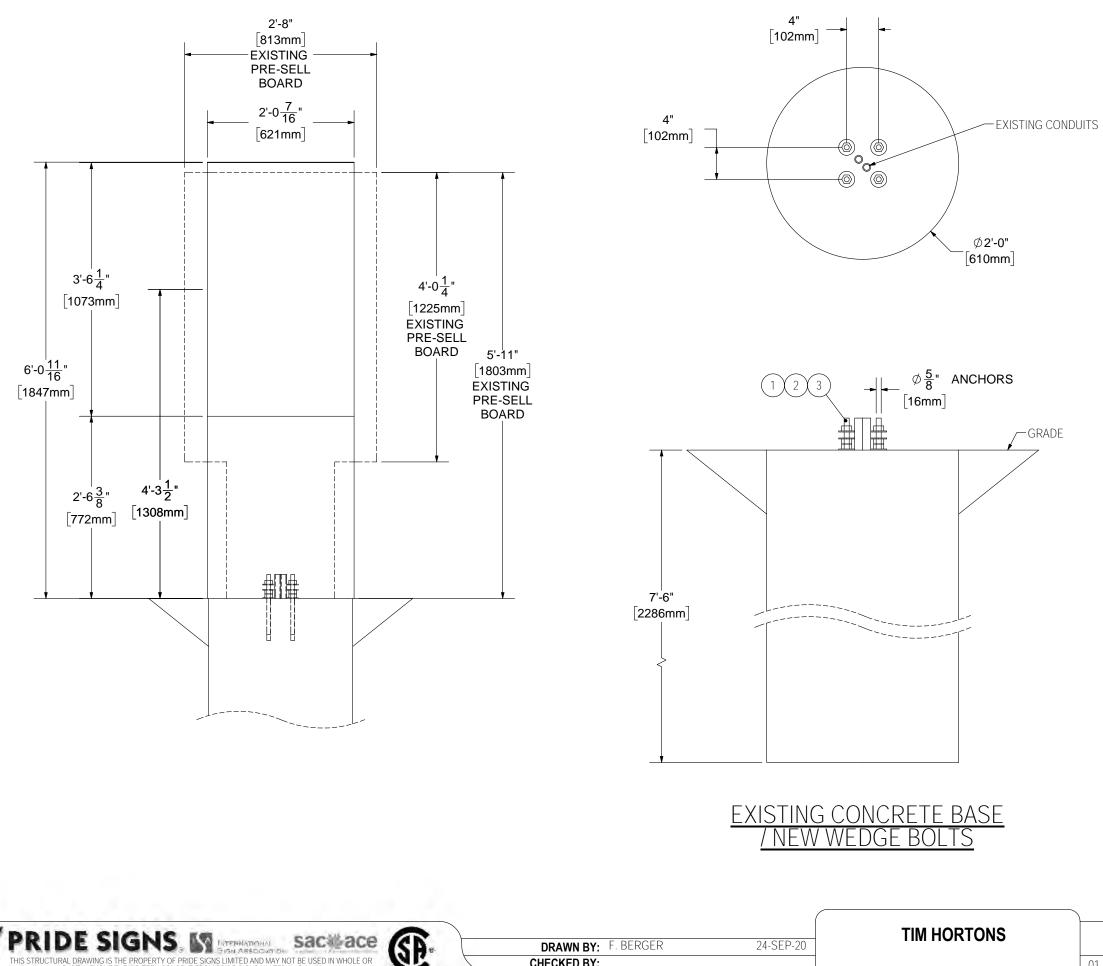
As per structural drawing (Site Specific)

Preliminary Artwork
Approved for Production





DRAWN BY: T. Dodge DATE: October 31, 2019 Graphic rendition is representative of specific signage. Colour / dimensional / material details should be verified using reterence drawing specifications. Pride Signs Ltd. is not responsible for inherent variations caused by display arPagge 1169 of 535



CHECKED BY:

TOTAL AMP DRAW:

US

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THIS STRUCTURAL DRAWING IS THE PROPERTY OF PRIDE SIGNS LIMITED AND MAY NOT BE USED IN WHOLE OR PART WITHOUT THE WRITTEN CONSENT FROM PRIDE SIGNS LIMITED. ©2018

255 PINEBUSH ROAD, CAMBRIDGE, ON, CANADA NIT 1B9 - TEL: 519.622.4040 - WWW.PRIDESIGNS.COM

CUT FILE:

#### E-4 TIMS-MB105240.150 A1 E-4 SHEET #: 1 OF 1 Page 13 of 26 PART QTY DESCRIPTION LENGTH BOI T147 4 5/8" x10" WEDGE BOLT

	DOETTI		NO XIO NEBGE BOEI			
2	NUT049	12	5/8" STEEL HEX NUT - GRADE 5			
3	WASH056	12	Ø5/8" STEEL WASHER			
4	PLY002	1	ROUTED PLYWOOD PATTERN	1'-8"		
	ITEM #4 NOT SHOWN					

#

EXISTING PRE-SELL BOARD AREA = 13.61 SF NEW PRE-SELL BOARD AREA = 12.42 SF

## \*\*\* EXISTING BOLT S CAN BE USED IF MATCHED TO NEW PRE-SELL DISPLAY 3/4"x2 3/4"x9 1/2" \*\*\*

## WEDGE BOLT INSTALLATION PROCEDURE

- CUT ANY EXISTING BOLTS FLUSH TO GRADE -DRILL  $arrow \frac{5}{8}$ " HOLE - 7" INTO EXISTING CONCRETE USING PLYWOOD PATTERN PROVIDED -BLOW OUT HOLE / CLEAN HOLE -PLACE WEDGE BOLTS INTO DRILLED HOLES -PLACE WASHER AND NUT -TIGHTEN INTO PLACE - MIN 4" ABOVE GRADE -MINIMUM EMBEDMENT OF 5.625" BELOW TOP OF BASE

### **DESIGN NOTES:** LOADS AS PER ABC - 2014 FOR LANGDON, AB AREA:

WIND q(1/50) = 0.48 kPa SNOW Ss = 1.1 kPaSr = 0.1 kPa

## ODMB, 46" SINGLE PRE-SELL DISPLAY

01 RELEASED FOR PERMIT

Page 196 of 535-20 WEIGHT: 291 LBS



sacwace

1984 (5.1+6.26.046647+ OF PRICE SIGNS UT LANC MAY NOT EE USED IN WHOLE OF IN SART WITHOUT WRITTEN CONSENT FROM PRIDE SIGNS UT 🕲 2019

255 PINEBUSH ROAD CAMBRIDGE ONTARIO CANADA TEL: 519.622.4040 FAX: 519.622.4031 WWW.PRIDESIGNS COM

Drawing No. OM461 Striple Display **Electrical Requirements** 120

#### Sign 2 & 3

Structural Reference: TIMS\_-MB105240.150B1

1. Internal frame materials: Steel, powder coated Pantone 425 (Matte Grey)

- 2. External covers: Aluminum power coated Pantone 2479CP (Matte Black)
- 3. External perimeter trim: Aluminum power coated Pantone 425 (Matte Grey)

DRAWN BY: T. Dodge

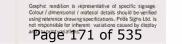
DATE: October 31, 2019

4. Digital display equipment: Samsung outdoor display model OH46F (3)



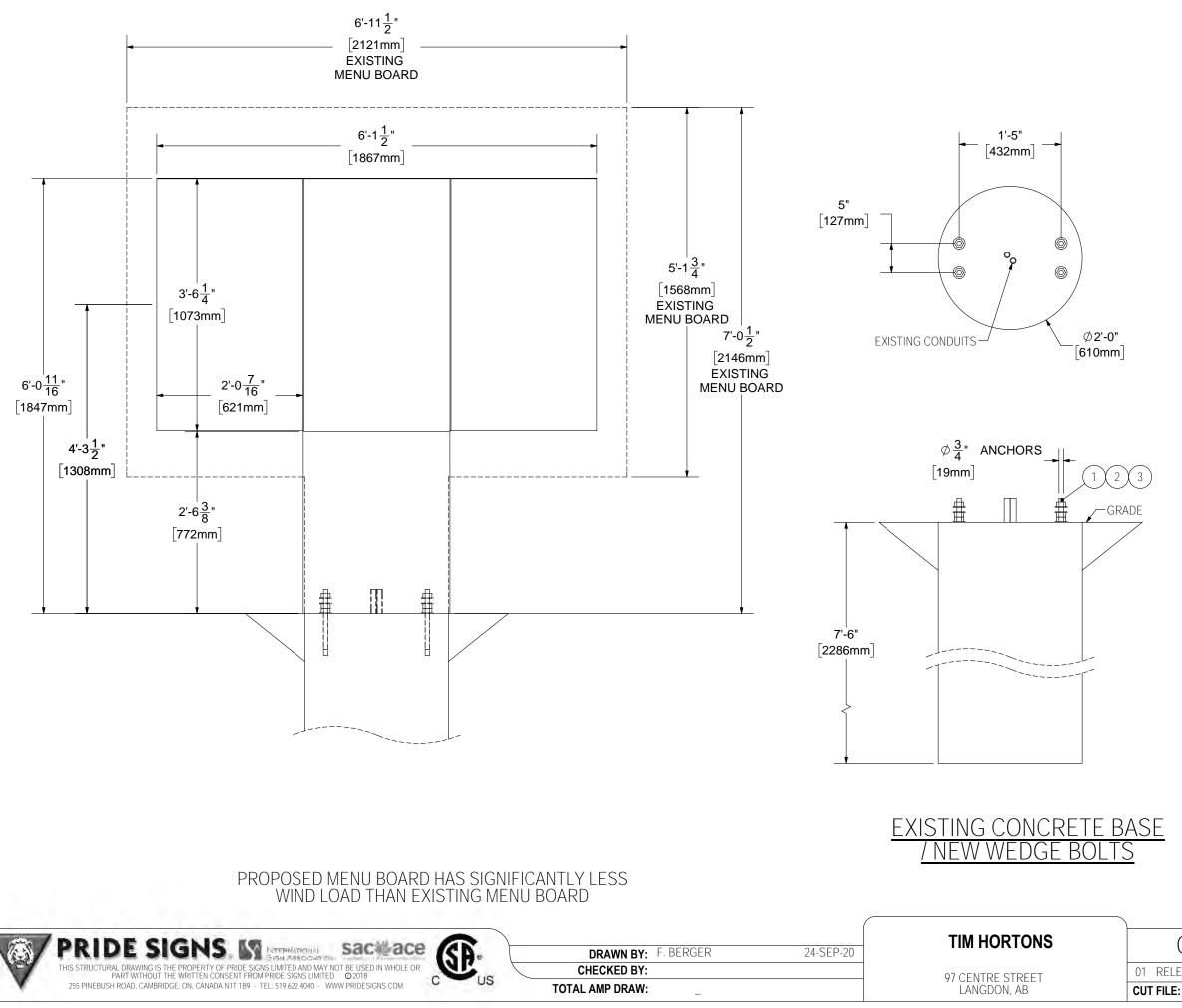
May 21, 2020 8:23 AM B. Guse REVISED DIMS TO STRUCTURAL

Preliminary Artwork Approved for Production





**F-4** 



		TIN	IS-MB105240.150 B1 SHEET #: 1 OF 1 Page 15	E-4 5 of 26	
#	PART	QTY	DESCRIPTION	LENGTH	
1	BOLT146	4	3/4" x10" WEDGE BOLT		
2	NUT011	12	3/4" STEEL HEX NUT - GRADE 5		
3	WASH047	12	Ø3/4" STEEL WASHER		
4	PLY002	1	ROUTED PLYWOOD PATTERN	1'-8"	
	ITEM #4 NOT SHOWN				

EXISTING MENU BOARD AREA = 39.6 SF NEW MENU BOARD AREA = 27 SF

# \*\*\* EXISTING BOLT S CAN BE USED IF MATCHED TO NEW MENU BOARD DISPLAY 3/4"x2 3/4"x13 1/4" \*\*\*

## WEDGE BOLT INSTALLATION PROCEDURE

- CUT ANY EXISTING BOLTS FLUSH TO GRADE -DRILL Ø 3/4" HOLE - 7" INTO EXISTING CONCRETE USING PLYWOOD PATTERN PROVIDED -BLOW OUT HOLE / CLEAN HOLE -PLACE WEDGE BOLTS INTO DRILLED HOLES -PLACE WASHER AND NUT -TIGHTEN INTO PLACE - MIN 4" ABOVE GRADE -MINIMUM EMBEDMENT OF 5.625" BELOW TOP OF BASE

### **DESIGN NOTES:** LOADS AS PER ABC - 2014 FOR LANGDON, AB AREA:

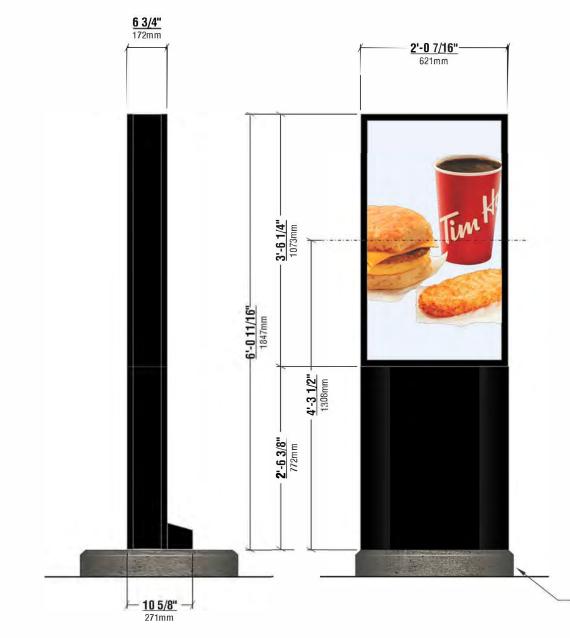
WIND q(1/50) = 0.48 kPa SNOW Ss = 1.1 kPaSr = 0.1 kPa

## ODMB, 46" TRIPLE MENU DISPLAY

01 RELEASED FOR PERMIT

Page 172 of 535-20 WEIGHT: 584 LBS

**PRIDE SIGNS** 



SP (4)

sacwace

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255 PINEBUSH ROAD CAMBRIDGE ONTARIO CANADA TEL: 519.622.4040 FAX: 519.622.4031 WWW.PRIDESIGNS COM

#### **Material Specifications**

- 1. Internal frame materials: Steel, powder coated Pantone 425 (Matte Grey)
- 2. External covers: Aluminum power coated Pantone 2479CP (Matte Black)
- 3. External perimeter trim: Aluminum power coated Pantone 425 (Matte Grey)
- 4. Digital display equipment: Samsung outdoor display model OH46F

#### Power & Data Requirements

Power supply: 120v Single Phase 60HZ 20A
 Data feed: CAT6 cable with RJ45 Termination

#### TOTAL CABINET AREA = .67m2

May 21, 2020 8:21 AM **B. Guse** REVISED DIMS TO STRUCTURAL

As per structural drawing (Site Specific)

Preliminary Artwork
Approved for Production



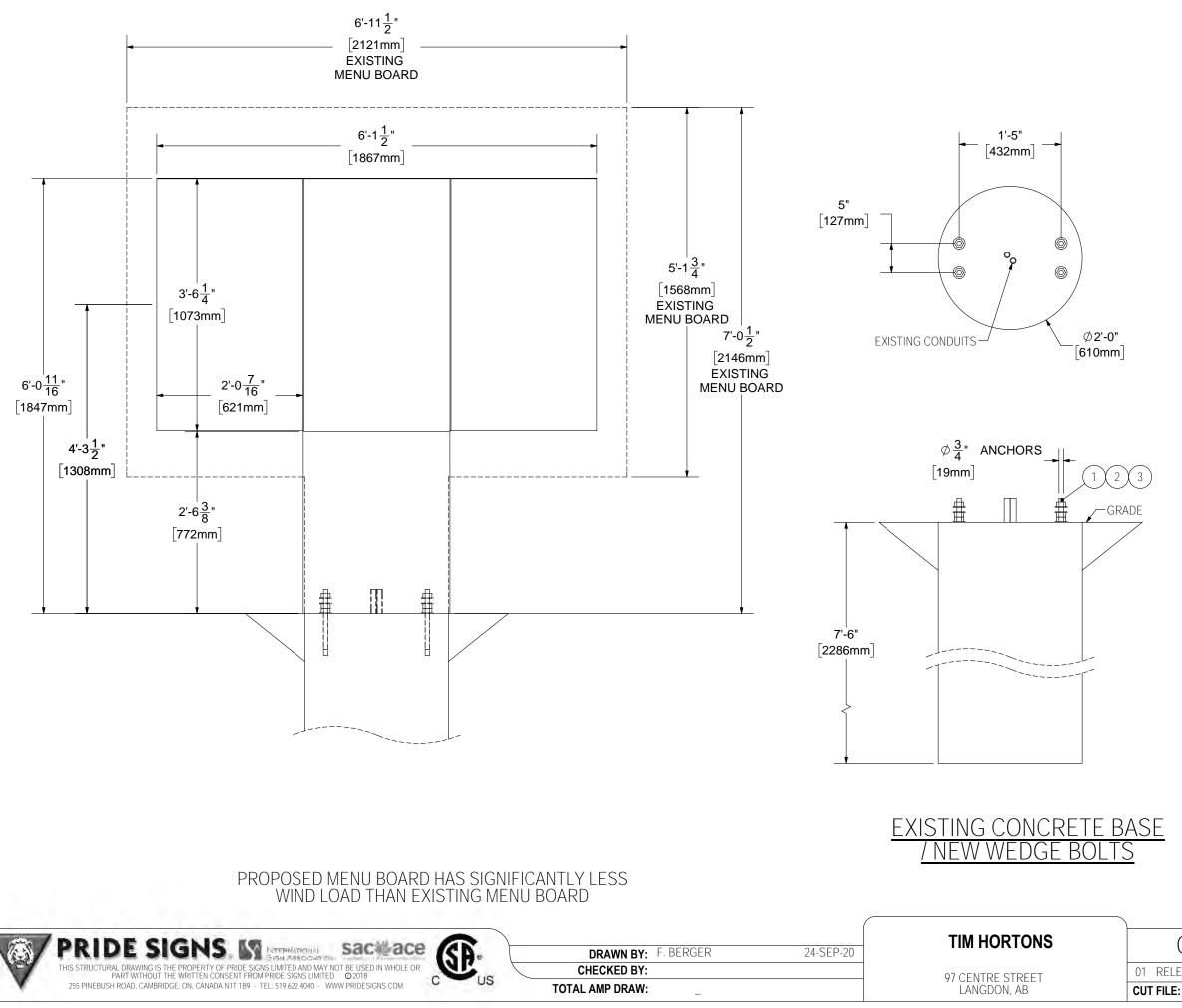
DRAWN BY: T. Dodge DATE: October 31, 2019 Graphic rendition is representative of specific signage. Colour / dimensional / material details should be verified using reterence drawing specifications. Pride Signs Ltd. is not responsible for inherent variations caused by display arPagge usial 1573 of 535



Electrical Requirements

Sign 1

Structural Reference: TIMS -MB105240.150A1



	TIMS-MB105240.150 B1 E-4 SHEET #: 1 OF 1 Page 17 of 26				
#	PART	QTY	DESCRIPTION	LENGTH	
1	BOLT146	4	3/4" x10" WEDGE BOLT		
2	NUT011	12	3/4" STEEL HEX NUT - GRADE 5		
3	WASH047	12	Ø3/4" STEEL WASHER		
4	PLY002	1	ROUTED PLYWOOD PATTERN	1'-8"	
	ITEM #4 NOT SHOWN				

EXISTING MENU BOARD AREA = 39.6 SF NEW MENU BOARD AREA = 27 SF

# \*\*\* EXISTING BOLT S CAN BE USED IF MATCHED TO NEW MENU BOARD DISPLAY 3/4"x2 3/4"x13 1/4" \*\*\*

## WEDGE BOLT INSTALLATION PROCEDURE

- CUT ANY EXISTING BOLTS FLUSH TO GRADE -DRILL Ø 3/4" HOLE - 7" INTO EXISTING CONCRETE USING PLYWOOD PATTERN PROVIDED -BLOW OUT HOLE / CLEAN HOLE -PLACE WEDGE BOLTS INTO DRILLED HOLES -PLACE WASHER AND NUT -TIGHTEN INTO PLACE - MIN 4" ABOVE GRADE -MINIMUM EMBEDMENT OF 5.625" BELOW TOP OF BASE

### **DESIGN NOTES:** LOADS AS PER ABC - 2014 FOR LANGDON, AB AREA:

WIND q(1/50) = 0.48 kPa SNOW Ss = 1.1 kPaSr = 0.1 kPa

## ODMB, 46" TRIPLE MENU DISPLAY

01 RELEASED FOR PERMIT

Page 174 of 535-20 WEIGHT: 584 LBS



## E-4 Page 19 of 26



### E-4 Page 20 of 26









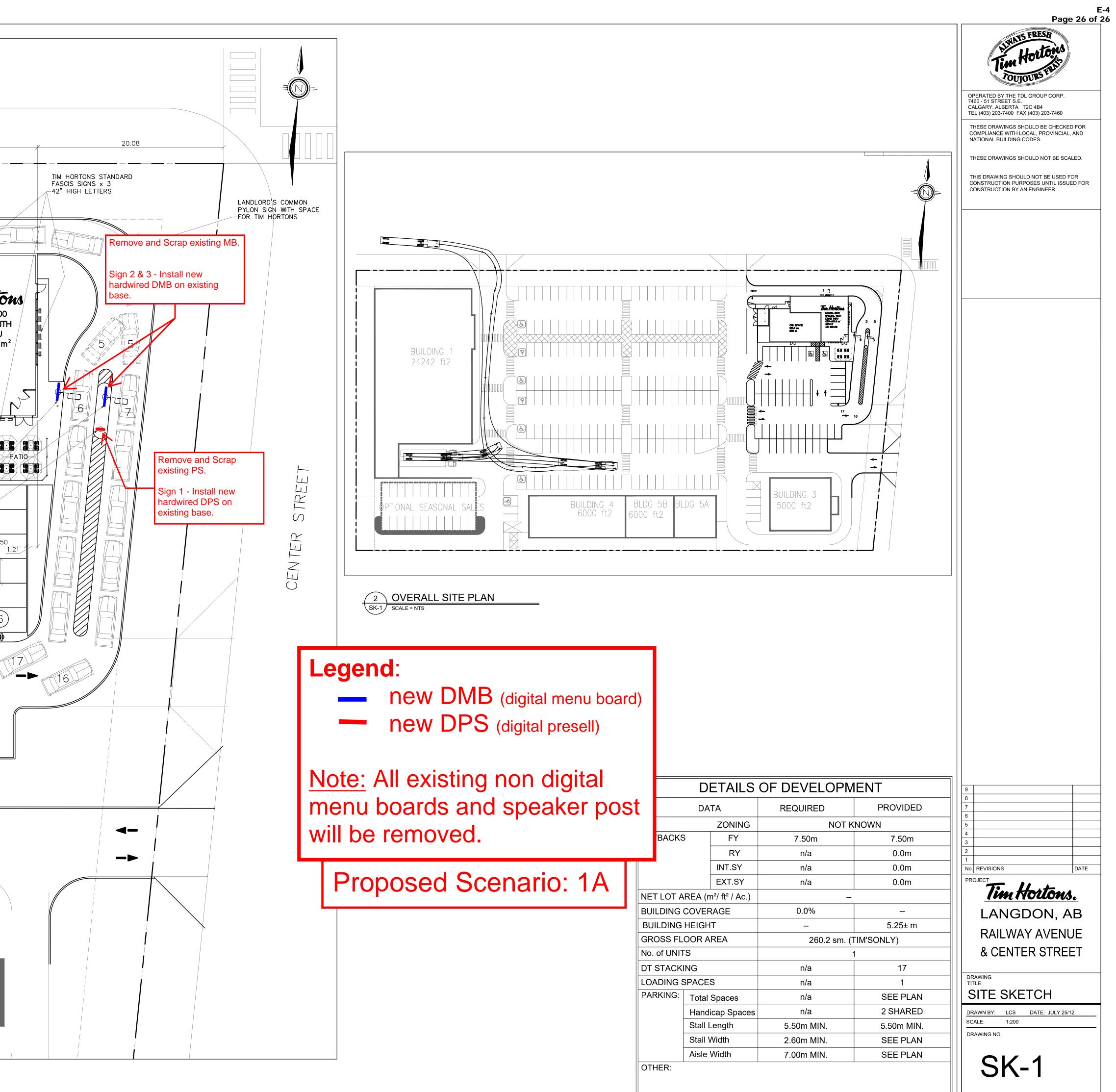
## E-4 Page 24 of 26



E-4 Page 25 of 26



RAILWAY AVENUE 7.41 22.25 7.79 8.75  $\rightarrow$  — DIRECTIONAL SIGN-<u>== piq = =</u> 4.65 Tim Hortons M GARBAGE ENCLOSURE MODEL 2800 SPECIAL WITH DRIVE THRU GFA-260.2 m ╤┉≻ 2800 ft<sup>2</sup> CRU SPACE ±50 SEATS 233.5 sm. 2513 sf. 人 \_ = = = (8)P G 2.75 TYP. 3.70 3.70 <u>X</u> 1.50 MENU BOARD WITH INTEGRATED SPEAKER x 2-PRE-MENU BOARD W/ BOLLARDS AS SHOWN-5.50 1.2 2.65 'YF 2.65 TYP. (8) 8 DIRECTIONAL SIGN-(12) TYP





7

# PLANNING AND DEVELOPMENT SERVICES

TO: Municipal Planning Commission

DIVISION:

SUBJECT: Development Item: Stripping and Grading

**USE:** Discretionary use, with no Variances

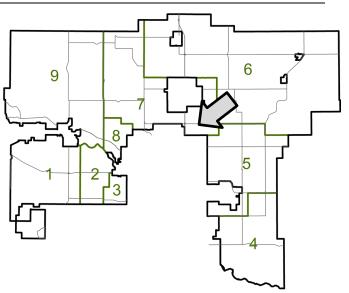
**APPLICATION:** Single-lot regrading and stockpiling

**GENERAL LOCATION:** Located approximately 0.81 km (1/2 mile) south of Hwy. 566 and 0.41 km (1/4 mile) west of Rge. Rd. 292

**LAND USE DESIGNATION:** Direct Control District 99 (DC 99) and under Land Use Bylaw C-4841-97.

**ADMINISTRATION RECOMMENDATION:** Administration recommends Approval in accordance with Option #1.

## VARIANCE SUMMARY:



**DATE:** December 10, 2020

APPLICATION: PRDP20203434

## **OPTIONS**:

- Option #1: THAT Development Permit Application PRDP20203434 be approved with the conditions noted in the Development Permit Report, attached.
- Option #2: THAT Development Permit Application PRDP20203434 be refused as per the reasons noted.

## AIR PHOTO & DEVELOPMENT CONTEXT





# **DEVELOPMENT PERMIT REPORT**

Application Date: October 27, 2020	File: 06411012
Application: PRDP20203434	Applicant/Owner: Dawson Wallace Construction
Legal Description: Lot 6 Block 1 Plan 1911679, SW-11-26-29-04; (291180 WAGON WHEELROAD; 291196 WAGON WHEEL ROAD)	<b>General Location:</b> Located approximately 0.81 km (1/2 mile) south of Twp. Rd. 262 (Highway 566) and 0.41 km (1/4 mile) west of Rge. Rd. 292
Land Use Designation: Direct Control District 99, Campus Business	Gross Area: ± 4.73 hectares (± 11.69 acres)
File Manager: Scott Thompson	Division: 7

## PROPOSAL:

This application is for a single-lot regrading, for stockpiling, of existing soil on site. The stockpile is the result of excess soil that was the remnant from a recently constructed building and parking lot expansion, approved under Development Permit #PRDP20192808.

- The stockpile is 53.70 meters (187.99 ft.) in length and 63.80 metres (209.31 ft.) in width for approximately 0.30 hectares (0.76 acres) in size. At its peak, the pile is 4.40 metres (14.44 ft.) tall.
- The proposal would create berming along the east and west sides of the stockpile area and adjacent areas that will contain the flow and direct it towards a sediment trap as part of Erosion Sediment Control Plan.
  - A new swale will direct flow of the east side of the stockpile toward the sediment trap
  - The sediment trap drains via an existing culvert that goes through an existing berm.
- The existing culvert is proposed to be protected by culvert inlet protection, causing water to pool in a trap low and allow sediments to settle out of the overflow in the inlet protection.

## STATUTORY PLANS:

The parcel falls under the Balzac East Area Structure Plan and the Wagon Wheel Industrial Conceptual Scheme. The Balzac East Area Structure Plan states that: *Any areas subject to excavation, stripping or grading during construction phases of development that are not identified as a landscaped area in the Landscape Plan shall be seeded to grass.* The proposed application will be seeded and hydro mulched.

The Wagon Wheel Industrial Conceptual Scheme provides guidance through policy 8.3.1 that states: A Construction Management Plan shall be provided by the developer to the satisfaction of the M.D. of Rocky View prior to issuance of a Stripping and Grading Permit. Given that this particular application is an existing berm, no Construction Management Plan is necessary. ROCKY VIEW COUNTY

## **INSPECTORS COMMENTS**

• At the time of this report, no inspection had taken place.

## **CIRCULATIONS:**

## **Development Compliance:**

• Development Compliance has no comments or concerns related to the attached application.

Fire Services and Emergency Management:

• The Fire Service has no comments at this time.

## Planning and Development Services - Engineering Review:

• No comments, appropriate security will be required..

## Alberta Environment and Parks:

• No comments at the time of the writing of this development permit.

## Agricultural and Environmental Services:

• It may be of benefit to the applicant to create a Weed Management Plan and have a contractor available (or be personally prepared) to control any regulated weeds. The applicant will need to ensure compliance with the *Alberta Weed Control Act*.

Option #1 (this would allow the development to commence)

APPROVAL, subject to the following conditions:

### **Description:**

1. That the single-lot regrading, for the stockpiling of a stockpile shall remain on site in accordance with the drawings submitted with the application and the conditions of this permit.

## Prior to Issuance:

2. That prior to issuance of this permit, the Applicant/Owner shall submit a \$3,800.00 Irrevocable Letter of Credit or Refundable Security, to be deposited with the County to ensure that conditions of this permit are met. If conditions of this permit are not met, the County may use the funds, enter onto the described land, and carry out the work necessary to meet the condition.

## Permanent:

- 3. That any plan, technical submission, agreement, matter or understanding submitted and approved as part of the application or in response to a Prior to Issuance condition shall be implemented and adhered to in perpetuity.
- 4. That it shall be the responsibility of the Applicant/Owners to ensure the fill has been placed in a safe manner that does not cause slope stability issues, slumping, or any other related safety issues.
- 5. That any material entering to or leaving from the site, shall be hauled on/off in a covered trailer/truck, which will prevent blowing of dust/small rocks onto the road or cause issues with other vehicles on the road.
  - i. That the clean-up of any mud tracking and/or dirt that enters onto any County roads during hauling, shall be the responsibility and cost of the Applicant/Owner for clean-up.

Rocky View County

- 6. That no topsoil shall be removed from the site.
- 7. That the Applicant/Owners shall ensure no organic material is buried and capped in a manner that will cause methane gas related issues.
- 8. That the fill shall not contain large concrete, rebar, asphalt, building materials, organic materials, or other metal.
- 9. That the Applicant/Owners shall take effective measures to control dust on the parcel so that dust originating therein shall not cause annoyance or become a nuisance to adjoining property owners and others in the vicinity.
- 10. That the Applicant/Owners shall be responsible for rectifying any adverse effect on adjacent lands from drainage alteration.
- 11. That the subject land shall be maintained in a clean and tidy fashion at all times and all waste material shall be deposited and confined in an appropriate enclosure. All waste material shall be regularly removed from the property to prevent any debris from blowing onto adjacent property or roadways. That all garbage and waste shall be stored in weatherproof and animal proof containers and be in a location easily accessible to containerized garbage pickup.

### Advisory:

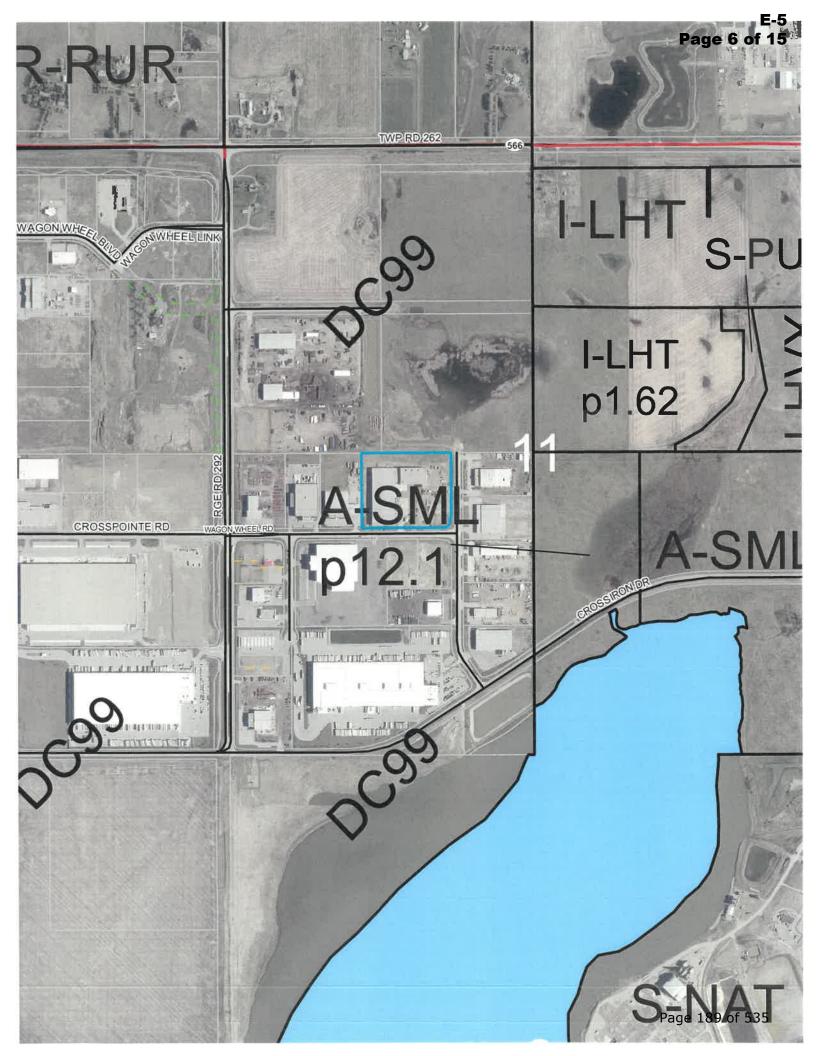
- 12. That any other government permits, approvals, or compliances are the sole responsibility of the Applicant/Owner.
- 13. That the subject development shall conform to the County's Noise Bylaw C-5773-2003 in perpetuity.
- 14. That the site shall remain free of restricted and noxious weeds and be maintained in accordance with the Alberta Weed Control Act *[Statutes of Alberta, 2008 Chapter W-5.1; Current as of December 15, 2017].*
- 15. That if the development authorized by this Development Permit is not completed within twelve (12) months of the date of issuance, the permit is deemed to be null and void.
- 16. That if this Development Permit is not issued by **June 30**, **2021** or the approved extension date, then this approval is null and void and the Development Permit shall not be issued.
- 17. That this Development Permit, once issued, shall be valid until January 6, 2022.

Option #2 (this would not allow the development to commence)

REFUSAL, for the following reasons:

1. That in the opinion of the Municipal Planning Commission, the development unduly interferes with the amenities of the neighbourhood and materially interferes with and affects the use, enjoyment, and value of neighbouring parcels of land.





	<u>_</u>	
	FOR OFFICE USE ONIPage 7 of 1	
ROCKY VIEW COUNTY	APPLICATION NO.	
	ROLL NO.	
DEVELOPMENT PERMIT	RENEWAL OF	
APPLICATION	FEES PAID	
	DATE OF RECEIPT	
APPLICANT/OWNER		
Applicant Name: DAWSON WALLACE CONSTRUCTION LTD		
Business/Organization Name (if applicable):		
Landowner Name(s) per title (if not the Applicant): WAGON WHEE	L PROPERTIES LTD	
Business/Organization Name (if applicable):		
LEGAL LAND DESCRIPTION - Subject site		
· · · · · · · · · · · · · · · · · · ·	20 West of a Maridian Division	
All/part of: SW ¼ Section: 11 Township: 26 Range:	29 West of: 04 Meridian Division:	
All parts of Lot(s)/Unit(s): 6 Block: 1 Plan:	191679 Parcel Size (ac/ha): 4.73 ha	
Municipal Address: 291180 Wagon Wheel Road, Rocky View Cou	Inty, AB Land Use District: DC-99	
APPLICATION FOR - List use and scope of work		
Stripping and Grading - STOCK	PILING	
Variance Rationale included:  VES  NO  N/A	DP Checklist Included: 🔟 YES 🗌 NO	
SITE INFORMATION		
<ul> <li>a. Oil or gas wells present on or within 100 metres of the subject</li> <li>b. Parcel within 1.5 kilometres of a sour gas facility (well, pipeli)</li> </ul>		
c. Abandoned oil or gas well or pipeline present on the propert	y Ú YES 🗹 NO	
(Well Map Viewer: https://extmapviewer.aer.ca/AERAbandonedWells/Index.html)		
d. Subject site has direct access to a developed Municipal Road (accessible public roadway) AUTHORIZATION		
	e in Block Capitals), hereby certify (initial below):	
That I am the registered owner <b>OR</b> That I am author		
That the information given on this form and related docu knowledge, a true statement of the facts relating to this appl		
That I provide consent to the public release and disclosure of		
submitted/contained within this application as part of the rev collected in accordance with s.33(c) of the <i>Freedom of Infor</i>	iew process. I acknowledge that the information is	
Right of Entry: I authorize/acknowledge that Rocky View C purposes of investigation and enforcement related to this ap Municipal Government Act.		
Applicant Signature	Landowner Signature	
	Date	
Date	Dale	

Date	
------	--



# STRIPPING, GRADING, EXCAVATION AND/OR FILL INFORMATION SHEET

	FOR OFFICE USE ONLY	
DN	APPLICATION NO.	
	ROLL NO.	
	DISTRICT	

DETAILS			APPLICATION FOR:	
Total area of work	0.76 ac	(ac / m² )	□ Site Stripping □ Fill	
Length	53.7 m	(m / ft.)	□ Grading □ Re-contouring	
Width	63.8 m	(m / ft.)	□ Excavation □ Excavation	
Height	4.37 m	(m / ft.)	(cut-to-fill) (borrow areas) ☐ Construction of artificial waterbody	
Volume	6,000 m3	$(m^3 / ft^3.)$	(not including dugouts)	
Number of truckloads (approx.)	N/A (in-situ soil)		M Stockpiling	
Slope factor (if applicable)	15%		□ Other:	
DESCRIPTION OF WORK				
Describe the purpose and intent o To stock pile excess soil mater Indicate the timing/duration of wor	ials from current developme	nt for future	USE	
Indicate the effect(s) on existing drainage patterns or environmentally sensitive areas (i.e. riparian, wetland, other waterbodies etc.) if applicable: The presence of the spoil pile will change the overland flow on the southeast part of the lot from the approved DP				
Confirm if proposed fill contains any rubble or hazardous substances:				
ADDITIONAL REQUIREMENTS, in addition to DP Checklist - General requirements				
<ul> <li>The following must be included with the application (select if provided):</li> <li>Pre-development and Post-development grading plans</li> <li>Other documents: Stormwater Management Plan, Fill Management Plan, Soil Quality Report may be required</li> <li>Cover letter shall address ALL of the following:</li> </ul>				
<ul> <li>Soil-handling plan depicting movement of fill on the site and confirmation that soil will be transported when it is in a favourable condition (include this information on the Site/Grading Plan as necessary)</li> <li>Traffic control plan</li> <li>Weed Management Plan</li> <li>Costs (anticipated) to reclaim the site</li> <li>Methods to dust and erosion resulting from ongoing work</li> </ul>				
<ul> <li>On the Site/Grading Plans:</li> <li>Dimensions and area(s) of excavation, fill, and/or grading</li> <li>Location of wetlands and watercourses and any ecologically sensitive features</li> <li>Location where the excavation, stripping, or grading is to be taking place</li> <li>Proposed access, haul routes, and haul activities</li> </ul>				



TEL 403-454-8487 FAX 403-454-8478

**DP** Application

#105 - 10555 48th Street SE. | Calgary, AB | T2C 2B7 www.sedulousengineering.ca

October 27, 2020

Rocky View County Building & Planning 262075 Rocky View Point Rocky View County, AB T4AoX2

RE: Stripping and Grading DP Application

Please find attached our application for Stripping and Grading Development Permit. This application relates to the Spoil pile due to the recent construction of an addition to warehouse per PRDP20192808 and will be stored for future use. This Spoil pile will be hydromulched with EcoFibre Plus Tackifier with RVC Seed Mix Applied At 3,360 kg/ha (3,000 lb/acre) as per the ESC plan.

Let us know if you have any questions.

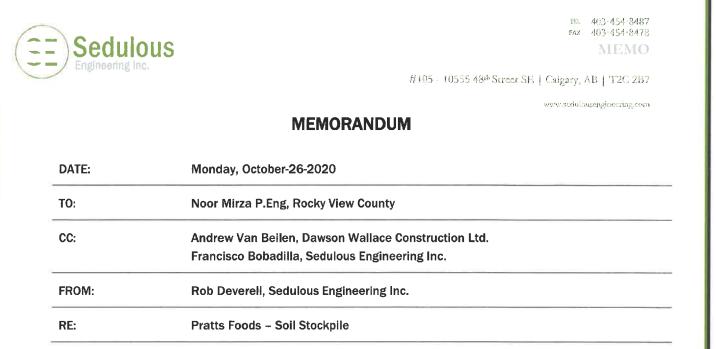
Regards,

Novie Sanchez, C.E.T

Project Technologist Sedulous Engineering Inc.

CC. Rob Deverell, Sedulous Engineering Inc. John Infante, Sedulous Engineering Inc.

Civil and Municipal Engineering Professionals, Showing Diligence and Dedication.



The purpose of this memo is to support a Stripping and Grading Development Permit Application (DP). We understand the DP is required by the County's Development Officer for Pratts to be allowed to keep an existing stockpile of soil onsite. The stockpile is excess soil that is the remnants of a recent building/parking lot expansion completed on this site (Rocky View County file PRDP20192808).

Dawson Wallace, the General Contractor for Pratts, has proposed to leave this excess soil onsite in its current position. In that regard, Sedulous has prepared brief updates to the Final Site Conditions ESC plan and our Grading plan to show this stockpile and adjacent grades and related proposed ESC and grading improvements. We have also included our as-built Stormwater drawing which shows the stockpile and indicates related as built conditions.

The purpose of this memo is to provide brief written support for the information shown on the attached drawings.

#### **ESC Final Site Conditions:**

1

- Attached drawing ESC3 is a revision to our previous issued for approval drawing that was submitted as part of PRDP20192808.
- We have created a revision cloud on the drawing to show the impacted area.
- The proposed ESC measures include proposed berming along the east and west sides of the stockpile/adjacent area that will contain flow and direct it to a sediment trap.
- A new swale that will direct flow off of the east side of the stockpile toward the sediment trap.
- The sediment trap drains via an existing culvert that goes through an existing berm (which designed as part of the PRDP20192808 overall stormwater system). The existing berm was created to be a trap low to contain water and slowly release it.
- The existing culvert is proposed to be protected with culvert inlet protection. This will cause water to pool in the traplow, allow sediments to settle out then overflow the inlet protection, and release out of the culvert.



TEL 403-454-8487 FAX 403-454-8478 MEMO

#105 - 10555 48th Street SE | Calgary, AB | T2C 2B7

www.sedulousengineering.com

- The stockpile area is to be seeded/hydromulched as are the perimeter zones as indicated on the drawing.

#### Grading Conditions:

- Attached drawing C-2 is a revision to our previous issued for approval construction drawings that were prepared as part of PRDP20192808.
- We have created a revision cloud on the drawing to show the impacted area.
- There are no significant changes to the grading plan other than that we have incorporated the stockpile contours and the contours of the surrounding areas into the drawing as well as indicated the proposed swale on the east side of the stockpile.
- Please note, the contour raw data was provided to Sedulous by Dawson Wallace, and the data was prepared by Absolute Surveys Inc for Dawson on June 25, 2020.

#### SWMP:

- Attached drawing C-5 is our previously issued for as-built drawing that was submitted as part of the site occupancy work for PRDP20192808.
- We have not updated this drawing as it already shows as built conditions thereby incorporating the berm and adjacent grades. The drawing shows the area drains into traplow Off-3 and that traplow Off-3's required capacity (per our as built PCSWMM 1:100 year analysis) is 191 m<sup>3</sup> and the volume provided in the as built traplow area is 221 m<sup>3</sup>.

#### **Closing:**

- Should you have any comments or questions please contact the undersigned.

TEL 403-454-8487 FAX 403-454-8478 MEMO

#105 - 10555 48th Street SE | Calgary, AB | T2C 2B7

www.sedulousengineering.com

#### **Corporate Authorization**

Sedulous Engineering Inc.

۰ <sup>۱</sup>

This memorandum with the subject, "Pratts Foods – Soil Stockpile" was prepared by Sedulous Engineering Inc., ("SEI") for the sole use of Dawson Wallace and the Approving Authorities for the Pratts Foots site in Balzac East in Rocky View County. The material in this document reflects SEI's best judgement in light of the information available to it at the time of preparation. Any use which a third party makes of this report, on any reliance on or decision to be made based on it, are the responsibility of such third parties. SEI accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on this document. Duplication or distribution of this report or any report or any portion hereof is forbidden without the prior written consent of

Prepared By:

Sedulous Engineering Inc.

Reviewed By:

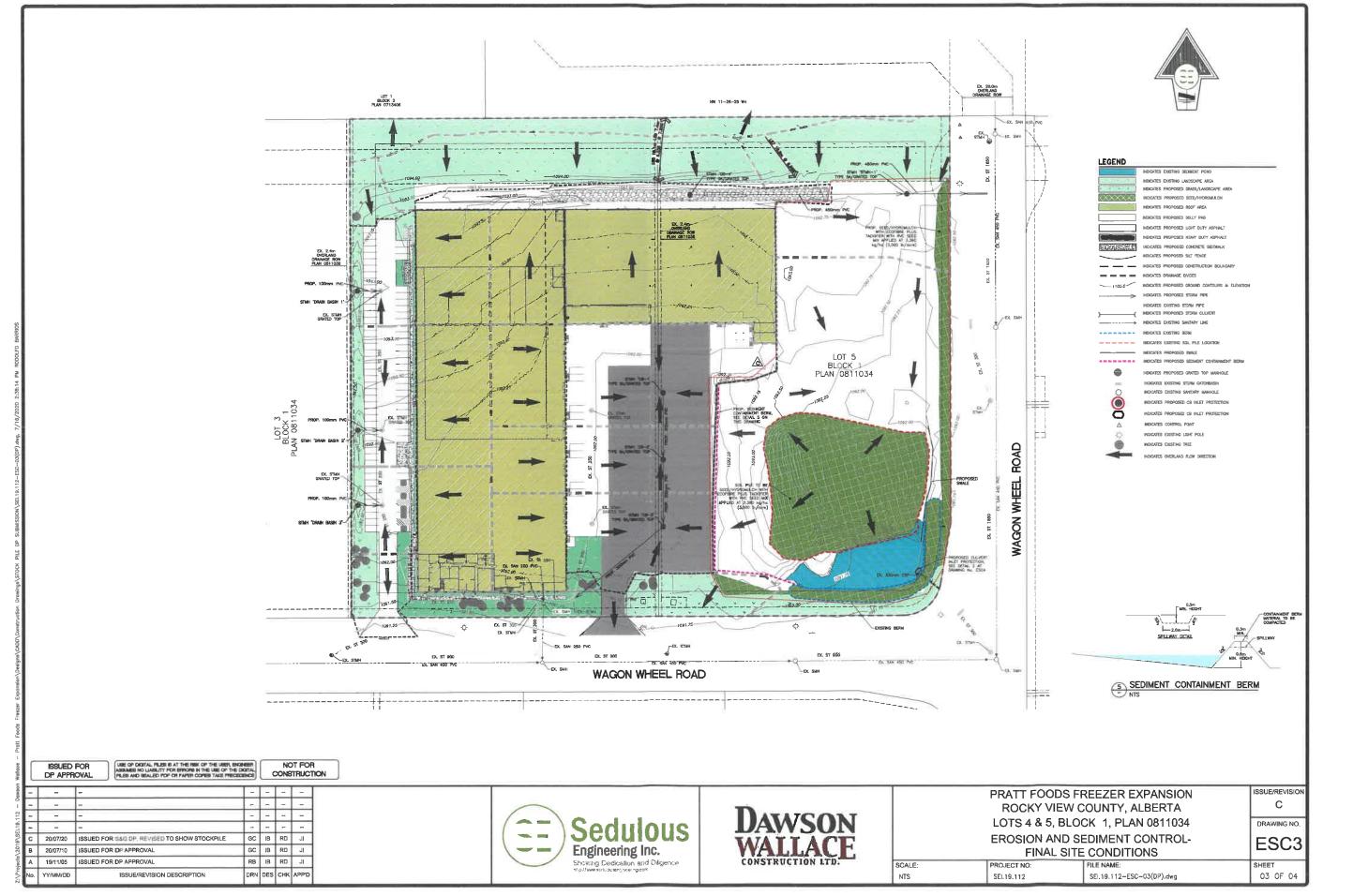
Sedulous Engineering Inc.,



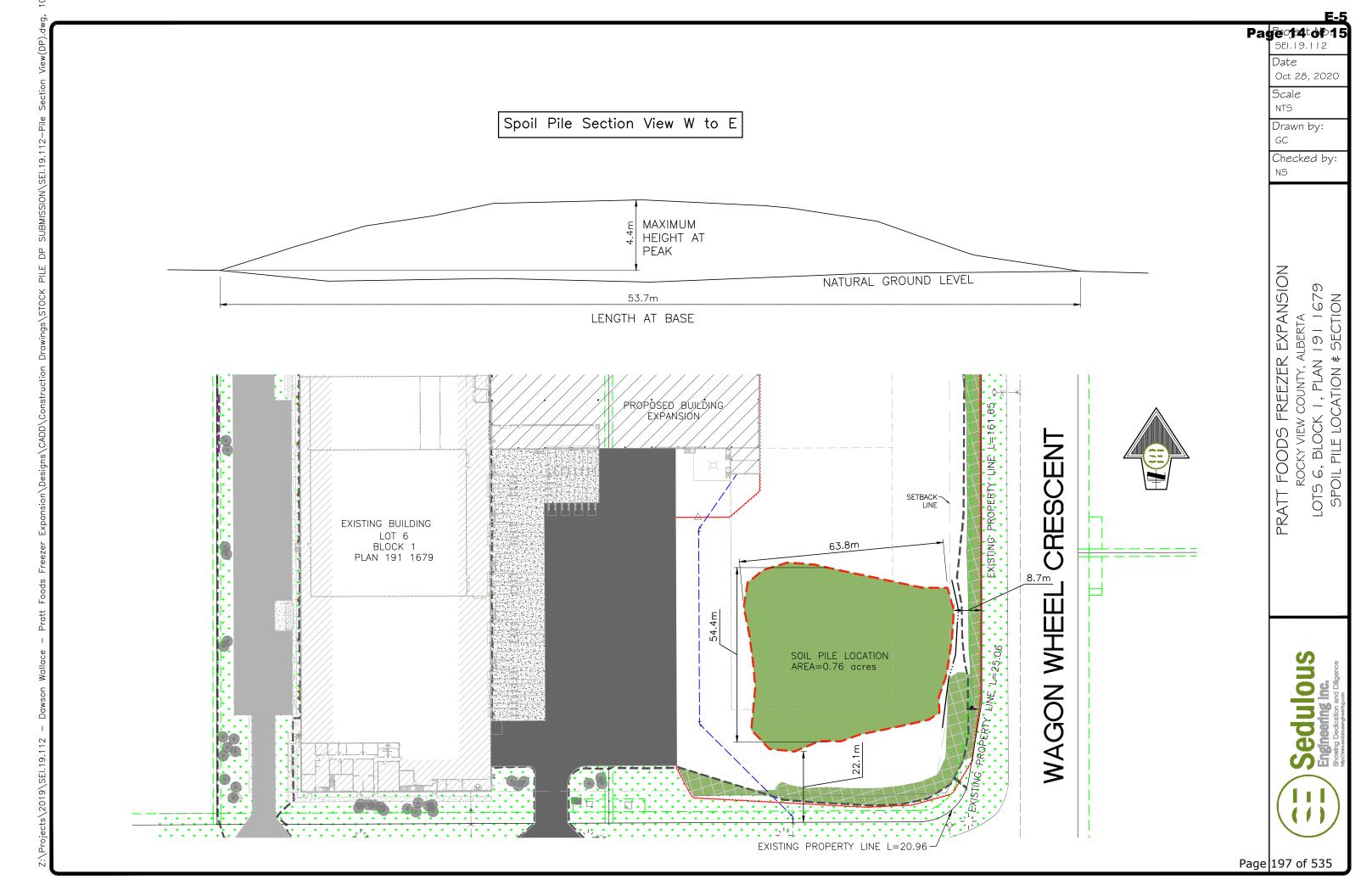
PERMIT TO PRACTICE SEDULOUS ENGINEERING INC.		
RM SIGNATURE:		
BMAPEGA ID #: 143598		
DATE: 2020-10-26		
PERMIT NUMBER: P012264 The Association of Professional Engineers and Geoscientists of Alberta (APEGA)		

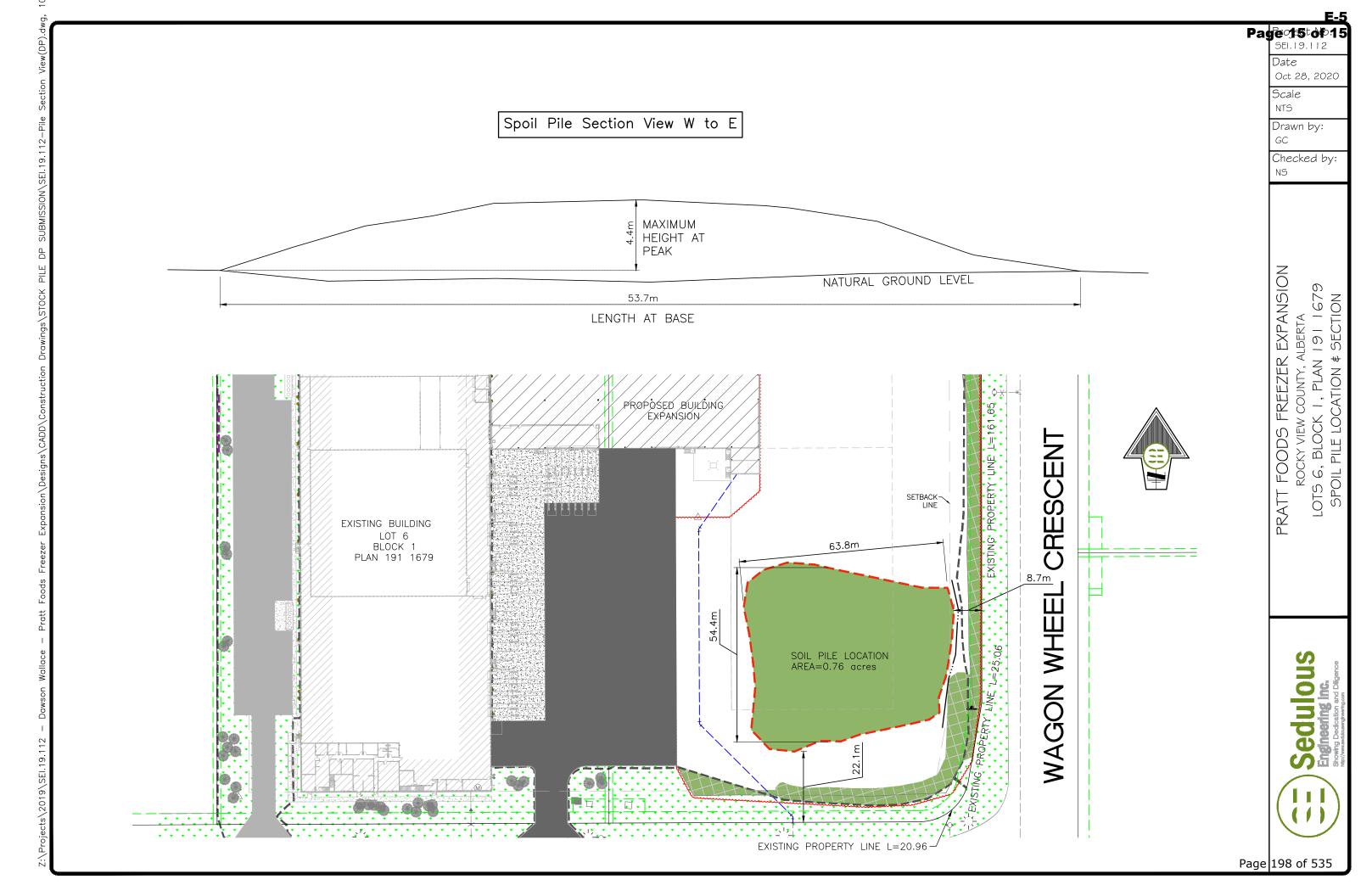
Rob Deverell, P.Tech.(Eng.)

Francisco Bobadilla, P.E., P.Eng., CPESC











# PLANNING AND DEVELOPMENT SERVICES

**TO:** Municipal Planning Commission

DIVISION: 5

**SUBJECT:** Development Item: Accessory Building

**USE:** Listed DC Discretionary use, with no Variances

**APPLICATION:** Construction of an Accessory Building (Shed)

**GENERAL LOCATION:** Located approximately 0.81 km (1/2 mile) west of Garden Rd. and 0.41 km (1/4 mile) south of Hwy. 1

**LAND USE DESIGNATION:** Direct Control District 11 (DC-11) and under Land Use Bylaw C-4841-97.

ADMINISTRATION RECOMMENDATION:

Administration recommends Approval in accordance with Option #1.

## **OPTIONS:**

Control Jse Bylaw ATION: al in

9

**DATE:** December 10, 2020

APPLICATION: PRDP20203084

6

- Option #1: THAT Development Permit Application PRDP20203084 be approved with the conditions noted in the Development Permit Report, attached.
- Option #2: THAT Development Permit Application PRDP20203084 be refused as per the reasons noted.

## AIR PHOTO & DEVELOPMENT CONTEXT:





## **DEVELOPMENT PERMIT REPORT**

Application Date: October 5, 2020	File: 04319112
Application: PRDP20203084	<b>Applicant/Owner:</b> Allan Brausse/Condo Corp#9812469
Legal Description: Lot: Unit 105, Plan 0111629, within NE-19-24-28-W04M	<b>General Location:</b> Located approximately 0.81 km (1/2 mile) west of Garden Rd. and and 0.41 km (1/4 mile) south of Hwy. 1
Land Use Designation: Direct Control 11 District (DC-11) and under Land Use Bylaw C-4841-97.	Gross Area: ± 1.06 hectares (± 2.62 acres)
File Manager: Scott Thompson	Division: 5

## PROPOSAL:

This application is for the construction of an accessory building (shed for the pump house).

The proposed structure is compliant with the Direct Control District and requires no further variances to the minimum setbacks, maximum building area, and maximum height for an accessory building.

Requirement	Required	Proposed	% Relaxation Required	
Minimum Setbacks	3.0 m (9.84 ft.)	Well away from the north, east and south property lines	0.00%	
	3.0 m (9.04 n.)		0.0070	
Maximum building area	65.00 sq. m. (699.5 sq. ft.)	± 9.94 sq. m. (± 107 sq. ft.)	0.00%	
Maximum Height	5.50 m (18.04 ft.)	± 3.35 m (±11 ft.)	0.00%	

## STATUTORY PLANS:

Rocky View County / City of Calgary Intermunicipal Development Plan

The subject land is located within the Rocky View County / City of Calgary Intermunicipal Development Plan. This application was circulated to the city of Calgary in accordance with IDP policy. The City has no comments for this application.

## Conrich Area Structure Plan

In accordance with the Conrich Area Structure Plan, the Prince of Peace community intends to expand the long term care facility, increase residential capacity, and provide local commercial services to residents. The proposed accessory building consistent with the ASP's intent to provide local services to residents. Rocky View County

## HISTORY:

- September 1, 2020 Council approved Bylaw C-8039-2020 to allow Accessory Buildings, Utilities, and Private Clubs and Organizations (Multi-Purpose Building) on the common properties.
   Index 25, 2000 Council approved Bylaw C 5250, 2000 redesignations the subject lends within NE.
- July 25, 2000 Council approved Bylaw C-5250-2000 redesignating the subject lands within NE-19-24-28-W4M from Public Services District to Direct Control District.

## **INSPECTORS COMMENTS**

- Neat & Tidy
- No Concerns at time of inspection

## **CIRCULATIONS:**

**Building Services** 

**Development Compliance** 

• Development Compliance has no comments or concerns with the attached application.

## City of Calgary

• No comment received.

## **OPTIONS:**

Option #1 (this would allow the development to commence)

APPROVAL, subject to the following conditions:

## Description

1. That an accessory building (shed for the pump house) may be constructed on the parcel in accordance with the approved site plan and application and the minimum setbacks of Direct Control District 11.

## Permanent

- 2. That the exterior siding and roofing materials of the accessory building shall be similar to the existing dwelling, single-detached and/or area.
- 3. That the accessory building shall not be used for commercial or residential occupancy purposes at any time.
- 4. That the pump house shall be setback from the western, side property line by a minimum of 3.0 metres.
- 5. That there shall be no more than 1.00 m (3.28 ft.) of fill placed adjacent to or within 15.00 m (49.21 ft.) of the proposed accessory building under construction that is used to establish approved final grades unless a Development Permit has been issued for additional fill.

## Advisory

- 6. That during construction of the accessory building, all construction and building materials shall be maintained on-site, in a neat and orderly manner. Any debris or garbage shall be stored/placed in garbage bins and disposed of at an approved disposal facility.
- 7. That during construction of the accessory building, the Applicant/Owner shall adhere to the County's Noise Bylaw (C-5772-2003) at all times.



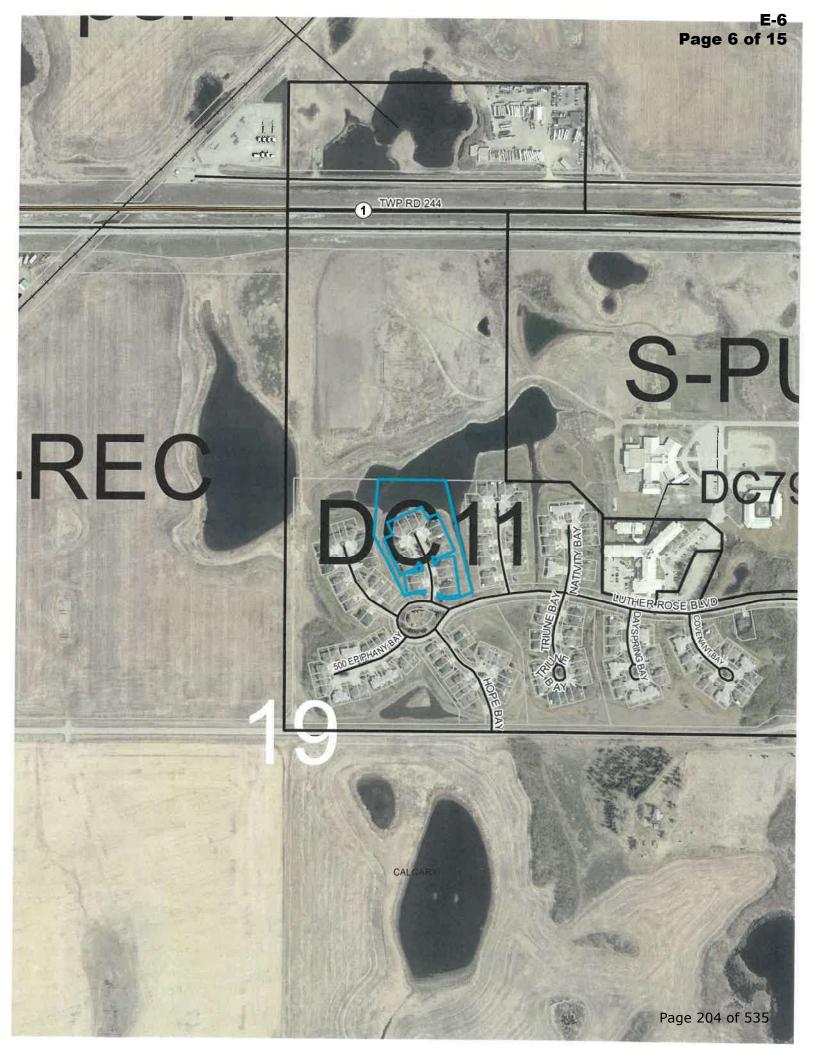
- 8. That a Building Permit and applicable sub-trade permits shall be obtained through Building Services, prior to construction commencement, using the Accessory Building checklist.
- 9. That if the development authorized by this Development Permit is not commenced with reasonable diligence within 12 months from the date of issue, and completed within 24 months of the issue, the permit is deemed to be null and void, unless an extension to this permit shall first have been granted by the Development Officer.
- 10. That any other government permits, approvals, or compliances are the sole responsibility of the Applicant/Owner.

Option #2 (this would not allow the development to commence)

REFUSAL, for the following reasons:

1. That in the opinion of the Municipal Planning Commission, the development unduly interferes with the amenities of the neighbourhood and materially interferes with and affects the use, enjoyment, and value of neighbouring parcels of land.





			Page 7_of
-	FC	R OFFICE US	EONLY
ROCKY VIEW COUNTY Cultivating Communities	APPLICATION NO.	202	03084
	RENEWAL TO		
DEVELOPMENT PERMIT	ROLL NO.	04319	//2
APPLICATION FORM	DATE OF RECEIPT	at 5	2020
	FEES PAID	\$ 26.	5.00
APPLICANT/ OWNER			
Applicant Name: Allan Brausse			
Business/ Organization Name (if applicable):	t 98/2469	Calgary	nanagement
Landowner Name(s) per title (if not applicant): Condominium	Corp # 9812	469	
Business/ Organization Name (if applicable): 40 5 mco Mo	nagement (c	algary)	Inc
		1 - 1965 V 168 Mars	
EGAL LAND DESCRIPTION - Subject site			And I
All/ part of: NE 1/4 Section: 1/6 Township: 2.4 Range: 2		Meridian	Division:
All parts of Lot(s): Block: Registered Plan		Parcel Size	e (ac/ ha):
Application For - List use and scope of work	Existing Land L	Jse District:	
Variance Rationale included:	DP Checklis	tipoludodu	
	DF CHECKI	A Linciuded: M Lindiata	
a. Oil or gas wells present on or within 100 metres of the subje	ect property(s)	상황 전 동물이 한	
<ul> <li>b. Parcel within 1.5 kilometres of a sour gas facility (well, pipeli</li> </ul>			□ YES ፪ NO □ YES ⊠ NO
c. Abandoned oil or gas well or pipeline present on the propert	•		🗆 YES 🛱 NO
<ul> <li>(Well Map Viewer: <u>https://extmapviewer.aer.ca/AERAbandoned\</u></li> <li>d. Subject site has direct access to a developed Municipal Roa</li> </ul>		ic roadway)	🗆 YES 🖾 NO
UTHORIZATION			21 1 CO (21 1 1 O
1, Allan Braysse (Full nam	ne in Block Capitals	s), hereby ce	ertify (initial below):
That I am the registered owner ORThat I am author			
	ents, is full and co	mplete and is	s, to the best of my
That the information given on this form and related docum	ication		
knowledge, a true statement of the facts relating to this appl	ication.	ntained within	this application
I hat the information given on this form and related docum knowledge, a true statement of the facts relating to this appl That I provide consent to the public release and disclosure of and supporting documentation as part of the development p	ication. of all information co	ntained withir	n this application
Knowledge, a true statement of the facts relating to this appl That I provide consent to the public release and disclosure of and supporting documentation as part of the development p Right of Entry: By signing this application I acknowledge that Rocky View County m purposes of investigation and enforcement related to this Development Permit Applic Government Act.	ication. of all information co process. may enter, with reasonab	le notice, the ab	
knowledge, a true statement of the facts relating to this appl That I provide consent to the public release and disclosure of and supporting documentation as part of the development p Right of Entry: By signing this application I acknowledge that Rocky View County m supposes of investigation and enforcement related to this Development Permit Applic Sovernment Act.	ication. of all information con process. may enter, with reasonab cation in accordance with	le notice, the ab Section 542 of	ove parcel(s) of land for the Municipal
Knowledge, a true statement of the facts relating to this apple That I provide consent to the public release and disclosure of and supporting documentation as part of the development performance of the development provide of Entry: By signing this application I acknowledge that Rocky View County more provides of investigation and enforcement related to this Development Permit Applic Government Act.	ication. of all information con rocess. may enter, with reasonab cation in accordance with andowner's Signatu	le notice, the ab Section 542 of	ove parcel(s) of land for the Municipal

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# ACCESSORY BUILDING(s) INFORMATION SHEET

FOR OFFICE USE ONLY		
APPLICATION NO.		
ROLL NO.		
DISTRICT		

DETAILS		~	USE TYPE
Building total floor area (footprint)	107	$(m^2 (ft.^2))$	□ * Residential
Height of building	10'9"	(m / ft.)	Agricultural
Total area of all accessory buildings	,	1 2 1 5 2	□ Related to <i>Home-Based Business</i> ,
(For Residential Agricultural parcels)		(m² / ft.²)	Type II (attach related Information Sheet)
Number of accessory buildings on site			<ul> <li>Other (specify):</li> </ul>
BUILDING DESCRIPTION			BUILDING TYPE
Building material(s):			<ul> <li>Storage Shed</li> <li>Storage Building (largescale)</li> <li>Detached Garage</li> <li>Studio/ Workshop</li> <li>Play Structure (covered)</li> <li>Gazebo</li> <li>** Shipping Container (Seacan)</li> <li>Greenhouse/ Nursery</li> <li>Horse Shelter/ Stable</li> <li>Tent (covered)</li> <li>Other (specify):</li> </ul>
VARIANCE(s) REQUESTED (If applica	ble)		
Describe relaxations requested:			
Describe reasons for relaxations (locatio	n, storage needs,	etc.):	
<ul> <li>* Section 173, LUB C-2020-8000: An Accessory E Building in exterior material, colour and appea ** Section 174, LUB C-2020-8000: Where the Acc a) Shall not be attached, in any way, to a prin b) Shall not be stacked in any Non-Industrial c) Shall be visually screened from public road</li> </ul>	rance. ressory Building is a Sh cipal building; District; and	ipping Contain	

Applicant's Signature <u>Man Bransse</u> President-Condo Corp #98/2469 Date <u>Sept 30, 2020</u>



CONDOMINIUM ADDITIONAL PLAN SHEET CERTIFICATE

SHORT LEGAL 9812469;CS ( PURSUANT TO THE CONDOMINIUM PROPERTY REGULATION ) SHEET NUMBER : 02. NUMBER OF UNITS : 192 DATED 08/09/1998 CORPORATION NAME: CONDOMINIUM CORPORATION NO. 9812469 ADDRESS: C/O SIMCO MANAGEMENT (CALGARY) INC. #2, 11410-27TH STREET SE CALGARY ALBERTA T2Z3R6 (DATA UPDATED BY: CHANGE OF ADDRESS 071449453) (DATA UPDATED BY: CHANGE OF ADDRESS 081037612) (DATA UPDATED BY: CHANGE OF ADDRESS 111016853) (DATA UPDATED BY: CHANGE OF NAME 121094161) THE FOLLOWING IS A LIST OF REGISTRATIONS MADE AGAINST THE CONDOMINIUM PLAN AND ANY REDIVISION THEREOF. REGISTRATION NUMBER DATE (D/M/Y)PARTICULARS 001 151 348 06/06/2000 INSTRUMENT UNIT 40 REDIVIDED INTO UNITS 41 THROUGH 63 INCLUSIVE BY 001 150 638 ON PLAN 0011410 ON JUNE 6, 2000 001 365 137 20/12/2000 INSTRUMENT UNIT 63 REDIVIDED INTO UNITS 64 THROUGH 86 INCLUSIVE BY 001 365 123 ON PLAN 0013287 ON DEC 20, 2000 011 164 499 13/06/2001 INSTRUMENT UNIT 86 PLAN 0013287 REDIVIDED INTO UNITS 87-107 INCLUSIVE PLAN 0111629 JUNE 13, 2001 BY 011164481 011 372 746 12/12/2001 INSTRUMENT PLAN 0111629 UNIT 107 REDIVIDED INTO PLAN 0113520 UNITS 108-155 INCLUSIVE ON DECEMBER 12, 2001 BY 011372706 031 009 306 09/01/2003 INSTRUMENT REDIVISION OF UNIT 155 PLAN 0113520 SEE PLAN 0310076 UNITS 156 TO 197 121 244 627 19/09/2012 CHANGE OF BY-LAWS

Page 10 of 15 PAGE 2

E-6

# 9812469CS02.

CORPORATION NAME: CONDOMINIUM CORPORATION NO. 9812469 ADDRESS: C/O SIMCO MANAGEMENT (CALGARY) INC. #2, 11410-27TH STREET SE CALGARY ALBERTA T2Z3R6 (DATA UPDATED BY: CHANGE OF ADDRESS 071449453) (DATA UPDATED BY: CHANGE OF ADDRESS 081037612) (DATA UPDATED BY: CHANGE OF ADDRESS 111016853) (DATA UPDATED BY: CHANGE OF NAME 121094161) THE FOLLOWING IS A LIST OF REGISTRATIONS MADE AGAINST THE CONDOMINIUM PLAN AND ANY REDIVISION THEREOF. REGISTRATION NUMBER PARTICULARS

DATE (D/M/Y) 

191 223 546 04/11/2019 CHANGE OF DIRECTORS

201 029 181 11/02/2020 CHANGE OF BY-LAWS

TOTAL INSTRUMENTS: 008

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN ACCURATE REPRODUCTION OF THE CONDOMINIUM ADDITIONAL PLAN SHEET REPRESENTED HEREIN THIS 29 DAY OF SEPTEMBER, 2020 AT 04:39 P.M.

ORDER NUMBER: 40214554

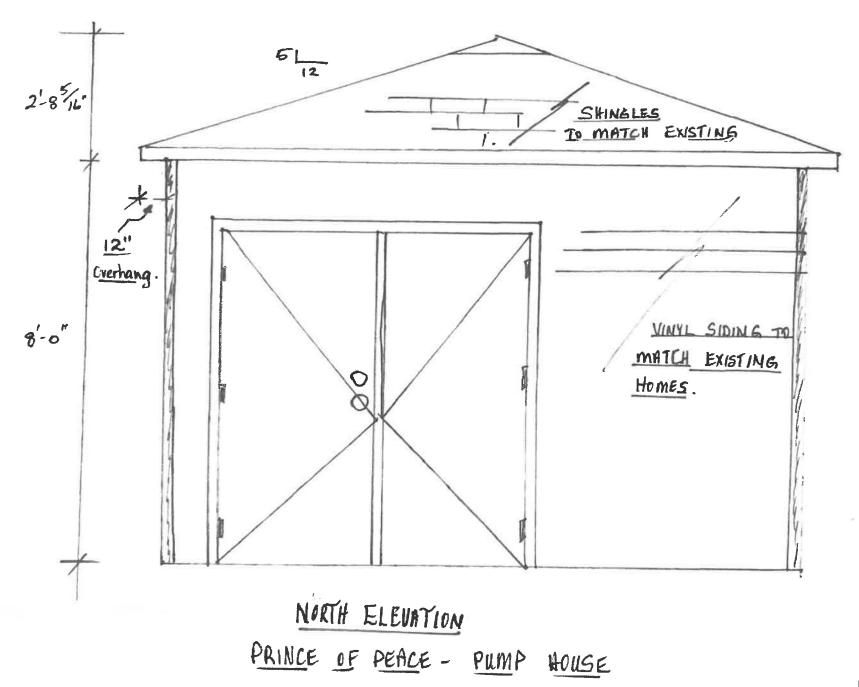
CUSTOMER FILE NUMBER: 445035-1/KLM

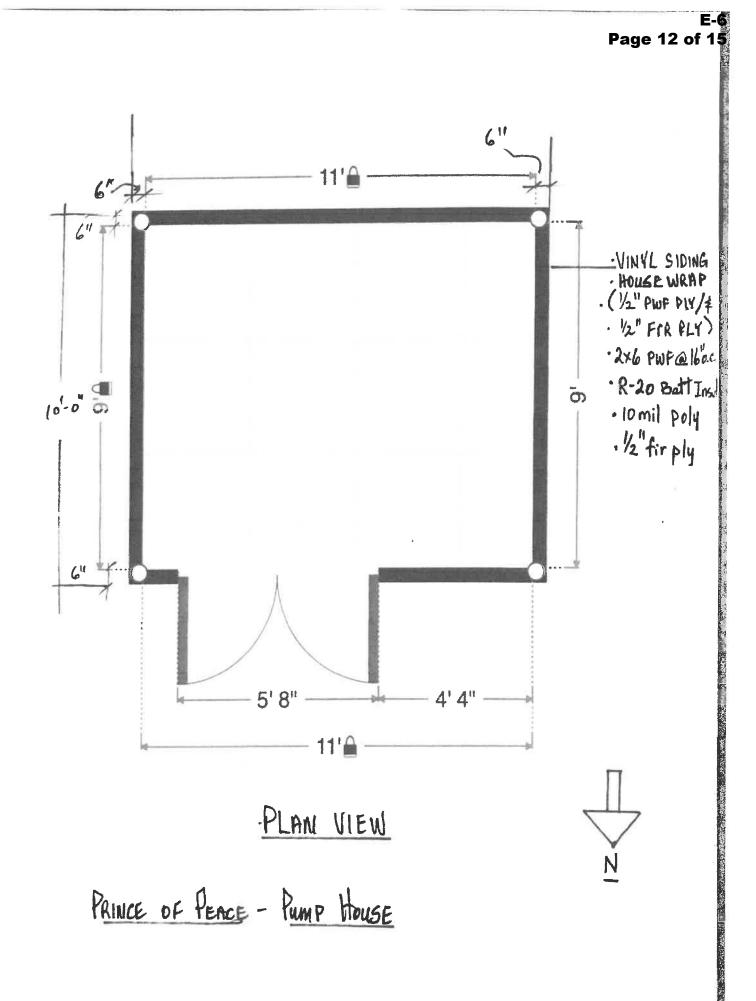


\*END OF CERTIFICATE\*

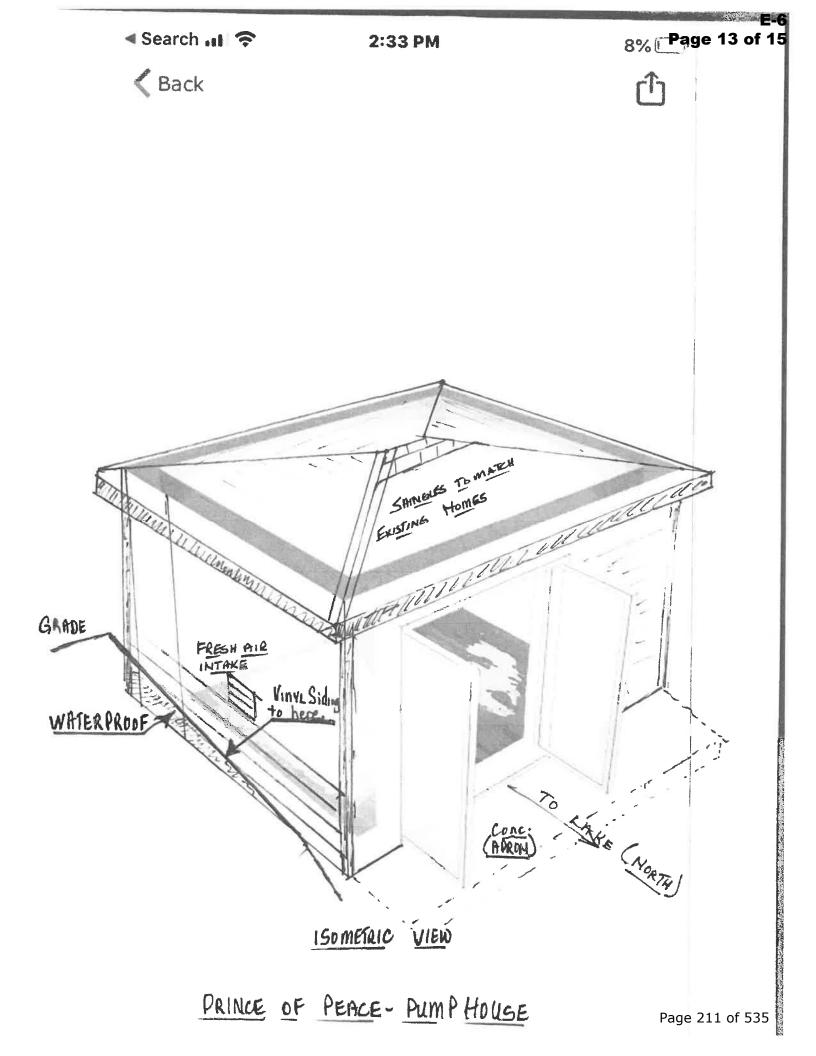
THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED FOR THE SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER, SUBJECT TO WHAT IS SET OUT IN THE PARAGRAPH BELOW.

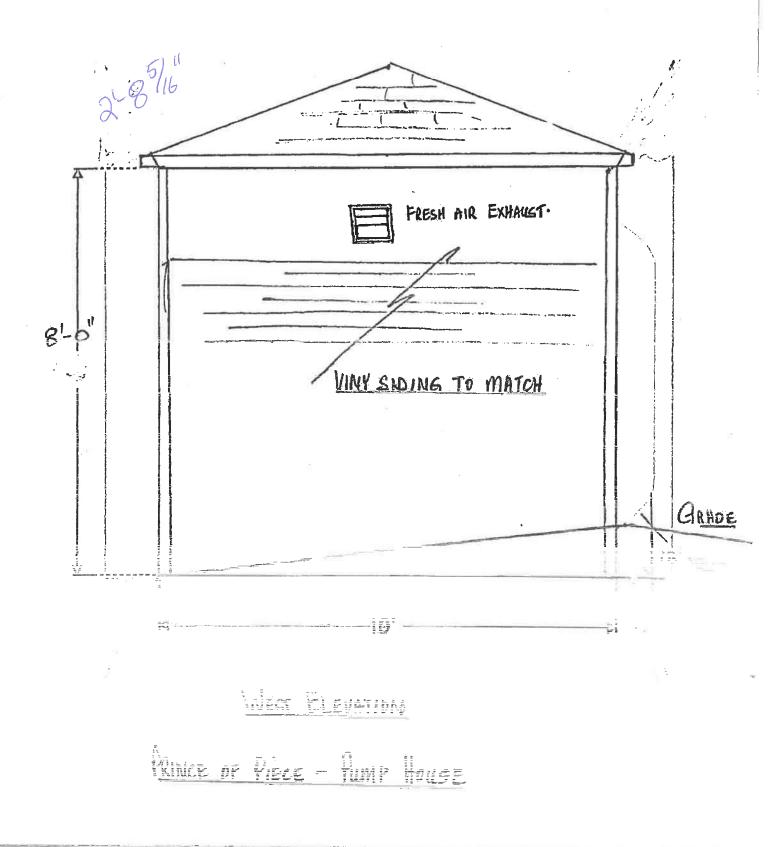
THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION, APPRAISAL OR OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS PART OF THE ORIGINAL PURCHASER APPLYING PROFESSIONAL, CONSULTING OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT (S).





States and







## Regards,

**JOHNSON KWAN**, RPP, MCIP, PMP, LEED GREEN ASSOCIATE Senior Planner | Planning and Development Services

**ROCKY VIEW COUNTY** 262075 Rocky View Point | Rocky View County | AB | T4A 0X2 Phone: 403-520-3973 Jkwan@rockyview.ca | www.rockyview.ca

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# PLANNING AND DEVELOPMENT SERVICES

**TO:** Municipal Planning Commission

DIVISION: 5

SUBJECT: Development Item: Special Function Business

**USE:** Discretionary use, with no Variances

**APPLICATION:** Special Function Business, for an event venue.

**GENERAL LOCATION:** Located approximately 2.41 km (1 1/2 miles) north of Hwy. 1 and on the west side of Boundary Rd.

**LAND USE DESIGNATION:** Agricultural, Small Parcel District (A-SML) under Land Use Bylaw C-8000-2020.

ADMINISTRATION RECOMMENDATION:

Administration recommends Approval in accordance with Option #1.

## **OPTIONS:**

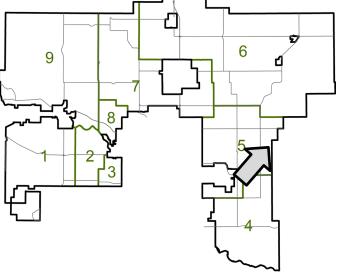
- Option #1: THAT Development Permit Application PRDP20203241 be approved with the conditions noted in the Development Permit Report, attached.
- Option #2: THAT Development Permit Application PRDP20203241 be refused as per the reasons noted.

## AIR PHOTO & DEVELOPMENT CONTEXT:



Administration Resources Sandra Khouri– Planning and Development Services DATE: December 10, 2020

APPLICATION: PRDP20203241





## **DEVELOPMENT PERMIT REPORT**

Application Date: October 13, 2020	File: 04213005/04224001	
Application: PRDP20203241	<b>Applicant/Owner:</b> Zak, Tarance (Greentree Landscapes)	
Legal Description: Block 1, Plan 7610142; NE-13-24-27-04, & SE-24-24-27-04	<b>General Location:</b> located approximately 2.41 km (1 1/2 miles) north of Hwy. 1 and on the west side of Boundary Rd.	
Land Use Designation: Agricultural, Small Parcel District (A-SML) under Land Use Bylaw C-8000- 2020.	el <b>Gross Area:</b> ± 42.79 hectares (± 105.73 acres (combined)	
File Manager: Sandra Khouri	Division: 5	

## PROPOSAL:

The proposal is for a Special Function Business, for an event venue.

The Applicants/Owners are proposing an outdoor wedding venue on two of their adjacent parcels. The northern parcel will contain the outdoor venue space and the southern parcel will contain the parking area. The Applicant/Owner will be the venue provider only and will not be organizing any of the events. Any catering or food/beverage services will be provided by the event organizer.

The parcels are currently developed with a dwelling, a *Horticultural Development* (nursery and tree farm) with associated greenhouses and farm buildings, a *Cannabis Cultivation* operation, and a *Farmers Market*.

Overall Business Details	Proposed (per application form)
Business Name	Greentree Landscapes
Purpose	Event venue for weddings or other gatherings;
	Maximum capacity: 150 guests.
Buildings	Two 10' x 10' temporary tents that will only be used at the
	request of the wedding party.
Outdoor Space	250.00 sq. m (2,690.98 sq. ft.) outdoor space (located on
	northern parcel).
Hours / Days of Operation	Maximum 15 days per year.
Employees	One part-time employee (seasonal).
Signage	The existing nursery signage will be modified (signage details
	required).
Water and Septic	Event organizers will have the option to bring in portable facilities
	or use the bathroom in the Bloomfield Garden Centre building.
	Drinking water is to be supplied by event organizers.
Waste Removal	Garbage disposal bins will be provided on site.
Screening / Fencing	The event site is completely surrounded by mature trees.
Traffic	There is an approach off of Boundary Road that leads to a
	driveway on the property to access the venue site.
Parking	Total of 165 stalls.



- Site is adjacent to agricultural properties on all sides.
- There is a Western Irrigation District canal running through both properties.
- There are some wetlands/water bodies located on the northern parcel but they are far from the venue location.
- There is no oil & gas infrastructure on either property.
- Between the two properties, there are four existing approaches off Boundary Road and two existing approaches off Twp. Rd. 243.

## Land Use Bylaw Requirements:

## Part 8 Definitions

"Special Function Business" means a use where events are held on a semi-regular basis that may or may not include the erection of structures. Typical uses include wedding venues, concerts, galas, and tradeshow.

A-GEN Agricultural, General District

304 Discretionary Uses

Special Function Business

## **Special Function Business**

- **154** Special Function Business General Requirements:
  - a) May only be located on a parcel for 15 cumulative days in a calendar year, excluding the time used to erect or dismantle any temporary structures.
    - The applicant has indicated that the venue will operate for a total of 15 days per year.
- **155** Special Function Business Site Requirements:
  - a) The maximum area of a Special Function Business shall not exceed 400.0 m2 (4305.56 ft2) or 1% of the parcel area, whichever is less.
    - The northern parcel where the venue will be located is 73.56 acres or 297,686.76 sq. m in size.
      - 1% of the area = 297,686.76 sq. m x 0.01 = 2,976.87 sq. m (32,042.76 sq. ft.); therefore, 400.00 sq. m (4,305.56 sq. ft.) is the maximum permitted
      - The outdoor venue will be approximately 250.00 sq. m (2,690.98 sq. ft.)
- **156** Special Function Business Development Permit Requirements:
  - a) A Development Permit application will respond to Section 154 and 155, and
  - b) A Development Permit for a special function business shall not exceed three (3) years.
    - As this is the first application for the Special Function Business, proposed conditions of approval will include a 1 year time limit.

### 236 Parking Minimums

- Special Function Business is not listed in the parking table

ROCKY VIEW COUNTY

- As per section 237, where a use is not listed, the number of spaces shall be determined by the Development Authority, having regard for similar uses and the estimated parking demand of the proposed use.
- Religious Assembly would be the most similar use in terms of number of vehicles that would be attending a wedding ceremony.
  - Religious Assembly: 7.5 stalls per 100.0 m2 (1076.39 ft2) gross floor area
  - 250 sq. m / 100 = 2.5 \* 7.5 = 18.75 = 19 stalls
  - The Applicant/Owner is proposing a total of 75 stalls in the main parking area with overflow for up to 90 additional cars.
  - They have identified 20 stalls at the existing garden centre as well but these will not be included in this count as they are associated to another use.
  - Total stalls provided = 165
  - No barrier free stalls identified

# STATUTORY PLANS:

The subject property is not located within any statutory plans. As such, the application was evaluated in accordance with the Land Use Bylaw.

# INSPECTOR'S COMMENTS:

November 24, 2020

- No pre-grading or construction started yet
- Existing structures disassembled for the season
- Landowner not on site
- No fencing prohibiting access to road
- Currently limited space for parking (~15-20 stalls)

# CIRCULATIONS:

## Western Irrigation District

• No comments received.

# Wheatland County

Wheatland County has a few concerns/comments regarding this proposed development.

- 1) Concerns regarding an increased volume of traffic on a road that is maintained by Wheatland County.
- 2) Wheatland County would like to see dust control measures placed in front of the adjacent resident and at the intersection of Highway #1.
- 3) Regarding the Wheatland County resident directly to the east of this property, do the events include wedding dances or other noisy activities that will affect local residents?

# Alberta Health Services

• No comments received.

# Development Compliance Officer Review

• No comments received.

## Engineering Services Review



## <u>General</u>

- The review of this file is based upon the application submitted. Should the submission material be altered or revised at subsequent development stages these conditions/recommendations may be subject to change to ensure best practices and procedures.
- As the subject lands are adjacent to Boundary Road, the application shall be circulated to Wheatland County for their review/comment.
- As the subject lands are adjacent to a WID canal, the application shall be circulated to WID for their review/comment and the applicant shall maintain any setback as required by WID.

#### Geotechnical - Section 300.0 requirements:

- Steep slopes are not observed on the subject lands.
- Engineering has no requirements at this time.

#### Transportation - Section 400.0 requirements:

- As per GIS review, the parcel gains access off Boundary Road which is maintained by Wheatland County. Any upgrades to the existing approach shall be in accordance with Wheatland county requirements/comments.
- As per the application, a gathering capacity of 150 guests is proposed. Therefore, the proposed development may cause an increase traffic in the road network. Prior to issuance of DP, the applicant is required to provide a Trip Generation Assessment indicating the volume of traffic to be drawn towards the site on a regular basis and on special events.
- TOL is deferred at this time for renewable permits.

#### Sanitary/Waste Water - Section 500.0 requirements:

- The applicant has indicated that washroom facilities on site may be used for the proposed events.
- Should the applicant intend to use the existing washroom facilities, prior to issuance, the
  applicant will be required to provide an assessment of the existing sanitary/waste water system
  by a qualified professional to determine if the existing system is suitable to support the proposed
  development. Should the existing sanitary/wastewater system not be suitable, the applicant will
  be required to install an appropriately sized sewage holding tank support the proposed
  development in accordance with County Policy 449.

#### Water Supply and Waterworks - Section 600.0 & 800.0 requirements:

- As per the application, drinking water for the events is to be externally supplied for special events. Engineering has no concerns with this approach.
- As a permanent condition, should groundwater be used the applicant will be required to attain all necessary licenses from AEP.
- Engineering has no requirements at this time.

#### **Storm Water Management** – Section 700.0 requirements:

- As per the application, the applicant is not proposing to install any permanent structures or hard surfaces. Therefore, a SSIP is not warranted at this time.
- Engineering has no requirements at this time.



#### **Environmental** – Section 900.0 requirements:

- The proposed development does not appear to be impacting any wetlands. Should the owner propose development that has a direct impact on any wetlands, the applicant will be responsible for obtaining all required AEP approvals.
- Engineering has no requirements at this time.

## Agricultural Services Staff

• No agricultural concerns.

### **OPTIONS:**

<u>Option #1</u>: (this would allow the proposed development to commence)

APPROVAL, subject to the following conditions:

### **Description:**

- 1. That a Special Function Business, for an outdoor event venue may operate on the subject parcel in accordance with the approved Site Plan, application, and conditions of this permit and includes:
- i. An outdoor venue space, approximately 250.00 sq. m (2,690.98 sq. ft.) in area;
- ii. A maximum guest attendance not to exceed 155 guests per event; and
- iii. One onsite identification sign, in accordance with the updated signage details as submitted.

#### Prior to Issuance:

- 2. That prior to issuance of this permit, the Applicant/Owner shall submit a revised parking plan that identifies a minimum of five (5) barrier free parking stalls, in accordance with the Alberta Building Code.
- 3. That prior to issuance of this permit, the Applicant/Owner shall submit signage details of the proposed onsite signage.
- 4. That prior to issuance of this permit, the Applicant/Owner shall submit a Trip Generation Assessment, in accordance with County Servicing Standards, indicating the volume of traffic to be drawn towards the site on a regular basis and on special events. The Assessment shall also indicate any recommendations required to be implemented and adhered to by the Applicant/Owner for the subject proposal.
- 5. That prior to issuance of this permit, the Applicant/Owner shall provide an assessment by a qualified professional of the existing sanitary/wastewater system to determine if the existing system is suitable to support the proposed development, to the satisfaction of the County.
- i. Should the existing sanitary/wastewater system not be suitable, the Applicant/Owner will be required to install an appropriately sized sewage holding tank to support the proposed development, in accordance with the County Servicing Standards.
- ii. Should the Applicant/Owner not intend to use the existing washroom facilities for special events, written confirmation shall be provided to the County.

#### Permanent:

6. That any plan, technical submission, agreement, matter or understanding submitted and approved as part of the application or in response to a Prior to Issuance condition shall be implemented and adhered to in perpetuity.

ROCKY VIEW COUNTY

- 7. That no off-site advertisement signage associated with the Special Function Business shall be permitted.
- 8. That if additional onsite or offsite signage is required, a separate development permit shall be applied for, excluding onsite wayfinding signage (such as parking identification or directions).
- 9. That there shall be a minimum of 165 parking stalls, 5 of which are barrier free stalls, available onsite during operation of the Special Function Business.
- 10. That at no time shall event guests utilize the existing permanent washroom facilities onsite and shall be restricted to portable facilities or a singular bathroom in the Bloomfield Garden Centre building, unless otherwise approved through the Servicing Assessment.
- 11. That the Special Function Business shall not operate on the subject property for more than 15 cumulative days in a calendar year, excluding the time used to erect or dismantle any temporary structures.
- i. The time taken to erect or dismantle any temporary structures shall be no sooner or later than **7 days** before or after a scheduled Special Function event.
- 12. That the operation of the Special Function Business shall not generate excessive or unacceptable increases in traffic within the neighbourhood or immediate area.
- 13. That the Special Function Business shall not generate noise, smoke, steam, odour, dust, fumes, exhaust, vibration, heat, glare, or refuse matter considered offensive or excessive by the Development Authority, and at all times, the privacy of the adjacent resident dwellings shall be preserved. The Special Function Business use shall not, in the opinion of the Development Authority, unduly offend or otherwise interfere with neighbouring or adjacent residents.
- 14. That all on-site lighting shall be dark sky, and all private lighting, including site security lighting and parking area lighting, shall be designed to conserve energy, reduce glare, and reduce uplight. All development shall demonstrate lighting design that reduces the extent of spill-over glare, and eliminates glare as viewed from nearby residential properties.
- 15. That if this permit is not issued by **JUNE 30, 2021** or the approved extension date, then this approval is null and void and the Development Permit shall not be issued.
- 16. That this Development Permit, once issued, shall be valid until **JANUARY 6, 2022.**

### Advisory:

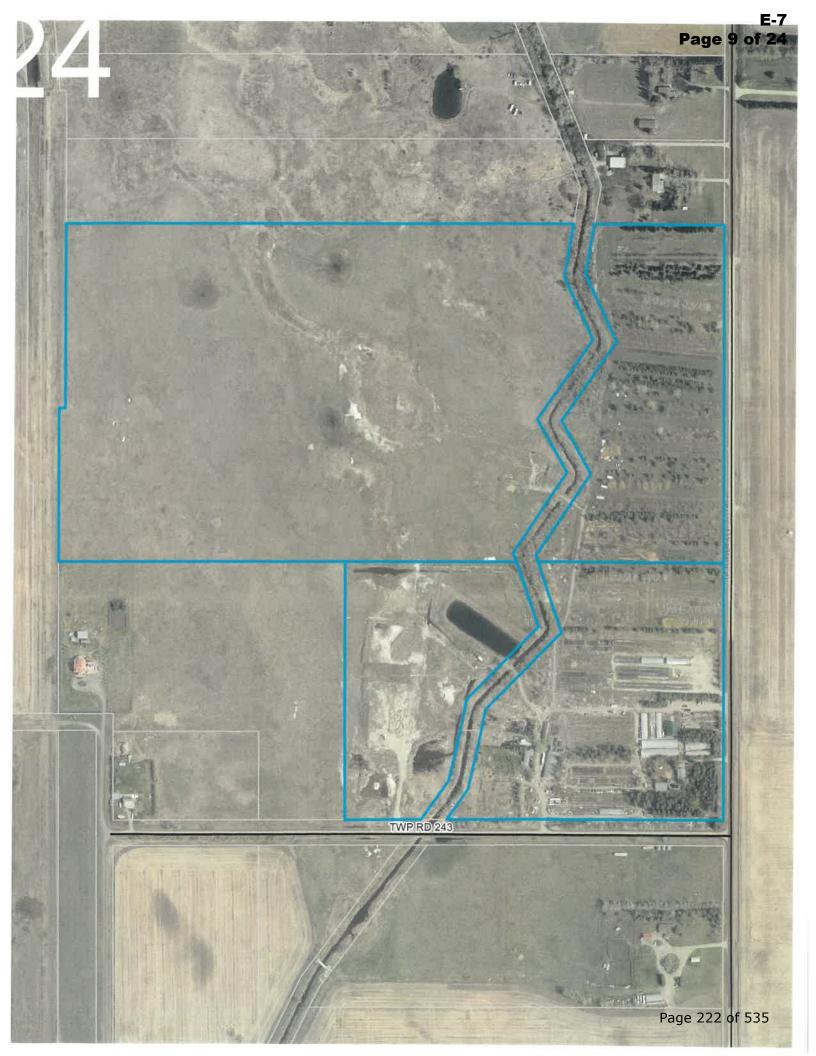
- 17. That the Applicant/Owner shall contact Wheatland County to:
- i. discuss the requirement of any upgrades to the existing approaches on Boundary Road, that are to be used by the Special Function Business.
- ii. obtain any approvals for road maintenance and dust mitigation on Boundary Road, prior to the commencement of a scheduled Special Function event.
- 18. That the County's Noise Bylaw C-5772-2003 shall be adhered to at all times.
- 19. That Building Permit(s) shall be obtained from Building Services prior to the erection of any temporary event tents, per event as required under the Alberta Building Code.
- 20. That all other government compliances and approvals are the sole responsibility of the Applicant/Owner.
- i. That the Applicant/Owner shall obtain any required Alberta Health Services requires for events and food handling onsite, prior to commencement of operation.

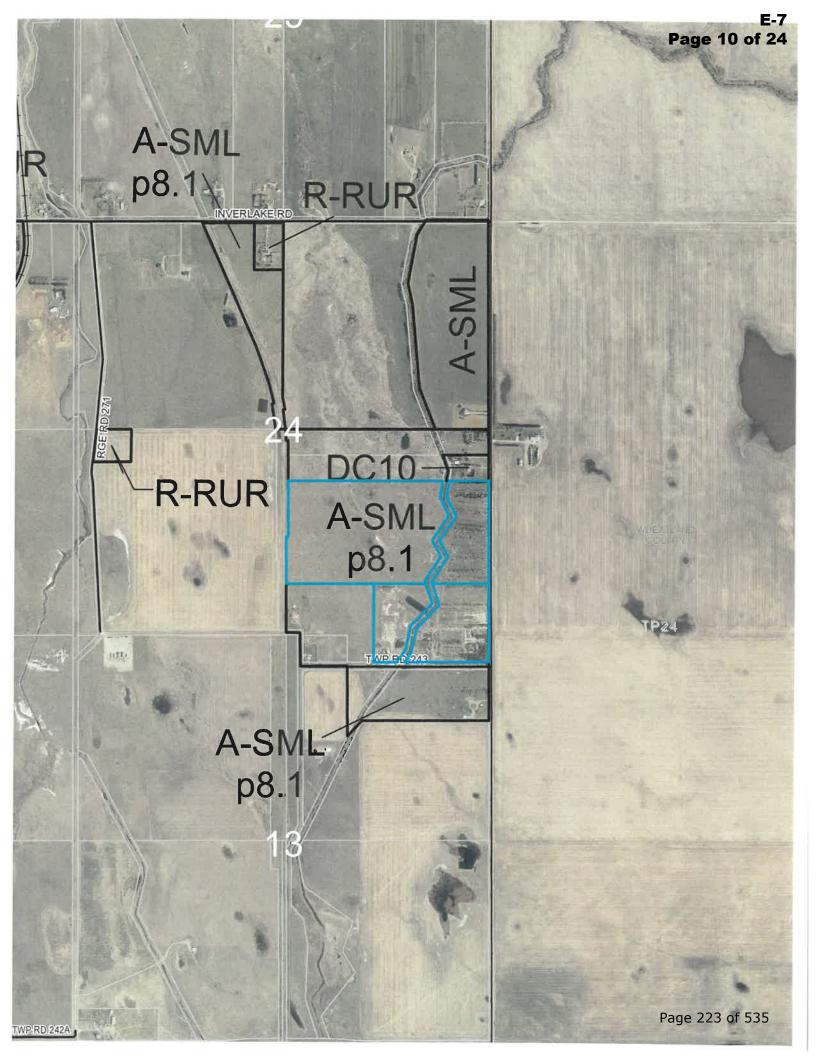
Option #2: (this would not allow the proposed development to commence)



REFUSAL as per the following reasons:

1. That in the opinion of the Municipal Planning Commission, the development unduly interferes with the amenities of the neighbourhood and materially interferes with and affects the use, enjoyment, and value of neighbouring parcels of land.





ROCKY VIEW COUNTY DEVELOPMENT PERMIT APPLICATION		APPLICATION NO. A policition DELEMO RENEWAL OF FEES PAID	ROFFICE USI 0421300 0422400 PRDP 2	1 (Jen 202032		
APPLICANT/OWNER			DATE OF RECEIPT	Valia	100	
Applicant Name: TARANCE	ZAK					
Business/Organization Name (if applied		TREE LA	NOSCAPE	S	5	
Landowner Name(s) per title (if not the Business/Organization Name (if applie		EENVIEW			ee fa	RM (CR
		J				
LEGAL LAND DESCRIPTION - Subj			11			
All/part of: 5 1/4 Section: 24	Township: 24	Range: 77	West of: 9	Meridian	Division:	70.00
All parts of Lot(s)/Unit(s):	Block:	Plan:	Land Use Distr	Parcel Size	e (ac/ha):	15.56
Municipal Address: APPLICATION FOR - List use and so	ono of work		Land Use Distr		ML	
SPECIAL FUNCTIO		255			1	
Variance Rationale included:       YES       NO       N/A       DP Checklist Included:       YES       NO         SITE INFORMATION       <						
<ul> <li>a. Oil or gas wells present on or</li> <li>b. Parcel within 1.5 kilometres o</li> <li>c. Abandoned oil or gas well or</li></ul>	f a sour gas facility ( pipeline present on t pviewer.aer.ca/AER/	well, pipeline or pl he property <u>AbandonedWells/In</u>	ant) dex.html)	dway)	□ YES □ YES □ YES □ YES	E NO E NO
AUTHORIZATION						
I, TARANCE ZAK       (Full name in Block Capitals), hereby certify (initial below):         That I am the registered owner ORThat I am authorized to act on the owner's behalf.         That the information given on this form and related documents, is full and complete and is, to the best of my knowledge, a true statement of the facts relating to this application.         That I provide consent to the public release and disclosure of all information, including supporting documentation, submitted/contained within this application as part of the review process. I acknowledge that the information is collected in accordance with s.33(c) of the Freedom of Information and Protection of Privacy Act.         Right of Entry: I authorize/acknowledge that Rocky View County may enter the above parcel(s) of land for						
Applicant Signature Date	enforcement relate		n in accordance w wner Signature Date	vith Section	542 of the	0

Rocky View County Planning Services 262075 Rocky View Point Rocky View County, AB T4A 0X2

## **Special Function Business - Development Permit Application**

We wish to apply for a permit for an event venue located at 243015 Boundary Road.

As owners of two adjacent parcels of land, we intend to use both parcels as follows:

1. Venue (Short Legal Address: 4;27;24;24;SE)

The event venue consists of an open area which is ideal for a small wedding ceremony, or other gathering. Capacity up to 150 guests.

Site Dimensions: The space consists of an area approximately 10m by 25m, equalling 250 square metres.

#### 2. Parking (Short Legal Address: 7610142;1)

We have ample parking for up to 75 cars in a gravelled parking lot, with its own access from Boundary Road. There is also overflow space for an additional 70 cars in that area. There is also overflow parking available for up to 40 cars adjacent to Bloomfield Garden Centre.

#### Parking Lot Dimension: 32m x 75m

Vehicle access is available for equipment/supplies and for VIP or elderly/disabled guests who need to be dropped right at the venue site. This access is from a road within the property, not directly from Boundary Road.

#### Additional Information

- We will be acting as the venue provider only, not the event organizer.
- Functions will be offered on a maximum of 15 days per year.
- The event site is completely surrounded by trees (30-40 feet tall) which will block any direct light coming from the area.
- The event site is separated from the nearest neighbour by 7 rows of mature trees.

- Event organizers will have the option to bring in porta-potties if required. Otherwise there is a bathroom available for use in the Bloomfield Garden Centre building.
- If catering or other food/beverage services are required, event organizers will be responsible for bringing this in and ensuring the appropriate permitting/licencing requirements are met.
- Vehicle access to the venue site is via a road within the property, not directly from Boundary Road.

Your sincerely,

Tarance Zak Greentree Landscapes 243015 Boundary Road, Box 12, Site 16, RR7, LCD 1, Calgary, Alberta, T2P 2G7

Venue



LAND TITLE CERTIFICATE

S LINC SHORT LEGAL TITLE NUMBER 0018 862 862 4;27;24;24;SE 961 184 073 LEGAL DESCRIPTION MERIDIAN 4 RANGE 27 TOWNSHIP 24 SECTION 24 QUARTER SOUTH EAST CONTAINING 64.7 HECTARES (160 ACRES) MORE OR LESS **EXCEPTING THEREOUT:** FIRST: THE NORTH 660 FEET OF THE SAID SOUTH EAST QUARTER CONTAINING 16.2 HECTARES (40 ACRES) MORE OR LESS SECONDLY: PLAN NUMBER HECTARES ACRES MORE OR LESS RAILWAY AND EXTRA RIGHT OF WAY RY226 1.10 2.72 CANAL RIGHT OF WAY IRR639 2.26 5.60 ROADWAY 4221AF 0.158 0.39 SUBDIVISION 7610142 15.30 37.73 EXCEPTING THEREOUT ALL MINES AND MINERALS AND THE RIGHT TO WORK THE SAME ESTATE: FEE SIMPLE MUNICIPALITY: ROCKY VIEW COUNTY REFERENCE NUMBER: 811 081 901 ------REGISTERED OWNER(S) REGISTRATION DATE (DMY) DOCUMENT TYPE VALUE CONSIDERATION 961 184 073 14/08/1996 TRANSFER OF LAND \$147,000 CASH & MORTGAGE **OWNERS** GREENVIEW NURSERIES & TREE FARMS CORP. OF BOX 12, SITE 16, RR 7 CALGARY ALBERTA T2P 2G7 (DATA UPDATED BY: CHANGE OF NAME 011064708) (DATA UPDATED BY: CHANGE OF ADDRESS 161152186)

		E-7 Page 15-of 24
REGISTRATION NUMBER	!	CUMBRANCES, LIENS & INTERESTS PAGE 2 # 961 184 073 PARTICULARS
8180KU .	17/05/1971	IRRIGATION ORDER/NOTICE THIS PROPERTY IS INCLUDED IN THE WESTERN IRRIGATION DISTRICT
731 034 466	17/07/1973	CAVEAT RE : DEFERRED RESERVE CAVEATOR - THE CALGARY REGIONAL PLANNING COMMISSION. (DATA UPDATED BY: 191067643 )
741 090 201	25/09/1974	UTILITY RIGHT OF WAY GRANTEE - CANADIAN WESTERN NATURAL GAS COMPANY LIMITED.
161 126 175		MORTGAGE MORTGAGEE - MERVIN FALKENBERG MORTGAGEE - JANET FALKENBERG MORTGAGEE - DEAN FALKENBERG ALL OF : 484 SILVER GROVE GARDENS NW CALGARY ALBERTA T3B4S8 ORIGINAL PRINCIPAL AMOUNT: \$600,000

TOTAL INSTRUMENTS: 004

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN ACCURATE REPRODUCTION OF THE CERTIFICATE OF TITLE REPRESENTED HEREIN THIS 13 DAY OF OCTOBER, 2020 AT 11:53 A.M.

ORDER NUMBER: 40298724

CUSTOMER FILE NUMBER:



\*END OF CERTIFICATE\*

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED FOR THE SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER, SUBJECT TO WHAT IS SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION, APPRAISAL OR OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS PART OF THE ORIGINAL PURCHASER APPLYING PROFESSIONAL, CONSULTING OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT(S).



LAND TITLE CERTIFICATE

S LINC SHORT LEGAL TITLE NUMBER 0016 914 822 7610142;1 961 184 096 LEGAL DESCRIPTION PLAN M.D. ROCKY VIEW 7610142 BLOCK ONE (1) CONTAINING THIRTY FOUR AND THIRTY FOUR HUNDREDTHS (34.34) ACRES MORE OR LESS EXCEPTING PLAN NO. ACRES MORE OR LESS CANAL RIGHT OF WAY IRR639 1.47 CANAL RIGHT OF WAY IRR566 0.70 EXCEPTING THEREOUT ALL MINES AND MINERALS AND THE RIGHT TO WORK THE SAME ATS REFERENCE: 4;27;24;13;NE ATS REFERENCE: 4;27;24;24;SE ESTATE: FEE SIMPLE MUNICIPALITY: ROCKY VIEW COUNTY REFERENCE NUMBER: 761 019 861 -----REGISTERED OWNER(S) REGISTRATION DATE (DMY) DOCUMENT TYPE VALUE CONSIDERATION 961 184 096 14/08/1996 TRANSFER OF LAND \$453,000 CASH & MORTGAGE OWNERS GREENVIEW NURSERIES & TREE FARMS CORP. OF BOX 12, SITE 16, RR 7 CALGARY ALBERTA T2P 2G7 (DATA UPDATED BY: CHANGE OF NAME 011064708) (DATA UPDATED BY: CHANGE OF ADDRESS 161152186)

E-7 ------Page 17 of 24 ENCUMBRANCES, LIENS & INTERESTS PAGE 2 REGISTRATION # 961 184 096 NUMBER DATE (D/M/Y) PARTICULARS . \_ 731 034 466 17/07/1973 CAVEAT **RE : DEFERRED RESERVE** CAVEATOR - THE CALGARY REGIONAL PLANNING COMMISSION. (DATA UPDATED BY: 191067643 ) 741 079 463 19/08/1974 UTILITY RIGHT OF WAY GRANTEE - CANADIAN WESTERN NATURAL GAS COMPANY LIMITED. 741 090 201 25/09/1974 UTILITY RIGHT OF WAY GRANTEE - CANADIAN WESTERN NATURAL GAS COMPANY LIMITED. 761 019 859 19/02/1976 CAVEAT CAVEATOR - THE CALGARY REGIONAL PLANNING COMMISSION. DEFERRED RESERVE CAVEAT "NE OF 13" 161 127 993 02/06/2016 MORTGAGE MORTGAGEE - MOUNTAIN VIEW CREDIT UNION, LIMITED. 401, 6501 51 ST OLDS ALBERTA T4H1Y6 ORIGINAL PRINCIPAL AMOUNT: \$850,000 161 127 994 02/06/2016 CAVEAT RE : ASSIGNMENT OF RENTS AND LEASES CAVEATOR - MOUNTAIN VIEW CREDIT UNION, LIMITED. C/O RANDAL JARVIS LAW OFFICE 110, 304-3 AVE STRATHMORE ALBERTA T1P1Z1 AGENT - RANDAL JARVIS

TOTAL INSTRUMENTS: 006

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN ACCURATE REPRODUCTION OF THE CERTIFICATE OF TITLE REPRESENTED HEREIN THIS 13 DAY OF OCTOBER, 2020 AT 11:52 A.M.

ORDER NUMBER: 40298704

CUSTOMER FILE NUMBER:



#### \*END OF CERTIFICATE\*

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED FOR THE SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER, SUBJECT TO WHAT IS SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION, APPRAISAL OR OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS PART OF THE ORIGINAL PURCHASER APPLYING PROFESSIONAL, CONSULTING OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT(S).

## Sandra Khouri

From:	Wendy Zak
Sent:	November 4, 2020 12:43 PM
To:	Sandra Khouri
Subject:	[EXTERNAL] - PRDP20203241 Incomplete Application
Categories:	CityView Permitting Attachment

Do not open links or attachments unless sender and content are known.

Hi Sandra,

You recently sent Tarance an email with some questions about our development permit application and he asked me to send you the answers to the following questions:

1) There will be no permanent structures

2) We will sometimes make use of  $10' \times 10'$  canopies in the space - one for privacy for the wedding party and one for things like a guest book. They will not be permanent structures and will be used at the request of the wedding party.

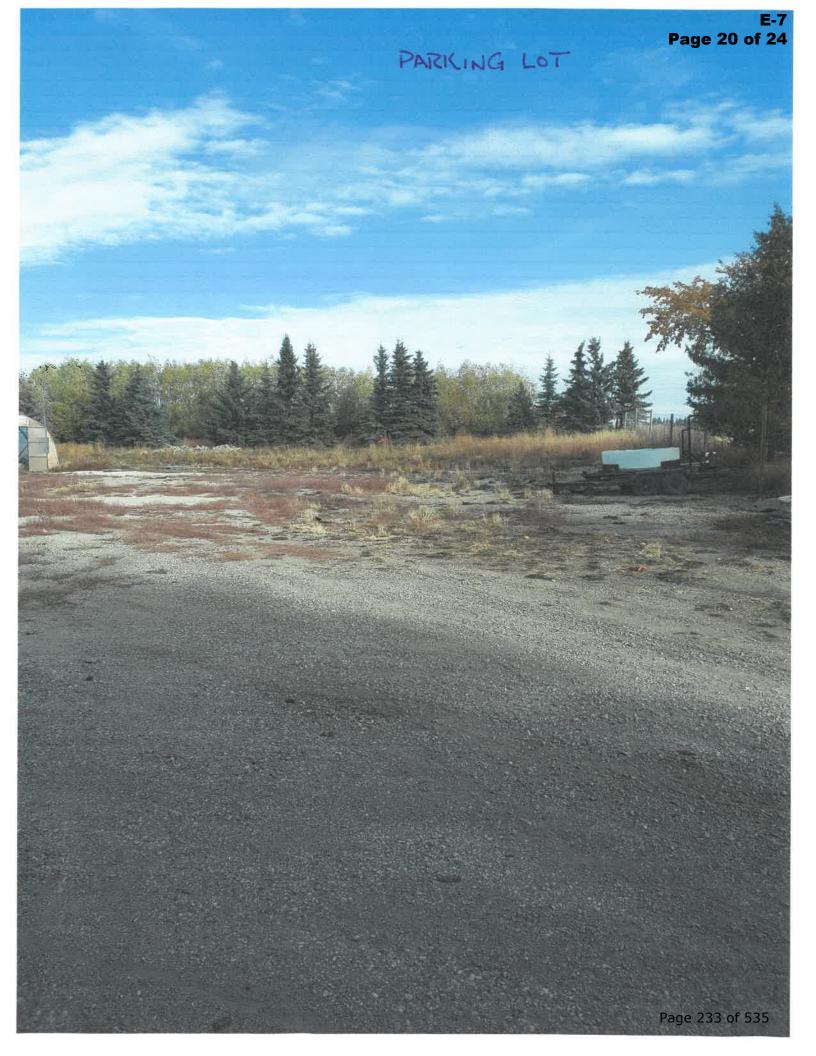
3) We will probably have one part-time employee, and only for the duration of the wedding season.

I think you confirmed that the form Tarance said will suffice to prove that we own Greenview, so I think that is all you need from me. Please could you confirm that you don't need anything else.

Thanks,

\_\_\_

Wendy Zak







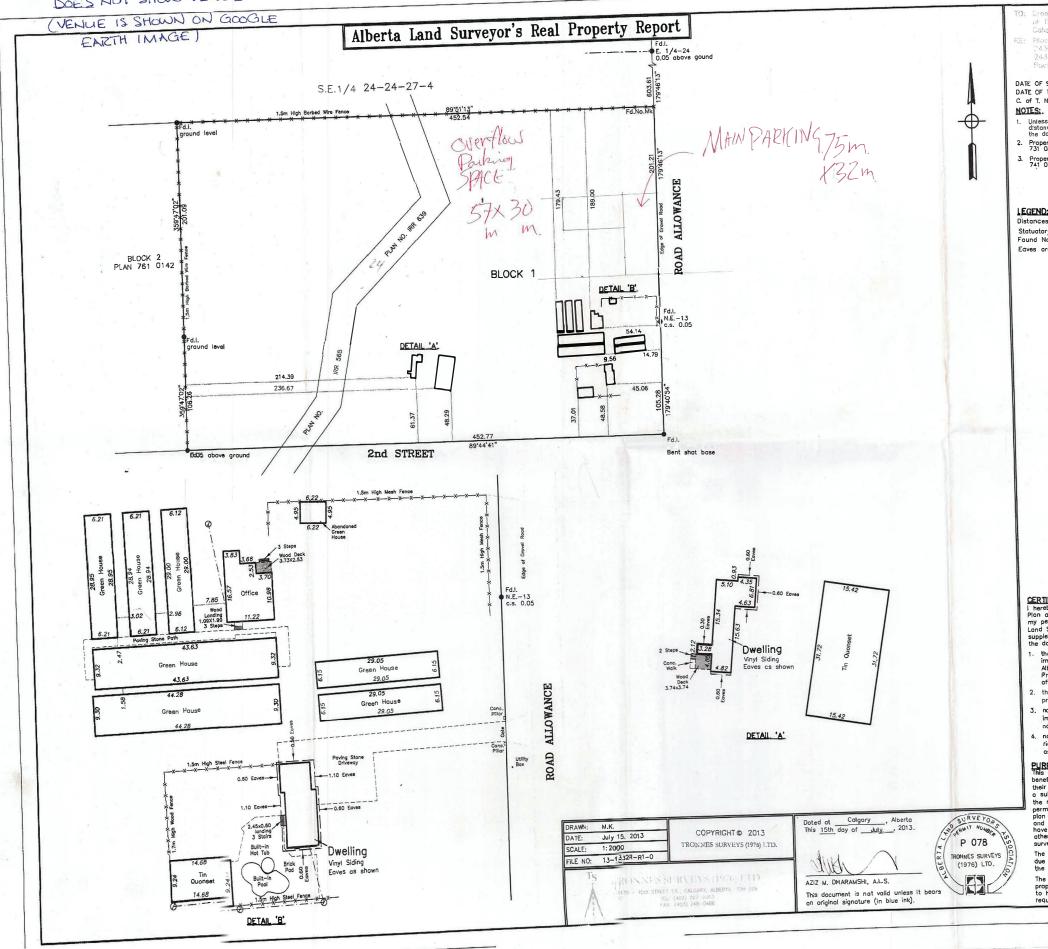


VEHICLE ACCESS TO THE SITE VIA A ROAD WITHIN THE PROPERTY

(Page 236 of 535 OVERFLOW

THIS IS ONLY THE PROPERTY WHERE PARKING IS





## E-7 Page 24 of 24

Tree Forms Corr Site 15. latgory, Alberta Riock 1, Kan 761 0142 243015 Boundary Read - House 243003 Boundary Road - Ottlee Rocky View County, Alberta

DATE OF SURVEY: JJLY 10, 2013 DATE OF TITLE SEARCH: JULY 10, 2013 961 184 096

Unless otherwise specified, the dimensions shown relate to distances from property boundaries to foundation walls only a the date of survey.

2. Property is subject to coveats registered as No.s 731 034 466 and 761 019 859.

Property is subject to Utility Right of Way registered as No.s 741 079 463, 741 090 201.

#### LEGEND;

Distances shown are in metres and decimals thereof. Statuatary Iron Posts Found shawn thus: Faund No Mark, re—established lacation shown thus: Eaves are dimensioned to the line of fascia.

CERTIFICATION:. I hereby cartify that this Repart, which includes the attached Plan and related Survey, was prepared and performed under my personal supervision and in accordance with the Alberta Land Surveyors' Association Monual of Standard Practice and supplements thereto. Accordingly within those standards as of the date of this Report, I am of the opinion that:

- te acte ar this report, i am ar the opinion that: the plan illustrates the boundaries of the property, the improvements as defined in Part D. Section 8.5 of the Alberta Land Surveyors' Association's Manual of Standard Practice, and registered easements and rights-of-way offecting the extent of the title to the property;
- the improvements are entirely within the boundaries of property, (except as noted herein).
- no visible encroachments exist an the property from any improvements situated an an adjoining property, (except a noted herein).
- no visible encroachments exist an registered easements or rights-of-way affecting the extent of the property, (except as noted herein).

PURPOSE: This Report and the related plan have been prepared for the benefit of the property owner, subsequent owners and any of their agents for the purpose of (a land conveyance, support of a subdivision application, a mortgage application, a submitted to the municipality for a compliance certificate, etc.). Capying is permitted only for the benefit of these parties, and anly if the plan remains attached. Where applicable, registered easements and utility rights-of-way affecting the extent of the property have been shown on the attached plan. Unless shown atterwise, property corners have not been placed during the survey for this repart. The attached plan should not be used to establish boundaries

The attached plan should not be used to establish boundaries due to the risk of misinterpretation or measurement error by the user.

The information shown on this Report reflects the status of this property as of the date of survey only. Users are encouraged to have the Real Property Report updated for future requirements.



# PLANNING AND DEVELOPMENT SERVICES

TO: Municipal Planning Commission

DIVISION: 9

SUBJECT: Development Item: Single-Lot Regrading

USE: Discretionary use, no Variances

**APPLICATION:** Single-lot regrading and placement of clean fill.

**GENERAL LOCATION:** Located approximately 0.81 km (1/2 mile) south of Twp. Rd. 274 and on the east side of Hwy. 22.

LAND USE DESIGNATION: Agricultural, General District (A-GEN) under Land Use Bylaw C-8000-2020.

ADMINISTRATION RECOMMENDATION: Administration recommends Approval in accordance with Option #1.

## **OPTIONS:**

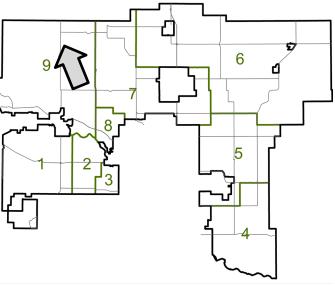
- Option #1: THAT Development Permit Application PRDP20203619 be approved with the conditions noted in the Development Permit Report, attached.
- THAT Development Permit Application PRDP20203619 be refused as per the reasons Option #2: noted.

## **AIR PHOTO & DEVELOPMENT CONTEXT:**



**DATE:** December 10, 2020

APPLICATION: PRDP20203619





# DEVELOPMENT PERMIT REPORT

Application Date: November 6, 2020	File: 07823004
Application: PRDP20203619	Applicant/Owner: McLeod, Colby Allen
Legal Description: SW-23-27-04-05	<b>General Location:</b> located on the east side of Hwy. 22, approximately 0.81 km (1/2 mile) south of Twp. Rd. 274
Land Use Designation: Agricultural, General District (A-GEN) under Land Use Bylaw C-8000- 2020.	Gross Area: ± 63.72 hectares (± 157.45 acres)
File Manager: Sandra Khouri	Division: 9

### PROPOSAL:

The proposal is for the single-lot regrading and placement of clean fill.

This application is a result of an enforcement file with Development Compliance. The Applicant has already completed the work, which involved placement of clean fill and regrading a portion of the northwest corner of the property. Based on the County's aerial mapping and measuring tool, the disturbed area appears to be approximately 1.41 hectares (3.50 acres) in size.

The subject property is a quarter section located off of Highway 22, surrounded by other agricultural parcels. The property appears to be developed with a dwelling, a private riding arena (2004-DP-11226), and various farm buildings.

### STATUTORY PLANS:

The subject property is not located within any Statutory Plans. As such, the application was evaluated in accordance with the Land Use Bylaw and the County Servicing Standards.

### **OPTIONS:**

Option #1 (this would allow the development to commence)

APPROVAL, subject to the following conditions:

### **Description:**

1. That single-lot regrading and the placement of clean fill shall be permitted in general accordance with the approved drawings and the conditions of this permit.

### Prior to Issuance:

- 2. That prior to issuance of this permit, the Applicant/Owner shall submit a grading plan, conducted and stamped by a professional engineer, which provides pre-development and post-development grades, in accordance with County Servicing Standards.
  - i. That should there be any areas of fill that are greater than 1.20 m (3.93 ft.) in depth, the Applicant/Owner shall submit a Deep Fills report, conducted by a professional

ROCKY VIEW COUNTY

geotechnical engineer for all areas of fill greater than 1.20 m (3.93 ft.) in depth, in accordance with County Servicing Standards.

- 3. That prior to issuance of this permit, the Applicant/Owner shall submit a stormwater memo, prepared by a qualified professional, confirming if there are any stormwater implications due to proposed development.
  - i. Should improvements be necessary, the Applicant/Owner shall submit a site specific stormwater management report, prepared by a qualified professional, addressing the necessary improvements to be implemented on the subject land to support the proposed development in accordance with the County Servicing Standards.

#### Permanent:

- 4. That any plan, technical submission, agreement, matter or understanding submitted and approved as part of the application or in response to a Prior to Issuance condition shall be implemented and adhered to in perpetuity.
- 5. That it shall be the responsibility of the Applicant/Owners to ensure the fill has been placed in a safe manner that does not cause slope stability issues, slumping, or any other related safety issues.
- 6. That upon completion of the proposed development, the Applicant/Owners shall submit an asbuilt survey, confirming that the development proposal and post grades align with the supporting technical submissions for the file.
- 7. That any material entering to or leaving from the site, shall be hauled on/off in a covered trailer/truck, which will prevent blowing of dust/small rocks onto the road or cause issues with other vehicles on the road.
  - i. That the clean-up of any mud tracking and/or dirt that enters onto any County roads during hauling, shall be the responsibility and cost of the Applicant/Owner for clean-up.
- 8. That no topsoil shall be removed from the site.
- 9. That the fill shall not contain large concrete, rebar, asphalt, building materials, organic materials, or other metal.
- 10. That the Applicant/Owners shall take effective measures to control dust on the parcel so that dust originating therein shall not cause annoyance or become a nuisance to adjoining property owners and others in the vicinity.
- 11. That if no future development of the proposed graded area occurs, the proposed graded area shall have a minimum of six (6) inches of topsoil placed on top, which shall then be spread and seeded to native vegetation, farm crop, or landscaped to the satisfaction of the County.
- 12. That the Applicant/Owners shall be responsible for rectifying any adverse effect on adjacent lands from drainage alteration.
- 13. That the subject land shall be maintained in a clean and tidy fashion at all times and all waste material shall be deposited and confined in an appropriate enclosure. All waste material shall be regularly removed from the property to prevent any debris from blowing onto adjacent property or roadways. That all garbage and waste shall be stored in weatherproof and animal proof containers and be in a location easily accessible to containerized garbage pickup.
- 14. That if this permit is not issued by **JUNE 30, 2021** or the approved extension date, then this approval is null and void and the Development Permit shall not be issued.



#### Advisory:

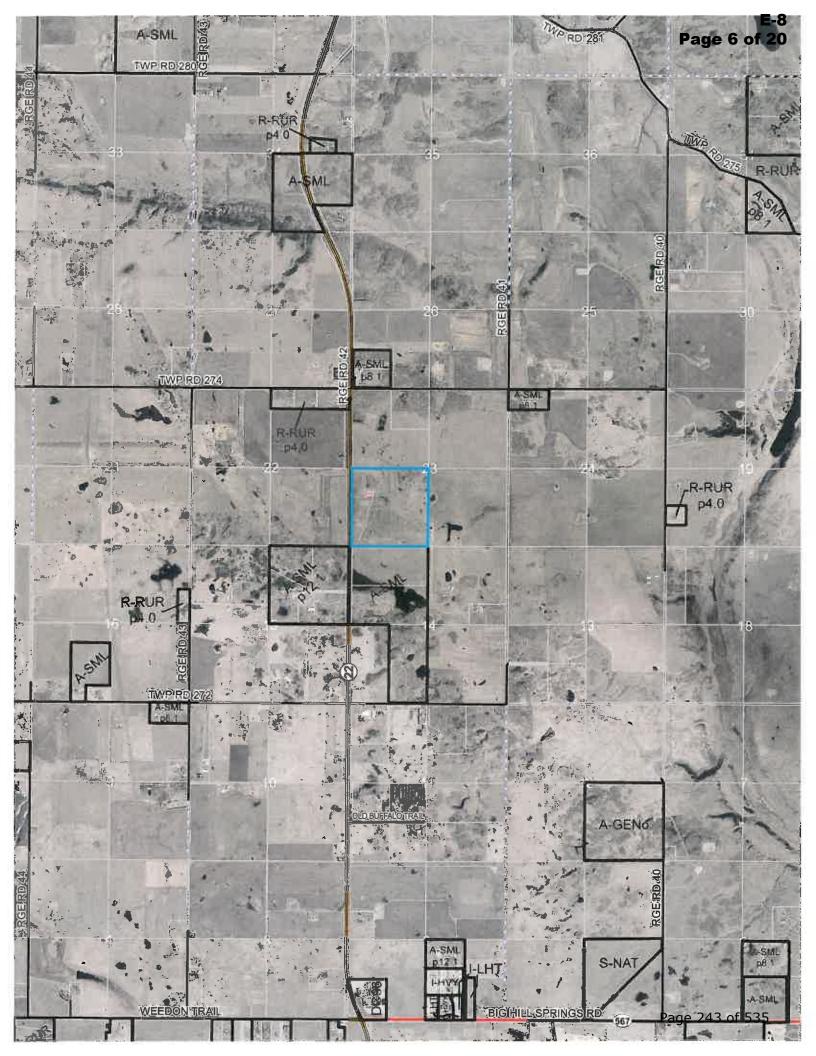
- 15. That any other government permits, approvals, or compliances are the sole responsibility of the Applicant/Owner.
- 16. That the subject development shall conform to the County's Noise Bylaw C-5773-2003 in perpetuity.
- 17. That the site shall remain free of restricted and noxious weeds and maintained in accordance with the *Alberta Weed Control Act.*
- 18. That if the development authorized by this Development Permit is not completed within eight (8) months of the date of issuance, the permit is deemed to be null and void.

Option #2: (this would not allow the development to commence)

REFUSAL, for the following reasons:

1. That in the opinion of the Municipal Planning Commission, the development unduly interferes with the amenities of the neighbourhood and materially interferes with and affects the use, enjoyment, and value of neighbouring parcels of land.





	E-t Page 7 of 20
	FOR OFFICE USE ONLY
01120000	For OFFICE USE ONLY
ROCKY VIEW COUNTY 20203619	1015.00 07823001
Cultivating Communities APPLICATION FOR A	Date of Receipt Receipt #
<b>BEVELOPGIENT PERMIT</b>	NON6,2000 2022026143
Name of Applicant Colby Allen Mcleod	
Name of Applicant Colby Attlen INCOR	
For Agents please supply Business/Agency/ Organization Name	
Registered Owner (if not applicant) and Mcleod Barthurset	a Lla
	er yesteller (Mr. 1947-1947)
APPLICATION FOR	
a) Are there any oil or gas wells on or within 100 metres of the subject property(s)?	Yes No
the accuracy of a sourced within 1.5 kilometres of a sour gas facility?	Yes No
(Sour Gas facility means well, pipeline or plant)	No.
c) Is there an abandoned oil or gas well or pipeline on the property?	Yes No
d) Does the site have direct access to a developed Municipal Road?	
REGISTERED OWNER OR PERSON ACTING ON HIS BEHALF	
Collar male d hereby certify that lam the regist	ered owner
(Full Name in Block Capitals)	d to act on the owner's behalf
and that the information given on this form	Affix Corporate Seal
is full and complete and is, to the best of my knowledge, a true statement of the facts relating to this application.	here if owner is listed as a named or
	numbered company
1/1 march	INI man
Applicant's Signature Owner's Signature	M/m
Date Nov. 6/20 Date	Nov. 8/20
evelopment Permit Application	sident - mclead Earthur

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#### 5. RIGHT OF ENTRY

I hereby authorize Rocky View County to enter the above parcel(s) of land for purposes of investigation and enforcement related to this Development Permit application.

Applicant's/Owner's Signature

Please note that all information provided by the Applicant to the County that is associated with the application, including technical studies, will be treated as public information in the course of the municipality's consideration of the development permit application, pursuant to the Municipal Government Act, R.S.A 2000 Chapter M-26, the Land Use Bylaw and relevant statutory plans. By providing this information, you (Owner/Applicant) are deemed to consent to its public release. Information provided will only be directed to the Public Information Office, 262075 Rocky View Point, Rocky View County, AB, T4A 0X2: Phone: 403-520-8199.

ab nclead I.

, hereby consent to the public release and disclosure of all information contained within this application and supporting documentation as part of the development process.

Nov. 6/20 Date nu Signature

TITLE NUMBER 201 102 055



LAND TITLE CERTIFICATE

S			
LINC			SHORT LEGAL
0021	370	804	5;4;27;23;SW

LEGAL DESCRIPTION

MERIDIAN 5 RANGE 4 TOWNSHIP 27 SECTION 23 QUARTER SOUTH WEST CONTAINING 64.7 HECTARES (160 ACRES) MORE OR LESS EXCEPTING THEREOUT FIRSTLY: THE ROAD WIDENING ON PLAN 2344JK CONTAINING 1.04 ACRES MORE OR LESS SECONDLY: THE ROAD WIDENING ON PLAN 731575 CONTAINING 1.51 ACRES MORE OR LESS EXCEPTING THEREOUT ALL MINES AND MINERALS

ESTATE: FEE SIMPLE

MUNICIPALITY: ROCKY VIEW COUNTY

REFERENCE NUMBER: 181 240 699

REGISTERED OWNER (S) REGISTRATION DATE (DMY) DOCUMENT TYPE VALUE CONSIDERATION

201 102 055 05/06/2020 TRANSFER OF LAND \$1,760,000 \$1,760,000

OWNERS

COLBY ALLEN MCLEOD



MCLEOD EARTHWORKS LTD.



-----Page 10 of 20 ENCUMBRANCES, LIENS & INTERESTS PAGE 2 # 201 102 055 REGISTRATION NUMBER DATE (D/M/Y) PARTICULARS \_\_\_\_\_ 051 181 427 26/05/2005 CAVEAT **RE : RESTRICTIVE COVENANT** CAVEATOR - THE MUNICIPAL DISTRICT OF ROCKY VIEW NO. 44. 911-32 AVE NE CALGARY ALBERTA T2E6X6 051 415 827 04/11/2005 UTILITY RIGHT OF WAY GRANTEE - COCHRANE LAKE GAS CO-OP LTD. 201 080 547 28/04/2020 CAVEAT **RE : EASEMENT** 201 102 056 05/06/2020 MORTGAGE MORTGAGEE - FARM CREDIT CANADA. 2ND FLOOR, 12040-149 STREET NW EDMONTON ALBERTA T5V1P2 ORIGINAL PRINCIPAL AMOUNT: \$2,000,000

TOTAL INSTRUMENTS: 004

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN ACCURATE REPRODUCTION OF THE CERTIFICATE OF TITLE REPRESENTED HEREIN THIS 6 DAY OF NOVEMBER, 2020 AT 03:55 P.M.

ORDER NUMBER: 40471654

CUSTOMER FILE NUMBER: PRDP20203619



E-8

\*END OF CERTIFICATE\*

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED FOR THE SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER, SUBJECT TO WHAT IS SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION, APPRAISAL OR OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS PART OF THE ORIGINAL PURCHASER APPLYING PROFESSIONAL, CONSULTING OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT(S)



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ALC: NO.

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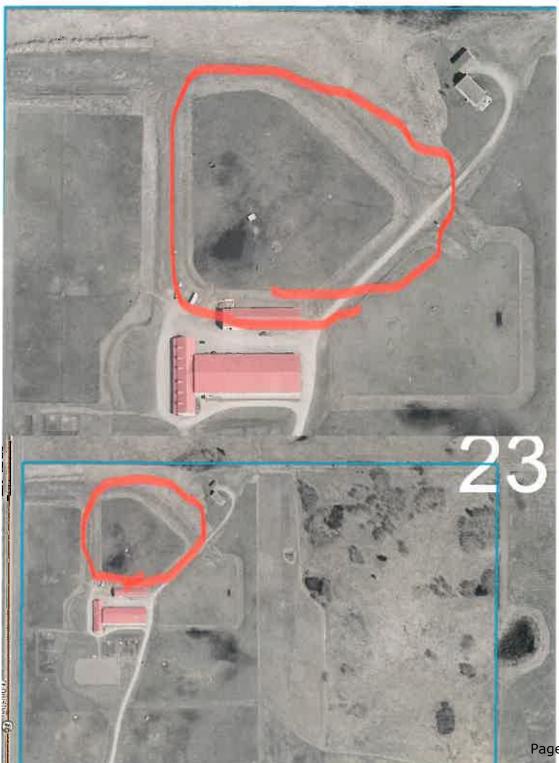




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2 Messages Filled out development app... /

to let me know and then delete this e-mail. Thank you.



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4

# PLANNING AND DEVELOPMENT SERVICES

TO: **Municipal Planning Commission** 

**DIVISION:** 

**DATE:** December 10, 2020

APPLICATION: PRDP20203116

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SUBJECT: Development Item: Dwelling, Single Detached

USE: Permitted use, with Variances

**APPLICATION:** Construction of a dwelling, single detached, relaxation of the minimum side yard setback requirement

**GENERAL LOCATION:** Located in the hamlet of Langdon

LAND USE DESIGNATION: Residential, Small Lot District (R-SML) under Land Use Bylaw C-8000-2020.

ADMINISTRATION RECOMMENDATION: Administration recommends Approval in

accordance with Option #1.

# V

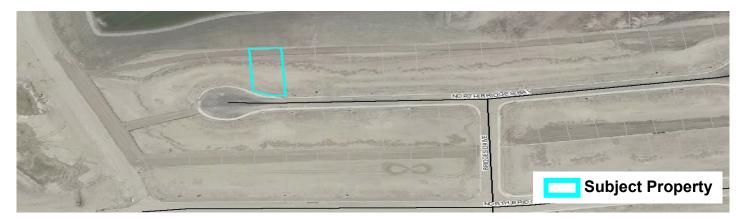
VARIANCE SUMMARY:			hand	
Variance	Requirement	Proposed	Percentage (%)	
Side Yard – one side without lane	3.00 m (9.84 ft.)	1.56 m (5.12 ft.)	48.00%	

9

# **OPTIONS:**

- Option #1: THAT Development Permit Application PRDP20203116 be approved with the conditions noted in the Development Permit Report, attached.
- THAT Development Permit Application PRDP20203116 be refused as per the reasons Option #2: noted.

# **AIR PHOTO & DEVELOPMENT CONTEXT:**





# **DEVELOPMENT PERMIT REPORT**

Application Date: October 05, 2020	File: 03215050
Application: PRDP20203116	<b>Applicant/Owner:</b> Kelly Kustom Homes (1121402 Alberta Ltd.)
Legal Description: Lot 41, Block 1, Plan 2011558, NE-15-23-27-04	<b>General Location:</b> located in the hamlet of Langdon
<b>Land Use Designation:</b> Residential, Small Lot District (R-SML) under Land Use Bylaw C-8000- 2020.	Gross Area: ± 0.07 hectares (± 0.18 acres)
File Manager: Sandra Khouri	Division: 4

# **PROPOSAL:**

The proposal is for the construction of a dwelling, single detached, relaxation of the minimum side yard setback requirement.

*Under Section 342, Dwelling, single detached* is listed as a permitted use. However, as a variance is required, it is considered discretionary.

# LAND USE BYLAW:

R-SML Residential, Small Lot District

Requirements				
Section	Regulation	Required	Proposed	Variance
346	Maximum Parcel Coverage	50% for principal building	28.10%	0%
347	Maximum Building Height (principal building)	12.00 m (39.37 ft.)	9.46 m (31.04 ft.)	0%
348	Front Yard	6.00 m (19.69 ft.)	7.23 m (23.72 ft.)	0%
323	Side Yard – one side without lane	3.00 m (9.84 ft.)	1.56 m (5.12 ft.)	48.00%
323	Side Yard – other side*	1.50 m (5.00 ft.)	1.56 m (5.12 ft.)	0%
323	Rear Yard	6.00 m (19.69 ft.)	14.51 m (47.60 ft.) / 11.16 m (36.61 ft.) to deck	0%

\*this setback was taken from Land Use Bylaw C-4841-97 as C-8000-2020 missed including it. This has been noted and will be presented to Council as an amendment.



# STATUTORY PLANS:

The subject property is located in the Langdon Area Structure Plan and the Bridges of Langdon Conceptual Scheme. Neither plan provides guidance for applications of this nature. As such, the application was assessed in accordance with the Land Use Bylaw.

# **INSPECTOR'S COMMENTS:**

Inspection: October 20, 2020

- Site is vacant with no development surrounding it
- Site appears to be staked out with pegs
- No screening at time of inspection
- No stockpiling

# **CIRCULATIONS:**

Building Services Review

No comments.

**Development Compliance Officer Review** 

• No comments received.

# **OPTIONS:**

Option #1: (this would allow the proposed development to commence)

APPROVAL, subject to the following conditions:

## **Description:**

- 1. That the construction of a dwelling, single detached may commence on the subject property, in accordance with the plot plan prepared by Ace Surveys, dated July 31, 2020 (File No. 20590).
  - i. That the minimum side yard setback requirement for the dwelling is relaxed from **3.00 m** (9.84 ft.) to **1.56 m** (5.12 ft.).

## Permanent:

- 2. That it is the responsibility of the Applicant/Owner to obtain approval from Rocky View County Road Operations for any new construction, installation or alterations of any driveways/approaches, prior to commencing any work on the driveways/approaches.
- 3. That there shall be no more than 2.00 m (6.56 ft.) of excavation or 1.00 m (3.28 ft.) of fill and/or topsoil placed adjacent to or within 15.00 m (49.21 ft.) of the proposed dwelling under construction that is used to establish approved final grades unless a Development Permit has been issued for additional fill and topsoil.
- 4. That no topsoil shall be removed from the subject property.
- 5. That the Applicant/Owners shall be responsible for rectifying any adverse effect on adjacent lands from drainage alteration.
- 6. That it is the Applicant/Owner's responsibility to obtain and display a distinct municipal address in accordance with the County Municipal Addressing Bylaw (Bylaw C-7562-2016), for the dwelling unit located on the subject site, to facilitate accurate emergency response



# Advisory:

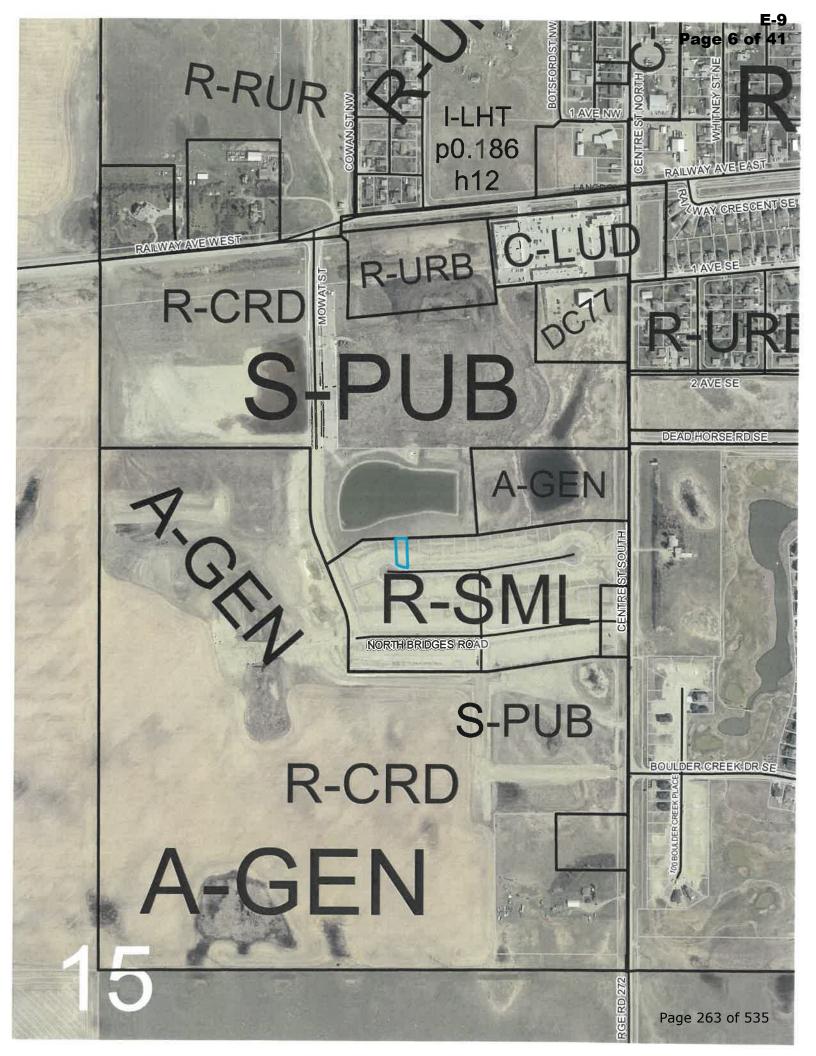
- 7. That any over government permits, approvals, or compliances are the sole responsibility of the Applicant/Owner.
- 8. That during construction, the County's Noise Control Bylaw C-5772-2003 shall be adhered to at all times.
- 9. That during construction, all construction and building materials shall be maintained on-site in a neat and orderly manner. Any debris or garbage shall be stored/placed in garbage bins and disposed of at an approved disposal facility.
- 10. That a Building Permit and subtrade permits shall be obtained through Building Services, prior to any construction taking place.
- 11. That if the development authorized by this Development Permit is not commenced with reasonable diligence within 12 months from the date of issue, and completed within 24 months of the issue, the permit is deemed to be null and void, unless an extension to this permit shall first have been granted by the Development Officer.

Option #2: (this would not allow the proposed development to commence)

REFUSAL as per the following reasons:

1. That in the opinion of the Municipal Planning Commission, the development unduly interferes with the amenities of the neighbourhood and materially interferes with and affects the use, enjoyment, and value of neighbouring parcels of land.





FOR OFFICE USE ONLY         FOR OFFICE USE ONLY         DEVELOPMENT PERMIT         APPLICATION         APPLICATION Name (if applicable):         Landowner Name(s) per title (if not the Applicant):       PolL4 % Ec       GACU_D         Business/Organization Name (if applicable):         LEGGAL LAND DESCRIPTION - Subject site         All parts of Lot(s/Unit(s): 4/1       Block: 1       Plan: 2er / 5's'g       Parcel Size (ec/ha):         Municipial Address       Start H & H & H & H & H & H & H & H & H & H	BOOKA MARKE CONTRACT	Page
PULCATION       POLLO O 32 15050         APPLICATION       PREVAL OF         APPLICATION       PREVAL OF         Applicant Name:       ALLY CLEMESTICE M         Applicant Name:       ALLY CLEMESTICE M         Business/Organization Name (if applicable):       KALLY (CLEMESTICE M         Business/Organization Name (if applicable):       KALLY (CLEMESTICE M         Alipart of:       MAK Section: 15         Township:       23         Range:       27         West of:       Mendian         Business/Organization Name (if applicable):         Landowner Name(s) per title (if not the Applicant):       PolLLY to CLEMESTICE APD         Business/Organization Name (if applicable):         Landowner Name(s) per title (if not the Applicant):       PolLLY to CLEMESTICE APD         Business/Organization Name (if applicable):       Hand Section:         Municipal Address:       12       Noi: 1         Place Aligner ADD PESCRIPTION - Subject site       Parcel Site (acha):         Municipal Address:       12       Noi: 1         Reginer Anterior OF SUBJect site       Parcel Site (acha):         Municipal Address:       12       Noi: 1         Parcel within 15 klometres of a sour gas facility (well, pipeline or parcel)       1.5 Marcel	KOCKY VIEW COUNTY APPLICATION NO. 202	JSE UNLY
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BESTELEOPMENT PERMIT       RENEWL OF         APPLICATION       RENEWL OF         APPLICATION       Date of RECEIPT         Applicant Name:       ALLY WARSTICK         Business/Organization Name (if applicable):       ALLY CONSTRUCTION         Landowner Name(s) per title (if not the Applicant):       Poull type Construction         Business/Organization Name (if applicable):       Business/Organization Name (if applicable):         LEGAL LAND DESCRIPTION - Subject site       Business/Organization Name (if applicable):         LEGAL LAND DESCRIPTION - Subject site       Business/Organization Name (if applicable):         LEGAL LAND DESCRIPTION - Subject site       Business/Organization Name (if applicable):         LEGAL LAND DESCRIPTION - Subject site       Business/Organization Name (if applicable):         Municipal Address:       121       Non-1         Muricipal Address:       121       No-1         Muricipal Address:       121       No-1         Muricipal Address:       121       NO-1         Muricipal Status       as an organization of work       RE LIPX MINON         RE L	ROLL NO. 037	15050
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Business/Organization Name (if applicable):		
Landowner Name(s) per title (if not the Applicant): Pollet 20 GREWD. Business/Organization Name (if applicable): LEGAL LAND DESCRIPTION - Subject site All/part of: M(X) Section: /s Township: 23 Range: 27 West of: Y Meridian Division: All parts of Lot(s)/Unit(s): Y Block: Plan: 201 / 55's Parcel Size (ac/ha): Municipal Address: /2/ Norzt A: 3/24/D&S 18.+7 Land Use District: R-SML APPLICATION FOR - List use and scope of work REL 19+K MT rein of: SIDR 4/MFD SET BACK FIBME 3: TO /.5 M Variance Rationale Included: YES NO N/A DP Checklist Included: YES NO STE INFORMATION a. Oil or gas wells present on or within 100 metres of the subject property(s) YES E NO C. Abandned oil or gas wells present on or within 100 metres of the subject property(s) YES NO C. Abandned oil or gas wells present on the property (Well Map Viewer: https://extmapriewer.aer.ca/AER/AbandonedW/elis/Index.html) d. Subject site has direct access to a developed Municipal Road (accessible public roadway) YES NO AUTHORIZATION MUTHORIZATI	Article ( bolt read	
Business/Organization Name (if applicable):         Business/Organization Name (if applicable):         LEGAL LAND DESCRIPTION - Subject site         All parts of Lot(s)/Unit(s): 4/       Block: 1       Plan: 2c i / 55'c       Parcel Size (ac/ha):         Municipal Address: /2/       Noistrat       Block: 1       Plan: 2c i / 55'c       Parcel Size (ac/ha):         Municipal Address: /2/       Noistrat       Block: 1       Plan: 2c i / 55'c       Parcel Size (ac/ha):         APPLICATION FOR - List use and scope of work       Rf L IPE INT (IN O CF 5 IB K 4 PPRD 5 /ET BAC K FIBUR 3 M TO 1.5 M         Variance Rationale included:       YES INO NA       DP Checklist Included:       YES INO         No       NA       DP Checklist Included:       YES INO         .       Abandoned oil or gas wells present on or within 100 metres of the subject property(s)       YES INO       YES INO         .       Abandoned oil or gas well or pipeline present on the property       YES INO       YES INO         .       Subject site has direct access to a developed Municipal Road (accessible public roadway)       YES INO         .       MLLLY With Stateman of the facts relating to this application.       That I am the registered owner OR for mand related documents, is full and complete and is, to the best of my knowledge, a true statement of the facts relating to this application.         .       That the information g	usiness/Organization Name (if applicable): KRLLY KUSTUM HOURS LT.S	
Business/Organization Name (if applicable):         LEGAL LAND DESCRIPTION - Subject site         All parts of Lot(s)/Unit(s):       1/2         Township:       2.3         Range:       2.7       West of:       4/4         Municipal Address:       1/2         Nunicipal Address:       1/2       No177       Range:       2.7       West of:       4/4         Municipal Address:       1/2       No177       Range:       2.7       Land Use District:       R-SML         APPLICATION FOR - List use and scope of work       RE       LIPH 17 10 <sup>-1</sup> 0.7       0.6       5.10.16       4.0440 5.16.17       File       Maintain 10.17       1.5       6.0         Variance Rationale included:       YES       NO       NA       DP Checklist Included:       YES       P. NO         StrE INFORMATION       a.       Oil or gas wells present on or within 100 metres of the subject property(s)       YES       YES       NO         b. Parcel within 1.5. Kilometres of a sour gas facility (well, pipeline or plant)       YES       YES       NO         c. Abandoned oil or gas well or pipeline present on the property       YES       YES       NO         J. Subject site has direct access to a developed Municipal Road (accessible public roadway)       YES       NO      <		
Business/Organization Name (if applicable):         LEGAL LAND DESCRIPTION - Subject site         All parts of Lot(s)/Unit(s):       1/2         Township:       2.3         Range:       2.7       West of:       4/4         Municipal Address:       1/2         Nunicipal Address:       1/2       No177       Range:       2.7       West of:       4/4         Municipal Address:       1/2       No177       Range:       2.7       Land Use District:       R-SML         APPLICATION FOR - List use and scope of work       RE       LIPH 17 10 <sup>-1</sup> 0.7       0.6       5.10.16       4.0440 5.16.17       File       Maintain 10.17       1.5       6.0         Variance Rationale included:       YES       NO       NA       DP Checklist Included:       YES       P. NO         StrE INFORMATION       a.       Oil or gas wells present on or within 100 metres of the subject property(s)       YES       YES       NO         b. Parcel within 1.5. Kilometres of a sour gas facility (well, pipeline or plant)       YES       YES       NO         c. Abandoned oil or gas well or pipeline present on the property       YES       YES       NO         J. Subject site has direct access to a developed Municipal Road (accessible public roadway)       YES       NO      <		
LEGAL LAND DESCRIPTION - Subject site         All/part of:       N(k ½       Section:       15"       Township:       2.3       Range:       2.7       West of:       4"       Meridian       Division:         All parts of Lot(s)/Unit(s):       4/1       Block:       1       Plan:       2 c 1 / 5" 5" b       Parcel Size (ac/ha):         Municipal Address:       121       Noi2274       13 PALD225       18 +7       Land Use District:       R-SML         APPLICATION FOR-List use and scope of work       REL 19**17*10*       0 +       5 1 D.C.       4 PA*D       5 1 D.C.       F120**17       3 m       70       1.5       64         Variance Rationale included:       YES       NO       N/A       DP Checklist included:       YES       NO         SITE INFORMATION       3       0 F       5 1 D.C.       VARABERAbandonedVells/Index.html)       YES       YES       NO         a.       Oil or gas wells present on or within 100 metres of the subject property (s)       YES       YES       NO         b.       Parcel within 1.5 kilometres of a sour gas facility (well, pipeline or plant)       YES       NO         c.       Abandoned oil or gas wells present on the wither ZERAbandonedVells/Index.html)       YES       NO         d.       Subject		
W/part of:       //k ½       Section:       / 5       Township:       2.3       Range:       2.7       West of:       4       Meridian       Division:         NI parts of Lot(s)/Unit(s):       4/       Block:       /       Plan:       2.6       / 5.5 ½       Parcel Size (ac/ha):         Aunicipal Address:       /2/       //6.127.4       13/4/126.25       //6.7       Land Use District:       R - SML         APPLICATION FOR - List use and scope of work       ////////////////////////////////////	usiness/Organization Name (if applicable):	
All/part of:       //K ½       Section:       / 5       Township:       2.3       Range:       2.7       West of:       4       Meridian       Division:         All parts of Lot(s)/Unit(s):       4 /       Block:       /       Plan:       2 / / 5 5 ½       Parcel Size (ac/ha):         Municipal Address:       12 /       // 6 / 2 / / 1 / 3 / 2 / 2 / 2 / 5 / 5 ½       Parcel Size (ac/ha):         Municipal Address:       12 /       // 6 / 2 / / 4 / 3 / 2 / 2 / 2 / 5 / 5 / 2 / 2 / 5 / 5 / 2 / 2		
All/part of:       N/6 ½       Section:       / 5'       Township:       2.3       Range:       2.7       West of:       4       Meridian       Division:         All parts of Lot(s)/Unit(s):       4 /       Block:       /       Plan:       2 /       / 5' 5' &       Parcel Size (ac/ha):         Wunicipal Address:       121       Noistrat       13/4/13685       18.47       Land Use District:       R - SML         APPLICATION FOR - List use and scope of work       Rd       Rd       DP Checklist Included:       YES       NO         /ariance Rationale Included:       YES       NO       NA       DP Checklist Included:       YES       NO         a.       Oil or gas wells present on or within 100 metres of the subject property(s)       PES       PES       NO         b.       Parcel within 1.5 kilometres of a sour gas facility (well, pipeline or plant)       PES       PES       NO         c.       Abandoned oil or gas wells present on the property       WES       YES       NO         d.       Subject site has direct access to a developed Municipal Road (accessible public roadway)       YES       NO         d.       Mutury Michar Statum       (Full name in Block Capitals), hereby certify (initial below):       That 1 am the registered owner OR       Cm That 1 am authorized to act on t	ECAL 1 AND DESCRIPTION - Subject site	
All parts of Lot(s)/Unit(s):       41       Block:       1       Plan:       2 c 1 1 5 5 č       Parcel Size (ac/ha):         Municipal Address:       121       No12774       1314.13625       18.47       Land Use District:       R-SML         APPLICATION FOR-List use and scope of work       REL 1944 197104       0.6       51.86.4       19440       5167       54.67       F18047       3.m       70       1.5       An         Variance Rationale included:       YES       NO       N/A       DP Checklist Included:       YES       NO         STET INFORMATION       a.       Oil or gas wells present on or within 100 metres of the subject property(s)       PES D-NO       PES D-NO         b.       Parcel within 1.5 kilometres of a sour gas facility (well, pipeline or plant)       PES D-NO       PES D-NO         c.       Abandoned will or gas wells or pipeline present on the property       (Well Map Viewer: https://wermare.ac.ac/AERAbandonedWells/Index.html)       PES D-NO         d.       Subject site has direct access to a developed Municipal Road (accessible public roadway)       PYES D-NO         AUTHORIZATION		Division
Municipal Address:       121       N & 12 M B & 13 M		
APPLICATION FOR - List use and scope of work		the second s
Image: Relight interview       OF       SIDR       4APARD       SPET BACK       Filem       Sm       TO       1.5 mm         Image: Analytic and the state of the state of the subject property (s)       DP       Checklist included:       YES       NO         Image: Analytic and the state of the subject property (s)       DP       Checklist included:       YES       NO         Image: Analytic and the state of the subject property (s)       DP       Checklist included:       YES       NO         Image: Analytic and the state of the subject property (s)       DP       Checklist included:       YES       NO         Image: Analytic and the state of the subject property (s)       DP       Checklist included:       YES       NO         Image: Analytic and the state of the state of the subject property (s)       DP       Checklist included:       YES       NO         Image: Analytic and the state of the state of the subject property (s)       DP       YES       NO       NO         Image: Analytic and the state of the stat		-SML
Warlance Rationale Included:       YES       NO       N/A       DP Checklist Included:       YES       NO         SITE INFORMATION		
SITE INFORMATION         a. Oil or gas wells present on or within 100 metres of the subject property(s)       YES         b. Parcel within 1.5 kilometres of a sour gas facility (well, pipeline or plant)       YES         c. Abandoned oil or gas well or pipeline present on the property       YES         (Well Map Viewer: https://extmapviewer.aer.ca/AERAbandonedWells/Index.html)       YES         d. Subject site has direct access to a developed Municipal Road (accessible public roadway)       YES         AUTHORIZATION       YES       NO         AUTHORIZATION       (Full name in Block Capitals), hereby certify (initial below):	RELIGENTION OF SIDR YARD SET BACK FROM SM TO	1.5 m
STE INFORMATION         a. Oil or gas wells present on or within 100 metres of the subject property(s)       YES PNO         b. Parcel within 1.5 kilometres of a sour gas facility (well, pipeline or plant)       YES PNO         c. Abandoned oil or gas well or pipeline present on the property       YES NO         c. Abandoned oil or gas well or pipeline present on the property       YES NO         (Well Map Viewer: https://extmapviewer.aer.ca/AERAbandonedWells/Index.html)       YES NO         d. Subject site has direct access to a developed Municipal Road (accessible public roadway)       YES NO         AUTHORIZATION       (Full name in Block Capitals), hereby certify (initial below):		
SITE INFORMATION         a. Oil or gas wells present on or within 100 metres of the subject property(s)       YES PNO         b. Parcel within 1.5 kilometres of a sour gas facility (well, pipeline or plant)       YES NO         c. Abandoned oil or gas well or pipeline present on the property       YES NO         c. Abandoned oil or gas well or pipeline present on the property       YES NO         (Well Map Viewer: https://extmapviewer.aer.ca/AERAbandonedWells/Index.html)       YES NO         d. Subject site has direct access to a developed Municipal Road (accessible public roadway)       YES NO         AUTHORIZATION       (Full name in Block Capitals), hereby certify (initial below):	ariance Rationale included:	1: 🗆 YES 🗆 NO
b.       Parcel within 1.5 kilometres of a sour gas facility (well, pipeline or plant) <pre></pre>		
C. Abandoned oil or gas well or pipeline present on the property     (Well Map Viewer: https://extmapviewer.aer.ca/AERAbandonedWells/Index.html)     d. Subject site has direct access to a developed Municipal Road (accessible public roadway)     ✓ YES □ NO     AUTHORIZATION	a. Oil or gas wells present on or within 100 metres of the subject property(s)	
(Well Map Viewer: https://extmapviewer.aer.ca/AERAbandonedWells/Index.html)         d. Subject site has direct access to a developed Municipal Road (accessible public roadway)         AUTHORIZATION         AUTHORIZATION         , Mally Withwist		
AUTHORIZATION	(Well Map Viewer: https://extmapviewer.aer.ca/AERAbandonedWells/Index.html)	-
<ul> <li>KALLY WiGMSTMUM (Full name in Block Capitals), hereby certify (initial below):</li> <li>That I am the registered owner OR K That I am authorized to act on the owner's behalf.</li> <li>That the information given on this form and related documents, is full and complete and is, to the best of my knowledge, a true statement of the facts relating to this application.</li> <li>That I provide consent to the public release and disclosure of all information, including supporting documentation, submitted/contained within this application as part of the review process. I acknowledge that the information is collected in accordance with s.33(c) of the Freedom of Information and Protection of Privacy Act.</li> <li>Right of Entry: I authorize/acknowledge that Rocky View County may enter the above parcel(s) of land for purposes of investigation and enforcement related to this application in accordance with Section 542 of the Municipal Government Act.</li> <li>Applicant Signature MAMMAN</li> </ul>		ØYES □ NC
That I am the registered owner OR That I am authorized to act on the owner's behalf.  That the information given on this form and related documents, is full and complete and is, to the best of my knowledge, a true statement of the facts relating to this application.  That I provide consent to the public release and disclosure of all information, including supporting documentation, submitted/contained within this application as part of the review process. I acknowledge that the information is collected in accordance with s.33(c) of the <i>Freedom of Information and Protection of Privacy Act</i> .  Right of Entry: I authorize/acknowledge that Rocky View County may enter the above parcel(s) of land for purposes of investigation and enforcement related to this application in accordance with Section 542 of the Municipal Government Act.  Applicant Signature	UTHORIZATION	
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Municipal Government Act.  Applicant Signature Landowner Signature	That I am the registered owner <b>OR</b> <u>f</u> That I am authorized to act on the owner's behalf. That the information given on this form and related documents, is full and complete and i knowledge, a true statement of the facts relating to this application. That I provide consent to the public release and disclosure of all information, including support submitted/contained within this application as part of the review process. I acknowledge that the	ng documentation, e information is
Applicant Signature Landowner Signature	That I am the registered owner <b>OR</b> <u>F</u> That I am authorized to act on the owner's behalf. That the information given on this form and related documents, is full and complete and i knowledge, a true statement of the facts relating to this application. That I provide consent to the public release and disclosure of all information, including support submitted/contained within this application as part of the review process. I acknowledge that the collected in accordance with s.33(c) of the <i>Freedom of Information and Protection of Privacy A</i>	ng documentation, e information is ct.
Date dest 23/20 Date	That I am the registered owner OR That I am authorized to act on the owner's behalf. That the information given on this form and related documents, is full and complete and i knowledge, a true statement of the facts relating to this application. That I provide consent to the public release and disclosure of all information, including support submitted/contained within this application as part of the review process. I acknowledge that the collected in accordance with s.33(c) of the <i>Freedom of Information and Protection of Privacy A</i> <b>Right of Entry: I</b> authorize/acknowledge that Rocky View County may enter the above parcel( purposes of investigation and enforcement related to this application in accordance with Section	ng documentation, e information is ct. s) of land for
	That I am the registered owner <b>OR</b> <i>C</i> That I am authorized to act on the owner's behalf. That the information given on this form and related documents, is full and complete and i knowledge, a true statement of the facts relating to this application. That I provide consent to the public release and disclosure of all information, including support submitted/contained within this application as part of the review process. I acknowledge that the collected in accordance with s.33(c) of the <i>Freedom of Information and Protection of Privacy A</i> <b>Right of Entry:</b> I authorize/acknowledge that Rocky View County may enter the above parcel( purposes of investigation and enforcement related to this application in accordance with Section Municipal Government Act.	ng documentation, e information is ct. s) of land for

262075 Rocky View Point, Rocky View County, AB, T4A 0X2

Development Permit Application - Updated August 2020

ROCKY VIEW COUNTY



	DEVELOPMENT PERNIT APPLICATION CHECKLIST - GENERAL
Se	All plans shall be submitted as one (1) legible hard copy and in DIGITAL form (pdfs) act (-) all that are included within application package, incomplete polycobore may not be accepted for processing
23	APPLICATION FORM(S) AND CHECKLIST: AF parts completed and signed,
1	APPLICATION FEE: Refer to Planning and Development File Schedule within the Master Rates Bylaw
D.	CURRENT LAND TITLES CERTIFICATE COPY - dated within 30 days of application, and
F.	Digital copy of non-financial instruments/cavesats registered on Sile
	LETTER OF AUTHORIZATION. Signed by the registered landowner(s) authorizing person acting on behalf (if not the Applicant). If registered owner on title is a company, authorization to be provided on a company latterbaad <u>or</u> as an afficant (signed by a Commissioner of Oeths).
	COVER LETTER, shall include:
	O Proposed lead use(s) and scope of work on the subject property
	C Detailed relienals for any variances requested
	O For businesses - Complete operational details including days hours of work, number of employees, parking provisions, types of vehicles, outdoor storage areas, site access/approach, traffic management, ptc.
	O Reference to any Supporting Documents, images studies, plans etc. provided within application package
1	SITE PLAN, shall include:
	O Legal description and municipal address
	O North arrow
	O Property dimensions (all sides)
	<ul> <li>Solbacks/dimensions from all sides of the property (nets) to existing proposed buildings, structures (cantilevers, decks, and parcnes), outdoor storage areas etc.</li> </ul>
	O Dimensione of all buildings/structures
	O Location and labels for existing/proposed approach(s)/access to property
	O Identify names of adjacent internationumopal roads and highways.
	<ul> <li>Identity any existing/abandoned/proposed oil wells, septe fields/tenks, or water wells on site, including their distances to existing/proposed buildings</li> </ul>
	<ul> <li>Identify any existing/proposed site leatures such as pleas, shellerbeits, canals, waterbodies, etc.</li> </ul>
	O Identify site slopes greater than 15% and distances from structures.
1	O Location and labels for easements and/or rights of way on title
	FLOOR PLANS/ELEVATIONS, shall include:
	<ul> <li>Overall dimensions on floor plans for all buildings structures (for new construction, additions, renovations etc.)</li> </ul>
	O Indicate Socrarea and existing/proposed uses on floor clans and height(s) on develops
	O Indicate type of building/structure on floor plans and elevations
	COLOUR PHOTOGRAPHS (Min. 3) - one hard and digital copy: Of existing site, building(s), structure(s), signage, sit features, taken from all sides including surrounding context, and when existing floor plansicievations are not available
	SUPPORTING DOCUMENTS (as applicable): Include technical studies/reports and any additional plans relating to the proposed development (lot grading, site lighting, storm water management plans etc.). Rater to the Land Use Bylaw for use or district specific requirements.
	FOR OFFICE USE ONLY
	use ASPICSADPAUSOP Bridges of Longdon
iada TE	d within file Stinlormation Sheel C-Parcel Summary ErSte Aerial EtCand Use Map Aerial EtSite Plan I
	Staff Signature: 11.11
	- Marie C

Page 265 of 535



262075 Rocky View Point Rocky View County, AB, T4A 0X2

> 403-230-1401 questions@rockyview.ca www.rockyview.ca

LETTER OF AUTHORIZATION – PLANNING AND DEVELOPMENT SERVICES
I, (We) KELLY KUSTOM Homits (print name) Owner 1 (print name) Owner 2
being the owner(s) of: Lot: Block: Plan: $2\omega_1 - 155\%$
Legal Description:
NW/NE/SE/SW ¼ Section Township Range West of Meridian
give Lithly Withstrio (print name of Applicant) permission
to act on my (our) behalf for the following application at the above-noted property (select one):
<ul> <li>Development Permit</li> <li>Subdivision</li> <li>Redesignation</li> </ul>
Local Plan
Owner 2 Signature       Cd       Date Signed

TO: TERRAMATIC TECHNOLOG

04:37MST Page 2/15

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CONTRACTOR OF A

CERTIFIED COPY OF

### CERTIFICATE OF TITLE

LINC SHORT LEGAL 0038 708 202 4;27;23;15;NE

> TITLE NUMBER: 201 169 639 +91 SUBDIVISION PLAN DATE: 21/09/2020

AT THE TIME OF THIS CERTIFICATION

POLLYCO (LANGDON NORTH) DEVELOPMENTS LTD. OF 8508 206 STREET LANGLEY BRITISH COLUMBIA V2Y 286

IS THE OWNER OF AN ESTATE IN FEE SIMPLE OF AND IN

MERIDIAN 4 RANGE 27 TOWNSHIP 23 SECTION 15 QUARTER NORTH EAST CONTAINING 64.7 HECTARES (160 ACRES) MORE OR LESS EXCEPTING THEREOUT: (A) ALL THAT PORTION OF THE NORTH EAST QUARTER OF SAID SECTION 15 DESCRIBED AS FOLLOWS: COMMENCING AT A POINT ON THE WEST LIMIT OF ROAD PLAN 6978JK 24.38 METRES NORTHERLY THE WEST LIMIT OF ROAD PLAN 69780K 24.38 METRES NORTHERLY FROM ITS INTERSECTION WITH THE SOUTH BOUNDARY OF SAID QUARTER THENCE WESTERLY AND AT RIGHT ANGLES THERETO 188.37 METRES; THENCE NORTHERLY AND PARALLEL TO THE SAID WEST LIMIT 214.58 METRES THENCE EASTERLY AND AT RIGHT ANGLES TO THE SAID WEST LIMIT TO A POINT THEREON; THENCE SOUTHERLY ALONG THE WEST LIMIT TO THE POINT OF COMMENCEMENT CONTAINING 4.04 HECTARES (9.99 ACRES) MORE OR LESS (B) PLAN NUMBER HECTARES (B) PLAN ACRES ROAD WIDENING 6978JK 0.337 0.824 PUBLIC UTILITY 1711089 10.45 SUBDIVISION 2011558 9.273 22.91

EXCEPTING THEREOUT ALL MINES AND MINERALS

SUBJECT TO THE ENCUMBRANCES, LIENS AND INTERESTS NOTIFIED BY MEMORANDUM UNDER-WRITTEN OR ENDORSED HEREON, OR WHICH MAY HEREAFTER BE MADE IN THE REGISTER.

## ENCUMBRANCES, LIENS & INTERESTS

NUMBER DATE (D/M/Y) PARTICULARS

REGISTRATION

791 166 878 05/10/1979 CAVEAT CAVEATOR - ALTALINK MANAGEMENT LTD. 2611 - 3 AVE SE CALGARY ALBERTA T2A7W7 (DATA UFDATED BY: TRANSFER OF CAVEAT 021232028) (DATA UFDATED BY: CHANGE OF ADDRESS 081460733)

( CONTINUED )

Page 3/15 PAGE 2

04:37MST

TO: TERRAMATIC TECHNOLOG

E-9

CERTIFIED COPY OF CERTIFICATE OF TITLE SHORT LEGAL 4;27;23;15;NE POLLYCO (LANGDON NORTH) DEVELOPMENTS LTD. 201 169 639 +91 NAME NUMBER ENCUMBRANCES, LIENS & INTERESTS REGISTRATION DATE (D/M/Y) PARTICULARS NUMBER 801 036 640 12/03/1980 RIGHT OF ENTRY ARBITRATION ACT ORDER IN FAVOUR OF - CALGARY POWER LTD. "ORDER NO. C560/79" 031 396 317 18/11/2003 SURFACE RIGHTS BOARD AMENDING ORDER AFFECTS INSTRUMENT: 801036540 ORDER 1488/2003 AMENDING ORDERS C560/79 & C834/81 PARTY NAME CHANGED TO ALTALINK MANAGEMENT LTD. 17/05/2016 CAVEAT 161 114 958 RE : DEVELOPMENT AGREEMENT PURSUANT TO MUNICIPAL GOVERNMENT ACT CAVEATOR - ROCKY VIEW COUNTY. 911 - 32ND AVENUE NE CALGARY ALBERTA T2E6X6 AGENT - RODD C THORKELSSON 181 222 408 16/10/2018 MORTGAGE MORTGAGEE - CANADIAN WESTERN BANK. 1, 7548-120 ST SURREY BRITISH COLUMBIA V3W3N1 ORIGINAL PRINCIPAL AMOUNT: \$11,564,000 181 222 409 16/10/2018 CAVEAT CAVEATOR - CANADIAN WESTERN BANK. CARSCALLEN LLP 900, 332-6 AVE SW CALGARY ALBERTA T2P0B2 AGENT - GLEN PETERSON 201 169 640 21/09/2020 CAVEAT **RE : DEFERRED RESERVE** CAVEATOR - ROCKY VIEW COUNTY. 262075 ROCKY VIEW POINT ROCKY VIEW COUNTY ALBERTA T4A0X2 21/09/2020 UTILITY RIGHT OF WAY GRANTEE - ROCKY VIEW COUNTY. 201 169 644 AS TO PORTION OR PLAN: 2011560 21/09/2020 UTILITY RIGHT OF WAY GRANTEE - ROCKY VIEW COUNTY. 201 169 651 AS TO PORTION OR PLAN: 2011562

FROM: ALTA Production

201 169 656 21/09/2020 UTILITY RIGHT OF WAY GRANTEE - ROCKY VIEW COUNTY AS TO PORTION OR PLAN: 2011564

( CONTINUED )

Page 4/15 PAGE

3

04:37MST

TO: TERRAMATIC TECHNOLOG

SHORT LEGAL 4;27;23;15;NE NAME POLLYCO (LANGDON NORTH) DEVELOPMENTS LTD. NUMBER 201 169 639 +91 ENCOMBRANCES, LIENS & INTERESTS

REGISTRATION NUMBER DATE (D/M/Y) PARTICULARS

21/09/2020 UTILITY RIGHT OF WAY GRANTEE - LANGDON WATERWORKS LIMITED. 201 169 657

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN ACCURATE REPRODUCTION OF THE CERTIFICATE OF TITLE REPRESENTED HEREIN THIS 21 DAY OF SEPTEMBER, 2020

FROM: ALTA Production

CERTIFIED COPY OF CERTIFICATE OF TITLE



\*SUPPLEMENTARY INFORMATION\*

MUNICIPALITY: ROCKY VIEW COUNTY REFERENCE NUMBER: 171 099 264 +1 TOTAL INSTRUMENTS: 011

E-9

TO: TERRAMATIC TECHNOLOG

SHORT LEGAL

04:37MST Page 5/15

AENT OF

CERTIFIED COPY OF CERTIFICATE OF TITLE

0026 134 395 4;27;23;15;SE

S

TITLE NUMBER: 071 396 935 TRANSFER OF LAND DATE: 09/08/2007

AT THE TIME OF THIS CERTIFICATION

POLLYCO (LANGDON CENTRAL) LAND CORPORATION. OF 4, 3710 WESTWINDS DR NE CALGARY ALBERTA T3J 4H5 (DATA UPDATED BY: CHANGE OF NAME 091324349)

LINC

IS THE OWNER OF AN ESTATE IN FEE SIMPLE OF AND IN

MERIDIAN 4 RANGE 27 TOWNSHIP 23 SECTION 15 QUARTER SOUTH EAST CONTAINING 64.7 HECTARES (160 ACRES) MORE OR LESS EXCEPTING: FLAN NUMBER HECTARES ACRES (MORE OR LESS) ROAD 6978JK 0.417 1.03 DESCRIPTIVE 9411667 1.49 3.68

EXCEPTING THEREOUT ALL MINES AND MINERALS

SUBJECT TO THE ENCUMBRANCES, LIENS AND INTERESTS NOTIFIED BY MEMORANDUM UNDER-WRITTEN OR ENDORSED HEREON, OR WHICH MAY HEREAFTER BE MADE IN THE REGISTER.

REGISTRATION		ENCUMBRANCES, LIENS & INTERESTS
	DATE (D/M/Y)	PARTICULARS
2414KY .	17/02/1971	UTILITY RIGHT OF WAY GRANTEE - ALBERTA GOVERNMENT TELEPHONES. AS TO PORTION OR PLAN:8046JK
<b>791 148</b> 013	10/09/1979	UTILITY RIGHT OF WAY GRANTEE - ALBERTA GOVERNMENT TELEPHONES. "PORTION DESCRIBED"
791 180 267	29/10/1979	SURFACE RIGHTS BOARD ORDER IN FAVOUR OF - CALGARY POWER LTD. ORDER NO. C711/79
971 343 538	18/11/1997	EASEMENT OVER SE1/4 OF SEC. 15 - 23 - 27 - W4M FOR BENEFIT OF BLOCK 1 ON PLAN 9411667
001 153 918	08/06/2000	UTILITY RIGHT OF WAY GRANTEE - EMBER RESOURCES INC. (DATA UPDATED BY: TRANSFER OF UTILITY RIGHT OF WAY 111083693) (DATA UPDATED BY: TRANSFER OF UTILITY RIGHT OF WAY 151195776)

( CONTINUED )

Page 6/15 PAGE

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04:37MST

TO: TERRAMATIC TECHNOLOG

SHORT LEGAL 4;27;23;15;SE NAME POLLYCO (LANGDON CENTRAL) LAND CORPORATION NUMBER 071 396 935

ENCUMBRANCES, LIENS & INTERESTS

FROM: ALTA Production

REGISTRATION NUMBER DATE (D/M/Y) PARTICULARS

041 008 447 08/01/2004 SURFACE RIGHTS BOARD AMENDING ORDER AFFECTS INSTRUMENT: 791180267 ORDER NO. 1776/2003; AMENDING ORDER C711/79 AND ORDER C835/81 PARTY NAME CHANGED TO ALTALINK MANAGEMENT LTD.

CERTIFIED COPY OF CERTIFICATE OF TITLE

- 111 050 952 03/03/2011 MORTGAGE MORTGAGEE - FARM CREDIT CANADA. 12040-149 ST NW EDMONTON ALBERTA T5V1P2 ORIGINAL PRINCIPAL AMOUNT: \$2,300,000
- 201 169 640 21/09/2020 CAVEAT RE : DEFERRED RESERVE CAVEATOR - ROCKY VIEW COUNTY. 262075 ROCKY VIEW POINT ROCKY VIEW COUNTY ALBERTA T4A0X2

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN ACCURATE REPRODUCTION OF THE CERTIFICATE OF TITLE REPRESENTED HEREIN THIS 21 DAY OF SEPTEMBER, 2020



\*SUPPLEMENTARY INFORMATION\* VALUE: \$7,919,790 CONSIDERATION: CASH MUNICIPALITY: ROCKY VIEW COUNTY REFERENCE NUMBER: 941 217 105 +1 TOTAL INSTRUMENTS: 008

TO: TERRAMATIC TECHNOLOG

04:37MST Page 7/15

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CALLENT OF ALBERT

CERTIFIED COPY OF

CERTIFICATE OF TITLE

LINC SHORT LEGAL 0038 708 210 2011558;1;2

> TITLE NUMBER: 201 169 639 SUBDIVISION PLAN DATE: 21/09/2020

AT THE TIME OF THIS CERTIFICATION

POLLYCO (LANGDON NORTH) DEVELOPMENTS LTD. OF 8508 206 STREET LANGLEY BRITISH COLUMBIA V2Y 2B6

IS THE OWNER OF AN ESTATE IN FEE SIMPLE OF AND IN

PLAN 2011558 BLOCK 1 LOT 2 EXCEPTING THEREOUT ALL MINES AND MINERALS

SUBJECT TO THE ENCUMBRANCES, LIENS AND INTERESTS NOTIFIED BY MEMORANDUM UNDER-WRITTEN OR ENDORSED HEREON, OR WHICH MAY HEREAFTER BE MADE IN THE REGISTER.

REGISTRATION	ENCUMBRANCES, LIENS & INTERESTS
	PARTICULARS
791 166 878 05/10/197	9 CAVEAT CAVEATOR - ALTALINK MANAGEMENT LTD. 2611 - 3 AVE SE CALGARY ALBERTA T2A7W7 (DATA UPDATED BY: TRANSFER OF CAVEAT 021232028) (DATA UPDATED BY: CHANGE OF ADDRESS 081460733)
801 036 640 12/03/198	) RIGHT OF ENTRY ARBITRATION ACT ORDER IN FAVOUR OF - CALGARY POWER LTD. "ORDER NO. C560/79"
031 396 317 18/11/200	3 SURFACE RIGHTS BOARD AMENDING ORDER AFFECTS INSTRUMENT: 801036640 ORDER 1488/2003 AMENDING ORDERS C560/79 & C834/81 PARTY NAME CHANGED TO ALTALINK MANAGEMENT LTD.
161 114 958 17/05/201	5 CAVEAT RE : DEVELOPMENT AGREEMENT PURSUANT TO MUNICIPAL GOVERNMENT ACT CAVEATOR - ROCKY VIEW COUNTY. 911 - 32ND AVENUE NE CALGARY ALBERTA T2E6X6 AGENT - RODD C THORKELSSON

( CONTINUED )

Page 8/15 PAGE

2

04:37MST

NAME NUMBER

TO: TERRAMATIC TECHNOLOG

SHORT LEGAL 2011558;1;2 POLLYCO (LANGDON NORTH) DEVELOPMENTS LTD. 201 169 639

ENCUMBRANCES, LIENS & INTERESTS

FROM: ALTA Production

CERTIFIED COPY OF CERTIFICATE OF TITLE

REGISTRATION NUMBER DATE (D/M/Y) PARTICULARS

- 181 222 408 16/10/2018 MORTGAGE MORTGAGEE - CANADIAN WESTERN BANK. 1, 7548-120 ST SURREY BRITISH COLUMBIA V3W3N1 ORIGINAL PRINCIPAL AMOUNT: \$11,564,000
- 181 222 409 16/10/2018 CAVEAT RE : ASSIGNMENT OF RENTS AND LEASES CAVEATOR - CANADIAN WESTERN BANK. CARSCALLEN LLP 900, 332-6 AVE SW CALGARY ALBERTA T2POB2 AGENT - GLEN PETERSON
- 201 169 641 21/09/2020 RESTRICTIVE COVENANT
- 201 169 645 21/09/2020 CAVEAT RE : DEVELOPMENT AGREEMENT PURSUANT TO MUNICIPAL GOVERNMENT ACT CAVEATOR - ROCKY VIEW COUNTY. 262075 ROCKY VIEW POINT ROCKY VIEW COUNTY ALBERTA T4A0X2
- 201 169 646 21/09/2020 CAVEAT RE : DEVELOPMENT AGREEMENT PURSUANT TO MUNICIPAL GOVERNMENT ACT CAVEATOR - ROCKY VIEW COUNTY. 262075 ROCKY VIEW POINT ROCKY VIEW COUNTY ALBERTA T4A0X2
- 21/09/2020 UTILITY RIGHT OF WAY GRANTEE ROCKY VIEW COUNTY. GRANTEE FORTISALBERTA INC. GRANTEE ATCO GAS AND PIPELINES LTD. GRANTEE TELUS COMMUNICATIONS INC. GRANTEE PERSONA COMMUNICATIONS INC. DESTION OF PLAN:2011561 201 169 648 AS TO PORTION OR PLAN: 2011561
- 201 169 653 21/09/2020 UTILITY RIGHT OF WAY GRANTEE - ROCKY VIEW COUNTY. AS TO FORTION OR PLAN: 2011563

( CONTINUED )

ECHNOLOG FROM: ALTA Production 04:37MST Page 9/15 PAGE 3

TO: TERRAMATIC TECHNOLOG

CERTIFICATE OF TITLE

TITLE NUMBER: 201 169 639

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN ACCURATE REPRODUCTION OF THE CERTIFICATE OF TITLE REPRESENTED HEREIN THIS 21 DAY OF SEPTEMBER, 2020



\*SUPPLEMENTARY INFORMATION\*

MUNICIPALITY: ROCKY VIEW COUNTY REFERENCE NUMBER: 171 099 264 +1 ATS REFERENCE: 4;27;23;15;NE TOTAL INSTRUMENTS: 011 TO: TERRAMATIC TECHNOLOG

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CERTIFIED COPY OF

### CERTIFICATE OF TITLE

LINC SHORT LEGAL 0038 708 228 2011558;1;3

> TITLE NUMBER: 201 169 639 +1 SUBDIVISION PLAN DATE: 21/09/2020

AT THE TIME OF THIS CERTIFICATION

POLLYCO (LANGDON NORTH) DEVELOPMENTS LTD. OF 8508 206 STREET LANGLEY BRITISH COLUMBIA V2Y 2B6

IS THE OWNER OF AN ESTATE IN FEE SIMPLE OF AND IN

PLAN 2011558 BLOCK 1 LOT 3 EXCEPTING THEREOUT ALL MINES AND MINERALS

SUBJECT TO THE ENCUMBRANCES, LIENS AND INTERESTS NOTIFIED BY MEMORANDUM UNDER-WRITTEN OR ENDORSED HEREON, OR WHICH MAY HEREAFTER BE MADE IN THE REGISTER.

REGISTRATION NUMBER DATE (I	ENCUMBRANCES	, LIENS & INTERESTS
	STATI THAT COMMO	
791 166 878 05/10	CAVEATOR - A 2611 - 3 AVE CALGARY ALBERTA T2A7 (DATA U 0212320	 W7 Pdated by: Transfer of Caveat
801 036 640 12/03		RY ARBITRATION ACT ORDER — Calgary Power Ltd. 560/79"
031 396 317 18/11	AFFECTS INSI ORDER 1488/2	TS BOARD AMENDING ORDER RUMENT: 801036640 003 AMENDING ORDERS C560/79 & C834/81
191 114 A28 T\\A2	RE : DEVELOP GOVERNMENT A CAVEATOR - B 911 - 32ND A CALGARY ALBERTA T226	OCKY VIEW COUNTY. VENUE NE

( CONTINUED )

Page 11/15 PAGE

2

TO: TERRAMATIC TECHNOLOG

FROM: ALTA Production 04:37MST CERTIFIED COPY OF CERTIFICATE OF TITLE

SHORT LEGAL 2011558;1;3 POLLYCO (LANGDON NORTH) DEVELOPMENTS LTD. 201 169 639 +1 NAME NUMBER ENCUMBRANCES, LIENS & INTERESTS REGISTRATION NUMBER DATE (D/M/Y) PARTICULARS 181 222 408 16/10/2018 MORTGAGE MORTGAGEE - CANADIAN WESTERN BANK. 1, 7548-120 ST SURREY BRITISH COLUMBIA V3W3N1 ORIGINAL PRINCIPAL AMOUNT: \$11,564,000 181 222 409 16/10/2018 CAVEAT RE : ASSIGNMENT OF RENTS AND LEASES CAVEATOR - CANADIAN WESTERN BANK. CARSCALLEN LLP 900, 332-6 AVE SW CALGARY ALBERTA T2P0B2 AGENT - GLEN PETERSON 201 169 641 21/09/2020 RESTRICTIVE COVENANT 201 169 645 21/09/2020 CAVEAT RE : DEVELOPMENT AGREEMENT PURSUANT TO MUNICIPAL GOVERNMENT ACT CAVEATOR - ROCKY VIEW COUNTY. 262075 ROCKY VIEW POINT ROCKY VIEW COUNTY ALBERTA T4A0X2 201 169 646 21/09/2020 CAVEAT CAVEAN RE : DEVELOPMENT AGREEMENT PURSUANT TO MUNICIPAL GOVERNMENT ACT CAVEATOR - ROCKY VIEW COUNTY. 262075 ROCKY VIEW POINT ROCKY VIEW COUNTY ALBERTA T4A0X2 21/09/2020 UTILITY RIGHT OF WAY 201 169 648 GRANTEE - ROCKY VIEW COUNTY. GRANTEE - FORTISALBERTA INC. GRANTEE - ATCO GAS AND PIPELINES LTD. GRANTEE - TELUS COMMUNICATIONS INC. GRANTEE - PERSONA COMMUNICATIONS INC. AS TO PORTION OR PLAN: 2011561 21/09/2020 UTILITY RIGHT OF WAY GRANTEE - ROCKY VIEW COUNTY. 201 169 653 AS TO PORTION OR PLAN: 2011563

( CONTINUED )

TO: TERRAMATIC TECHNOLOG FROM: ALTA Production 04:37MST Page 12/15 PAGE 3

CERTIFICATE OF TITLE

TITLE NUMBER: 201 169 639 +1

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN ACCURATE REPRODUCTION OF THE CERTIFICATE OF TITLE REPRESENTED HEREIN THIS 21 DAY OF SEPTEMBER, 2020



\*SUPPLEMENTARY INFORMATION\*

MUNICIPALITY: ROCKY VIEW COUNTY REFERENCE NUMBER: 171 099 264 +1 ATS REFERENCE: 4;27;23;15;NE TOTAL INSTRUMENTS: 011

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TO: TERRAMATIC TECHNOLOG

CERTIFIED COPY OF

## CERTIFICATE OF TITLE

LINC SHORT LEGAL 0038 708 236 2011558;1;4

> TITLE NUMBER: 201 169 639 +2 SUBDIVISION PLAN DATE: 21/09/2020

AT THE TIME OF THIS CERTIFICATION

POILYCO (LANGDON NORTH) DEVELOPMENTS LTD. OF 8508 206 STREET LANGLEY BRITISH COLUMBIA V2Y 2B6

IS THE OWNER OF AN ESTATE IN FEE SIMPLE OF AND IN

FLAN 2011558 BLOCK 1 LOT 4 EXCEPTING THEREOUT ALL MINES AND MINERALS

SUBJECT TO THE ENCUMBRANCES, LIENS AND INTERESTS NOTIFIED BY MEMORANDUM UNDER-WRITTEN OR ENDORSED HEREON, OR WHICH MAY HEREAFTER BE MADE IN THE REGISTER.

REGISTRATION		ENCUMBRANCES, LIENS & INTERESTS
	DATE (D/M/Y)	PARTICULARS
791 166 878	05/10/1979	CAVEAT CAVEATOR - ALTALINK MANAGEMENT LTD. 2611 - 3 AVE SE CALGARY ALBERTA T2A7W7 (DATA UPDATED BY: TRANSFER OF CAVEAT 021232028) (DATA UPDATED BY: CHANGE OF ADDRESS 081460733)
801 036 640	12/03/1980	RIGHT OF ENTRY ARBITRATION ACT ORDER IN FAVOUR OF - CALGARY POWER LTD. "ORDER NO. C560/79"
031 396 317	18/11/2003	SURFACE RIGHTS BOARD AMENDING ORDER AFFECTS INSTRUMENT: 801036640 ORDER 1488/2003 AMENDING ORDERS C560/79 & C834/81 PARTY NAME CHANGED TO ALTALINK MANAGEMENT LTD.
161 114 958	17/05/2016	CAVEAT RE : DEVELOPMENT AGREEMENT PURSUANT TO MUNICIPAL GOVERNMENT ACT CAVEATOR - ROCKY VIEW COUNTY. 911 - 32ND AVENUE NE CALGARY ALBERTA T2E6X6 AGENT - RODD C THORKELSSON

( CONTINUED )

REGISTRATION

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TO: TERRAMATIC TECHNOLOG FROM: ALTA Production 04:37MST Page 14/15 PAGE 2

CERTIFIED COPY OF

### CERTIFICATE OF TITLE

SHORT LEGAL 2011558;1;4 POLLYCO (LANGDON NORTH) DEVELOPMENTS LTD. 201 169 639 +2 NAME NUMBER

ENCUMBRANCES, LIENS & INTERESTS

DATE (D/M/Y) PARTICULARS NUMBER

- 181 222 408 16/10/2018 MORTGAGE MORTGAGEE - CANADIAN WESTERN BANK. 1, 7548-120 ST SURREY BRITISH COLUMBIA V3W3N1 ORIGINAL PRINCIPAL AMOUNT: \$11,564,000
- 181 222 409 16/10/2018 CAVEAT CAVEAL RE : ASSIGNMENT OF RENTS AND LEASES CAVEATOR - CANADIAN WESTERN BANK. CARSCALLEN LLP 900, 332-6 AVE SW CALGARY ALBERTA T2P0B2 AGENT - GLEN PETERSON
- 201 169 641 21/09/2020 RESTRICTIVE COVENANT
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- 201 169 646 21/09/2020 CAVEAT CAVEAL RE : DEVELOPMENT AGREEMENT PURSUANT TO MUNICIPAL GOVERNMENT ACT CAVEATOR - ROCKY VIEW COUNTY. 262075 ROCKY VIEW POINT ROCKY VIEW COUNTY ALBERTA T4A0X2
- 201 169 648 21/09/2020 UTILITY RIGHT OF WAY GRANTEE - ROCKY VIEW COUNTY. GRANTEE - FORTISALBERTA INC. GRANTEE - ATCO GAS AND PIPELINES LTD. GRANTEE - TELUS COMMUNICATIONS INC. GRANTEE - PERSONA COMMUNICATIONS INC. AS TO PORTION OR PLAN:2011561
- 201 169 653 21/09/2020 UTILITY RIGHT OF WAY GRANTEE - ROCKY VIEW COUNTY. AS TO PORTION OR PLAN: 2011563

( CONTINUED )

04:37MST Page 15/15 TO: TERRAMATIC TECHNOLOG FROM: ALTA Production PAGE 3

CERTIFICATE OF TITLE

TITLE NUMBER: 201 169 639 +2

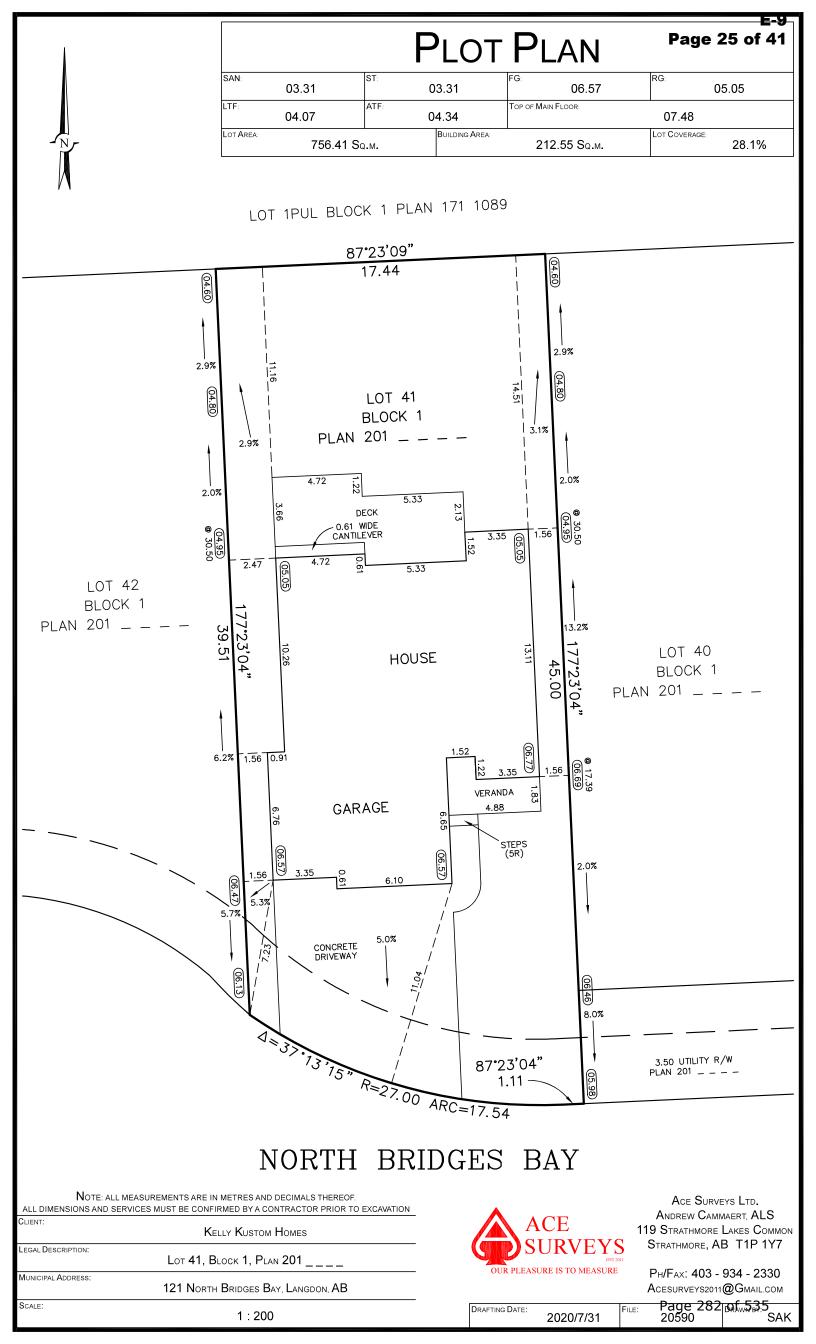
THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN ACCURATE REPRODUCTION OF THE CERTIFICATE OF TITLE REPRESENTED HEREIN THIS 21 DAY OF SEPTEMBER, 2020

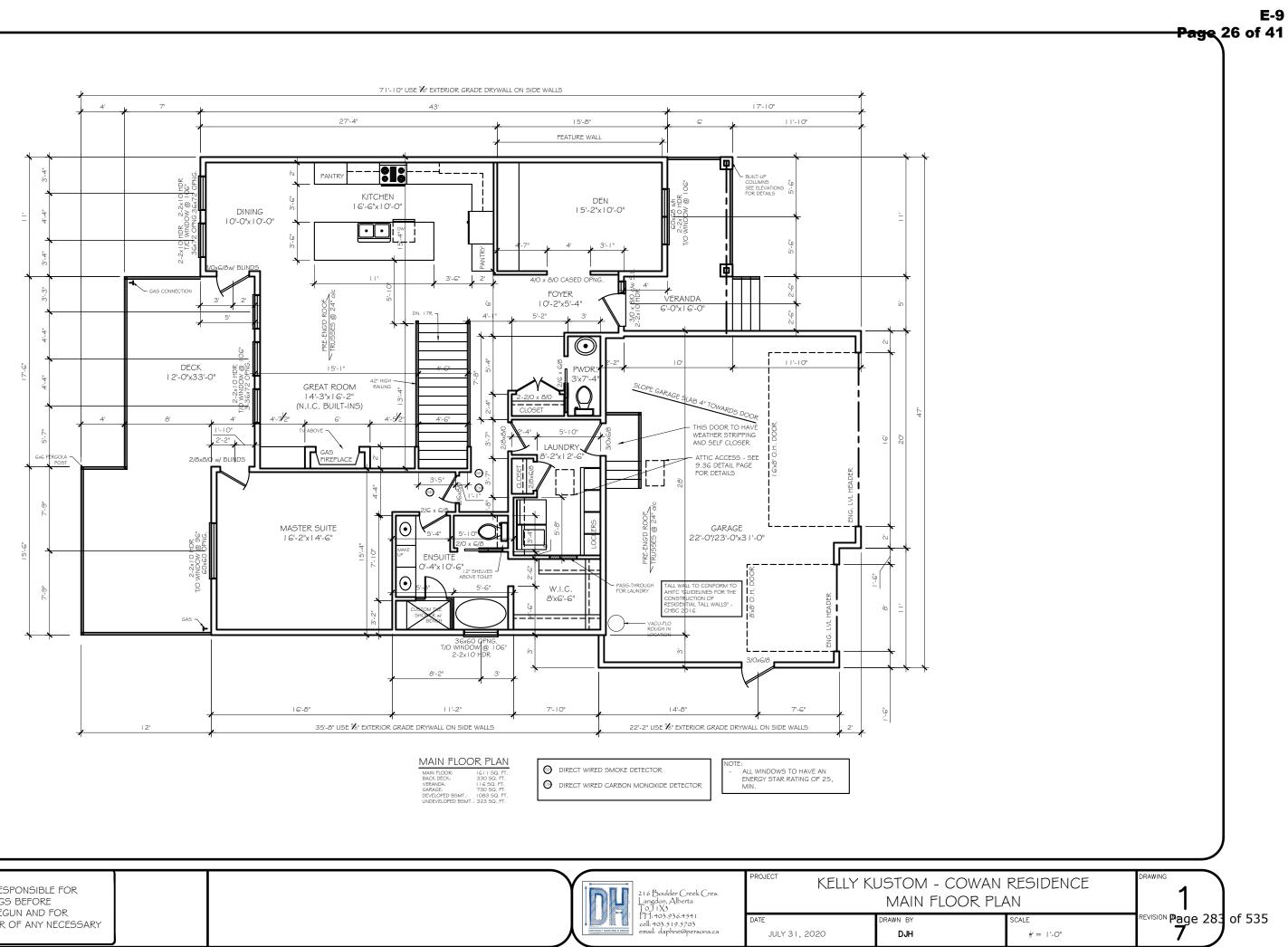


\*SUPPLEMENTARY INFORMATION\*

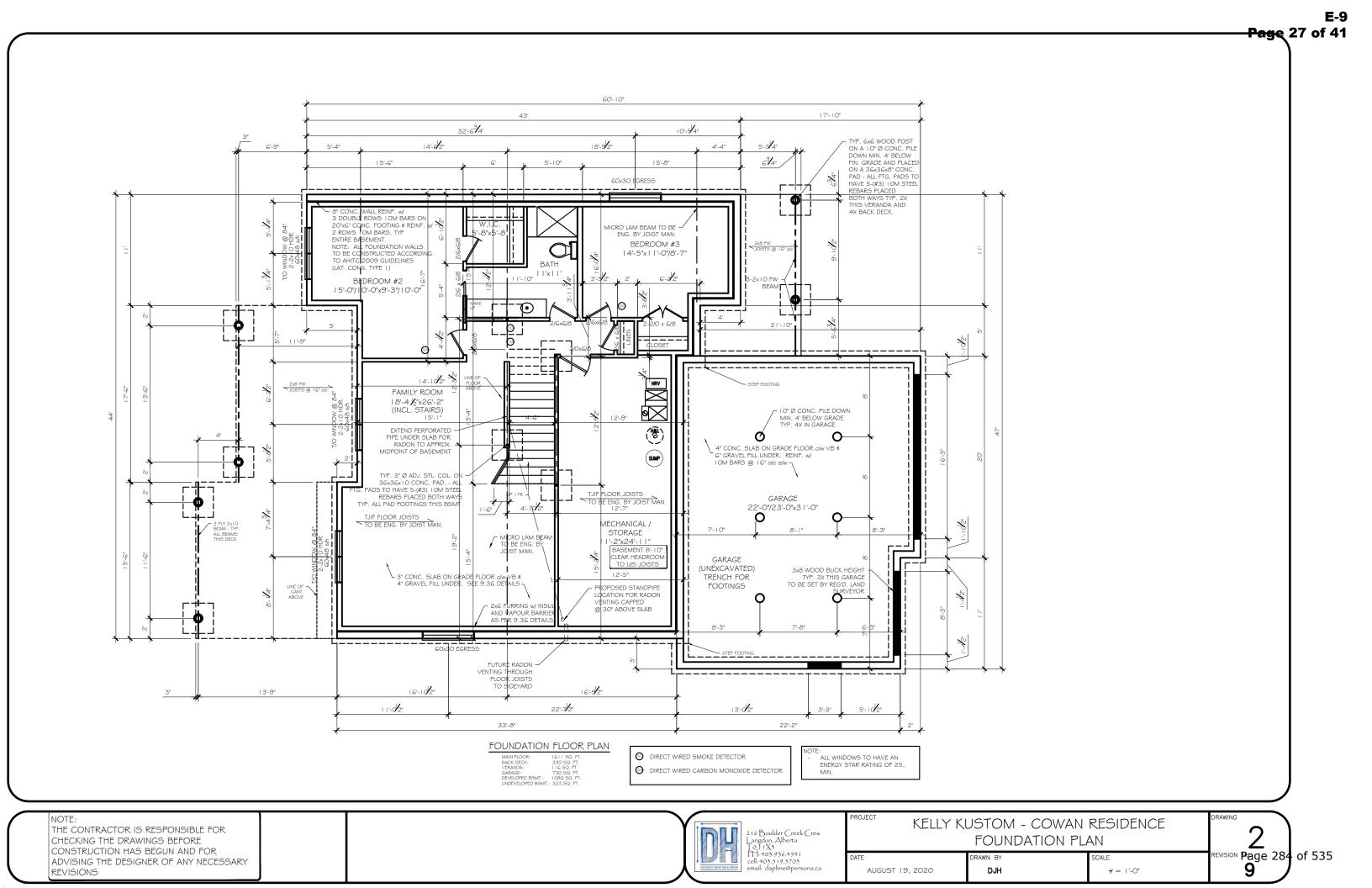
MUNICIPALITY: ROCKY VIEW COUNTY REFERENCE NUMBER: 171 099 264 +1 ATS REFERENCE: 4;27;23;15;NE TOTAL INSTRUMENTS: 011

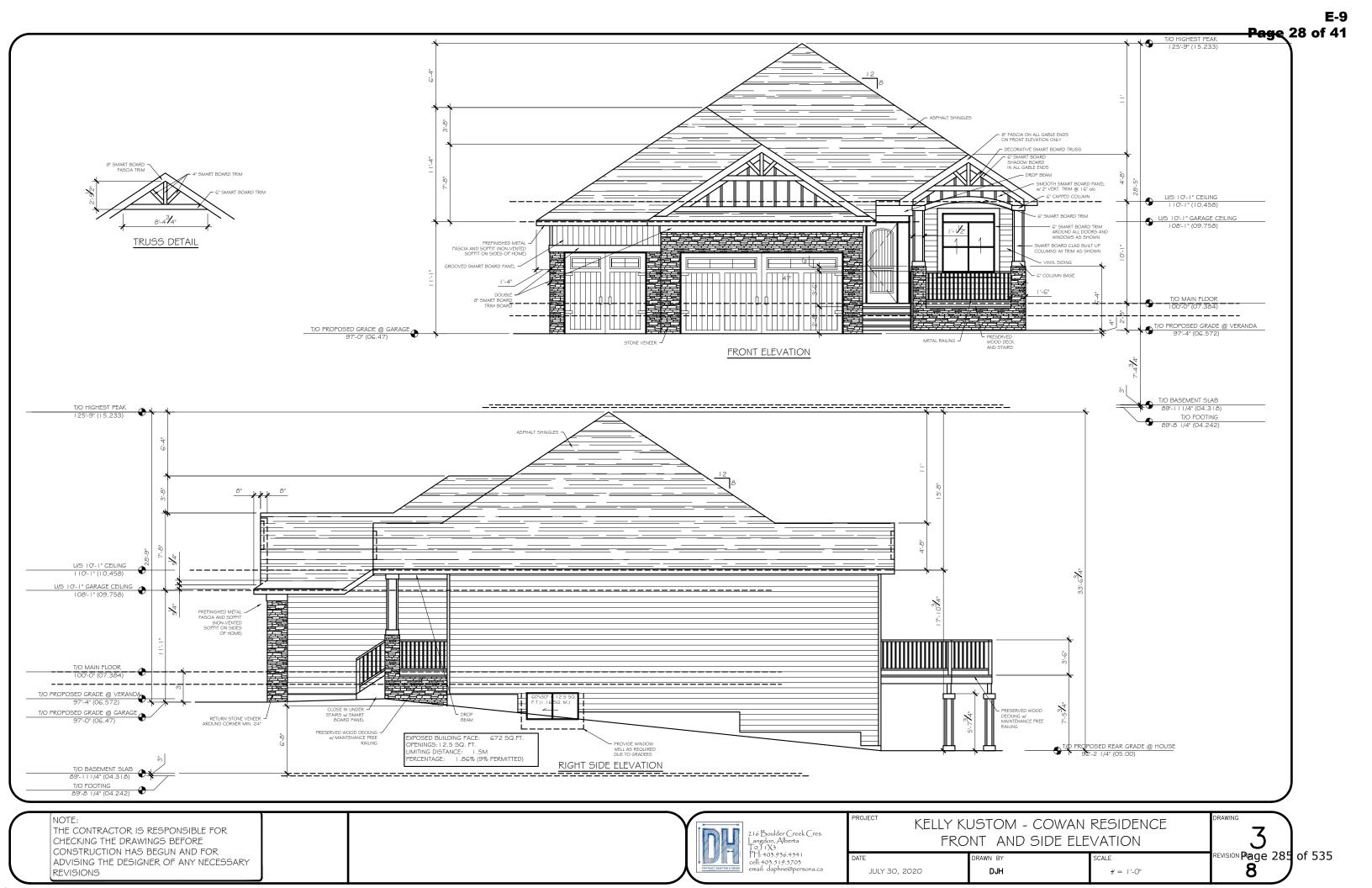


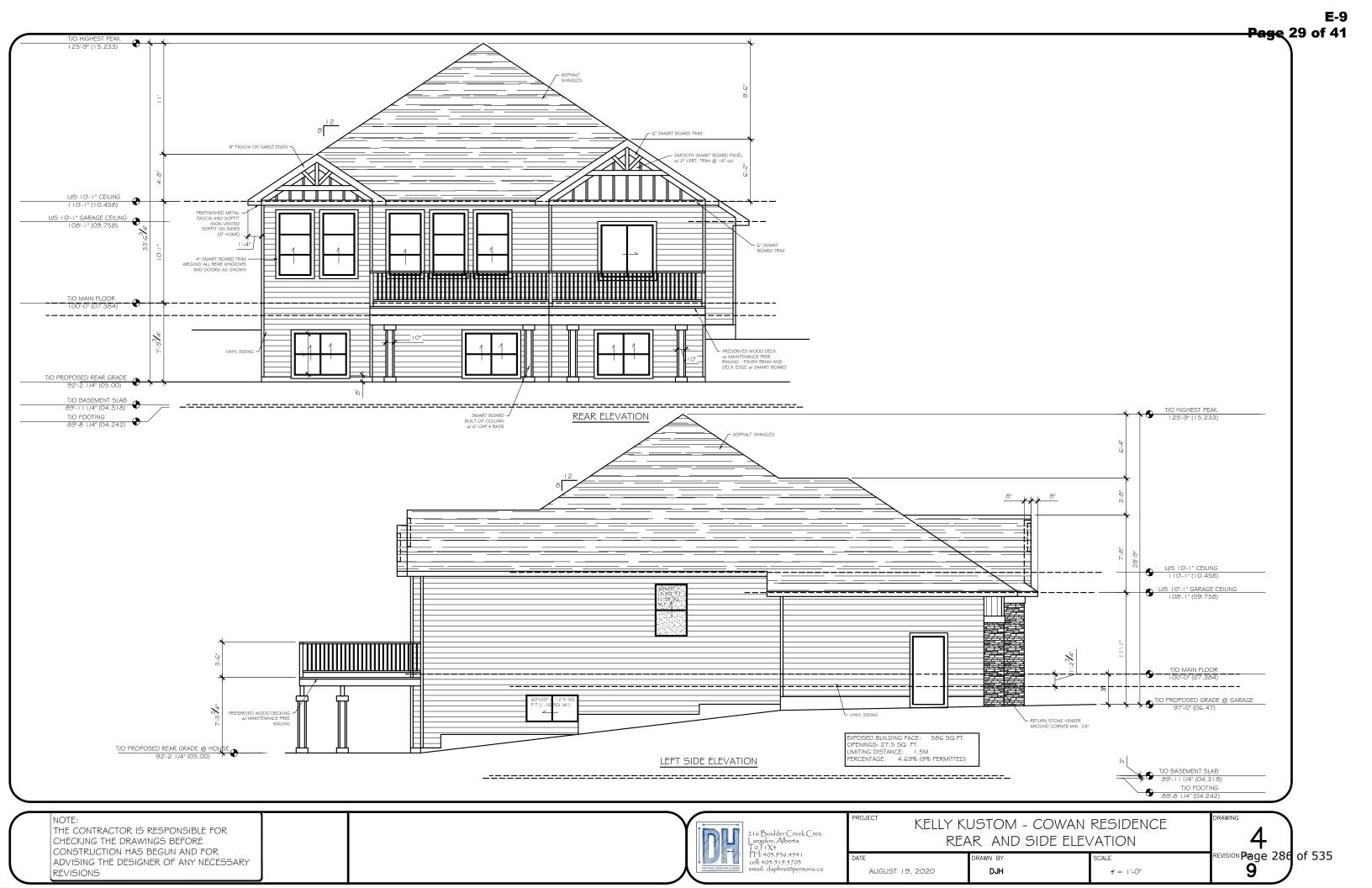




NOTE: THE CONTRACTOR IS RESPONSIBLE FOR CHECKING THE DRAWINGS BEFORE CONSTRUCTION HAS BEGUN AND FOR ADVISING THE DESIGNER OF ANY NECESSARY REVISIONS





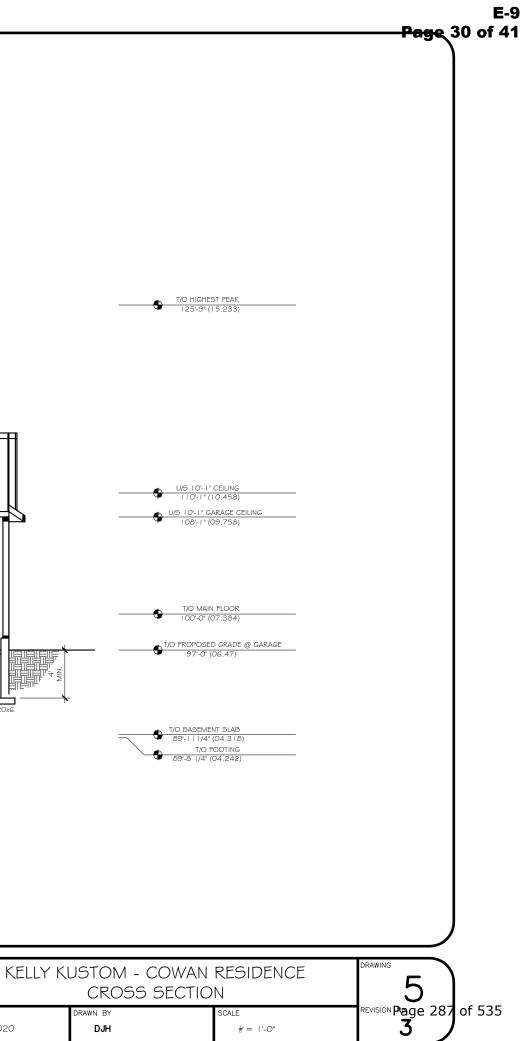


Ze" EXT. GRADE PLY SHTG, dw H-CLIPS PRE ENGINEERED TRUSSES @ 24" dc. g/l2 PITCH TRUSSES INSULATION AS PER 9.36 DETAIL PAGES 6 MIL POLY VAPOUR BARRIER (s or DOAY TRU GEWING GARD PROVIDE ROOF VENTS AS REQUIRED 🛿 300 MIN.) ∠<sup>■</sup> CD DOMTAR CEILING BOARD ATTIC ATTIC ENSURE MINIMUM 7'-4" HEADROOM ABOVE STAIRS / LANDING PREFINISHED METAL SOFFIT AND FASCIA EXTERIOR WALL CONSTRUCITON: EXT. FINISH AS SPECD. % EXT. FILY SHEATHING 2X6 STUDS @ 24" o/c INSULATION AS PER 9.36 DETAIL SHEETS 6 MILL POLY VAPOUR BARRIER 6 MILL POLY VAPOUR BARRIER MASTER SUITE LAUNDRY / WALLS AND CEILING BETWEEN MUD ROOM HOUSE AND GARAGE TO BE INSULATED (R22), G MIL POLY VAPOUR BARRIER, DRYWALLED HALL INTERIOR FLOOR CONSTRUCTION: FLOOR FINISHED AS SPECIFIED K-3 UNDER LINO AREAS 🔏 DRYWALL 34 AND TAPED. ¾" T ¢ G PLY SUBFLOOR (GLUED AND SCREWED) -ENG. FLOOR JOISTS LINTELS 2-2x10 #2 SPR. OR BETTER UNLESS OTHERWISE NOTED. 4" CONC. SLAB FLOOR -REINF. W I OM BARS @ I G" o/c e/w G MIL POLY VAPOUR BARRIER G" GRAVEL FILL ON UNDISTURBED SOIL BLOCKING AS REQUIRED 3 PLY 2x10 BEAM -/- 3" Ø ADJ. STEEL COLUMN - JOISTS AS PER PLAN TOP OF WALL CONNECTIONS -TO BE CONSTRUCTED AS 6x6 WOOD POST UNEXCAVATED (TRENCH FOR 3" CONC. SLAB FLOOR DAMP PROOF BELOW PER AHITC GUIDELINES (CHBC 2016) 6 MIL POLY VAPOUR BARRIER 6" GRAVEL FILL ON UNDISTURBED SOI FINISHED GRADE DEVELOPED FOOTINGS) LATERAL CONNECTION TYPE I BASEMENT - 8" CONC. WALL c/w 2xG STUDS SEE 9.3G DETAIL PAGE FOR SPACING AND INSULATION walls not shown I O'' Ø CONC. -PILE DOWN MIN. 4' BELOW GRADE for simplicity SET ON A 36"x36"x8" 20x6 (. CONC. PAD └─ WEEPING TILE - NOTE: ALL FOOTING PADS TO HAVE 4-(#3) I OM STEEL REBARS PLACED EA. WAY CROSS SECTION

ROOF/CEILING CONSTRUCITON: ASPHALT SHINGLES

BUILDING PAPER

PROJECT NOTE: THE CONTRACTOR IS RESPONSIBLE FOR DH 216 Boulder Creek Cres. Langdon, Alberta ToJ 1X3 PH:403.936.4541 CHECKING THE DRAWINGS BEFORE CONSTRUCTION HAS BEGUN AND FOR DATE DRAWN BY ADVISING THE DESIGNER OF ANY NECESSARY cell: 403.519.5703 email: daphne@persona.ca JULY 30, 2020 DJH REVISIONS



# N.B.C. 2019 - ALBERTA EDITION 9.36 SUMMARY

## COMPLIANCE PATH (9.36.1)

PRESCRIPTIVE PATH

TRADE OFF PATH (ATTIC FOR ABOVE GRADE WALLS)

PERFORMANCE PATH (AIR TIGHTNESS FOR PERFORMANCE MODELING TO BE 2.5 ACH.)

## GENERAL REQUIREMENTS (9.36)

- NO HVAC DUCTING PERMITTED IN ANY INSULATED ASSEMBLY UNLESS ABSOLUTELY -NECESSARY.
- NO PLUMBING PIPES OR VENTING PERMITTED IN ANY INSULATED ASSEMBLY UNLESS ABSOLUTELY NECESSARY.
- NO BUNDLES OF ELECTRICAL WIRES OR CABLES PERMITTED IN ANY INSULATED ASSEMBLY.
- CONTINUOUS AIR/VAPOUR BARRIER MAINTAINED USING SHEET POLY, SEALANT AND THE USE OF 2LB SPRAY APPLIED CLOSED CELL FOAM INSULATION.
- 9.36.2.4.(4) ALLOWS SOME ASSEMBLIES TO HAVE A MINIMUM RSI VALUE REDUCED BY 0.61 RSI.

## HVAC REQUIREMENTS (9.36.3)

- \_ WARM AIR FURNACE TO COMPLY WITH A.B.C. TABLE 9.36.3.10
- GAS FIRED WARM AIR FURNACE HAVING A MINIMUM PERFORMANCE AFUE OF 92% -
- ALL DUCTING SHALL BE SEALED TO COMPLY WITH A.B.C. 9.36.2
- ALL AIR INTAKE AND OUTLET DAMPERS TO COMPLY WITH A.B.C. 9.36.3.3 -
- SERVICE WATER HEATING EQUIPMENT TO COMPLY WITH A.B.C. TABLE 9.36.4.2
- GAS FIRED STORAGE HEATER HAVING A MINIMUM PERFORMANCE EF OF 67% -
- GAS FIRED TANKLESS HEATER HAVING A MINIMUM PERFORMANCE EF OF 80% -
- PIPING SHALL BE INSULATED (12mm) FOR FIRST 2M TO COMPLY WITH A.B.C. 9.36.4.4
- HEAT RECOVERY VENTILATION (HRV) SYSTEM TO COMPLY WITH A.B.C. 9.36.3.9
- ACTIVE HRV EQUIPMENT HAVING A MINIMUM PERFORMANCE EF OF 60%

# BUILDING ENVELOPE ASSEMBLIES - WITH HRV

## EXTERIOR WALL ASSEMBLY

INTERIOR AIR FILM ½" GYPSUM BOARD 6 mil. POLY AIR/VAPOUR BARRIER 2x6 SPR. TOP(2) ¢ BOTTOM PLATES	0.12 0.08 0.00	RSI RSI RSI
w/ 2x6 SPR. STUDS @ 24" o.c. w/ FULL CAVITY FIBREGLASS BATT R22 INSUL.	2.67	RSI
%" O.S.B. SHEATHING TYVEK BUILDING WRAP	0.09	RSI RSI
VINYL SIDING	0.11	RSI
EXTERIOR AIR FILM	0.03	RSI
TOTAL EFFECTIVE =	3.1	RSI
N.B.C. 2019 AB ED. =	2.97	RSI

EXTERIOR WALL ASSEMBLY WITH 5/8" GYPSUM BOARD (0.100 RSI) HAS A TOTAL EFFECTIVE VALUE OF 3.023 RSI

## EXTERIOR WALL ASSEMBLY

INTERIOR AIR FILM	0.12 RSI
½" GYPSUM BOARD	0.08 RSI
6 mil. POLY AIR/VAPOUR BARRIER	0.00 RSI
2x6 SPR. TOP(2) & BOTTOM PLATES	
w/ 2x6 SPR. STUDS @ 24" o.c.	
w/ FULL CAVITY FIBREGLASS BATT R22 INSUL.	2.67 RSI
$^{3}\!\!\!/_{\!\mathcal{B}}$ " O.S.B. SHEATHING	0.09 RSI
TYVEK BUILDING WRAP	0.00 RSI
STONE VENEER	0.023 RSI
EXTERIOR AIR FILM	0.03 RSI
TOTAL EFFECTIVE =	3.0.13 RSI
N.B.C. 2019 AB ED. =	2.97 RSI

### HOUSE/GARAGE WALL ASSEMBLY

INTERIOR AIR FILM		0.12 RSI
🖉 GYPSUM BOARD		0.08 RSI
6 mil. POLY AIR/VAPOUR BARRIER		0.00 RSI
2x6 SPR. TOP(2) & BOTTOM	1 PLATES	
W/ 2x6 SPR. STUDS @		
w/ FULL CAVITY FIBREGLASS BATT R22 INSUL.		2.67 RSI
/ GYPSUM BOARD		0.08 RSI
EXTERIOR AIR FILM		0.03 RSI
	TOTAL EFFECTIVE =	3.98 RSI
	N.B.C. 2019 AB ED. =	2.81 RSI
	(MINIMUM REDUCED O. I G	RSI)

## FOUNDATION WALL ASSEMBLY

CEMENT PARGING ABOVE GRADE	0.00 RSI
DAMPPROOFING	0.00 RSI
8" CONCRETE FOUNDATION WALL	0.08 RSI
I " AIR SPACE	0.18 RSI
2x6 SPR. FURRING @ 24" o.c.	
w/ FULL CAVITY FIBREGLASS BATT R22 INSUL.	2.67 RSI
$V_2$ " GYPSUM BOARD	0.08 RSI
INTERIOR AIR FILM	0.03 RSI
TOTAL EFFECTIVE =	3.04 RSI
N.B.C. 2019 AB ED. =	2.98 RSI

E-9 Page 31 of 41 PARALLEL-PATH FLOW CALCULATIONS FOR NON-CONTINUOUS LAYERS OF BUILDING ENVELOPE ASSEMBLIES 100  $RSI_{parallel} = \left(\frac{\frac{1}{8} \frac{1}{1}}{\frac{1}{8} \frac{1}{8}}\right) + \left(\frac{\frac{1}{8} \frac{1}{8} \frac{1}{8}}{\frac{1}{8}}\right)$ EXTERIOR WALL ASSEMBLY 2x6 SPR. TOP & BOTTOM PLATES w/ FULL CAVITY FIBREGLASS BATT R22 INSULATION  $RSI_{parallel} = \frac{100}{(\frac{20}{1.19}) + (\frac{80}{3.87})}$ RSI  $_{\text{parallel}} = \frac{100}{16.81 + 20.67}$  $RSI_{parallel} = \frac{100}{37.48}$  $RSI_{parallel} = 2.67$ HOUSE/GARAGE WALL ASSEMBLY 2x6 SPR. TOP(2) & BOTTOM PLATES w/ FULL CAVITY FIBREGLASS BATT R22 INSULATION  $RSI_{parallel} = \frac{100}{(\frac{20}{1.19}) + (\frac{80}{3.87})}$  $RSI_{parallel} = \frac{100}{16.81 + 20.67}$  $RSI_{parallel} = \frac{100}{37.48}$ RSI <sub>parallel</sub> = 2.67 FOUNDATION WALL ASSEMBLY 2x6 FURRING @ 16" o.c. w/ FULL CAVITY FIBREGLASS BATT R22 INSULATION 100  $\left(\frac{0}{3}\right) + \left(\frac{80}{287}\right)$ 81 + 20.67 100 RSI parallel = -37.48 \_\_\_\_ - ---RAWING 0 9.36 DETAIL PAGE I REVISION Page 288 of 535 DRAWN BY SCALE 0 NTS

**KELLY KUSTOM - COWAN RESIDENCE** 

RS	ol <sub>parallel</sub> =	( <u>20</u>
RS	ol <sub>parallel</sub> =	16.



### ROOF/ATTIC ASSEMBLY

ROOFING (ASPHALT) BUILDING PAPER %" O.S.B. SHEATHING (w/ H-CLIPS) ATTIC AIR FILM (VENTED AT 1:300 MINIMUM) ENGINEERED ROOF TRUSSES @ 24" o.c. (RAISED HEEL) 2x4 SPR. BOTTOM CHORD CAVITY	0.08 RSI 0.00 RSI 0.093 RSI 0.03 RSI
W 3 ½" DEPTH BLOWN FIBERGLASS INSULATION I G" DEPTH BLOWN FIBRERGLASS INSULATION G mil POLY AIR/VAPOUR BARRIER ½" GYPSUM C.D. BOARD INTERIOR AIR FILM	I .54 RSI 7.62 RSI 0.00 RSI 0.08 RSI 0.1 I RSI
TOTAL EFFECTIVE = N.B.C. 2019 AB ED. =	9.553 RSI 8.67 RSI
VAULTED CEILING/ATTIC ASSEMBLY	
ROOFING (ASPHALT) BUILDING PAPER ⅔" O.S.B. SHEATHING (w/ H-CLIPS) ATTIC AIR FILM (VENTED AT 1:300 MINIMUM) ENGINEERED ROOF TRUSSES @ 24" o.c. (RAISED HEEL) 2x4 SPR. BOTTOM CHORD CAVITY	0.08 RSI 0.00 RSI 0.093 RSI 0.03 RSI

# BASEMENT FLOOR ASSEMBLY - UNHEATED FLOORS

INTERIOR AIR FILM	0.16 RSI
FLOOR FINISH	0.00 RSI
4" - 25 MPa CONCRETE SLAB	0.04 RSI
6 mil POLY AIR/VAPOUR BARRIER	0.00 RSI
4" COMPACTED 40 mil WASHED GRAV	VEL 0.00 RSI
TOTAL E	EFFECTIVE = 0.20 RSI
N.B.C. 2	2019 AB ED. = UNINSULATED

TOTAL EFFECTIVE =

N.B.C. 2019 AB. ED. = 5.02 RSI

5.793 RSI

### **RIM-JOISTS PARALLEL**

NOTE:

	0.12 RSI
2x4 SPR. PONY WALL @ 24" o.c. w/ 4 $\not \!\!\!/_2$ " MIN. POLYURETHANE SPRAY FOAM INSUL. $\not \!\!\!\!\!\mathscr{Y}_2$ " O.S.B. SHEATHING	2.75 RSI 0.09 RSI
TYVEK BUILDING WRAP VINYL SIDING EXTERIOR AIR FILM	0.11 RSI 0.03 RSI
TOTAL EFFECTIVE = N.B.C. 2019 AB ED. =	3.10 RSI 2.97 RSI

### ROOF/ATTIC ASSEMBLY

2x4 SPR. BOTTOM CHORD @ 24" o.c. (RAISED HEEL) w/ 3 ½" BLOWN FIBERGLASS INSULATION

$$RSI_{parallel} = \frac{100}{(\frac{7}{0.76}) + (\frac{93}{1.67})}$$
$$RSI_{parallel} = \frac{100}{9.21 + 55.69}$$
$$RSI_{parallel} = \frac{100}{64.9}$$

 $RSI_{parallel} = 1.54$ 

### VAULTED CEILING/ATTIC ASSEMBLY

2x4 SPR. BOTTOM CHORD @ 24" o.c. (RAISED HEEL) w/ RI2 FIBERGLASS BATT INSULATION

$$RSI_{parallel} = \frac{100}{\left(\frac{7}{0.76}\right) + \left(\frac{93}{2.11}\right)}$$

$$RSI_{parallel} = \frac{100}{9.21 + 44.08}$$

$$RSI_{parallel} = \frac{100}{53.29}$$

$$RSI_{parallel} = 1.88$$

### RIM-JOISTS PERPENDICULAR

INTERIOR AIR FILM	0.12 RSI
ENGINEERED JOISTS @ 16" o.c MIN.	
w/ 4" MIN. POLYURETHANE SPRAY FOAM INSUL.	2.74 RSI
I 🄏 " O.S.B. RIM BOARD	0.28 RSI
TYVEK BUILDING WRAP	0.00 RSI
VINYL SIDING	0.11 RSI
EXTERIOR AIR FILM	0.03 RSI
TOTAL EFFECTIVE =	3.18 RSI
N.B.C. 2019 AB ED. =	2.97 RSI

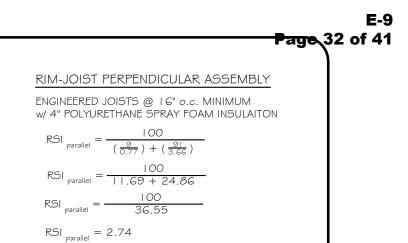
### ATTIC ACCESS HATCH

ATTIC AIR FILM (VENTED AT 1:300 MINIMUM)	0.03 RSI
4" EXTRUDED POLYSTYRENE INSULATION	3.56 RSI
$rac{1}{2}$ " MDF FINISH MATERIAL	0.11 RSI
INTERIOR AIR FILM	0.11 RSI
TOTAL EFFECTIVE =	3.81 RSI
N.B.C. 2019 AB ED. =	2.60 RSI

### RIM-JOIST PARALLEL ASSEMBLY

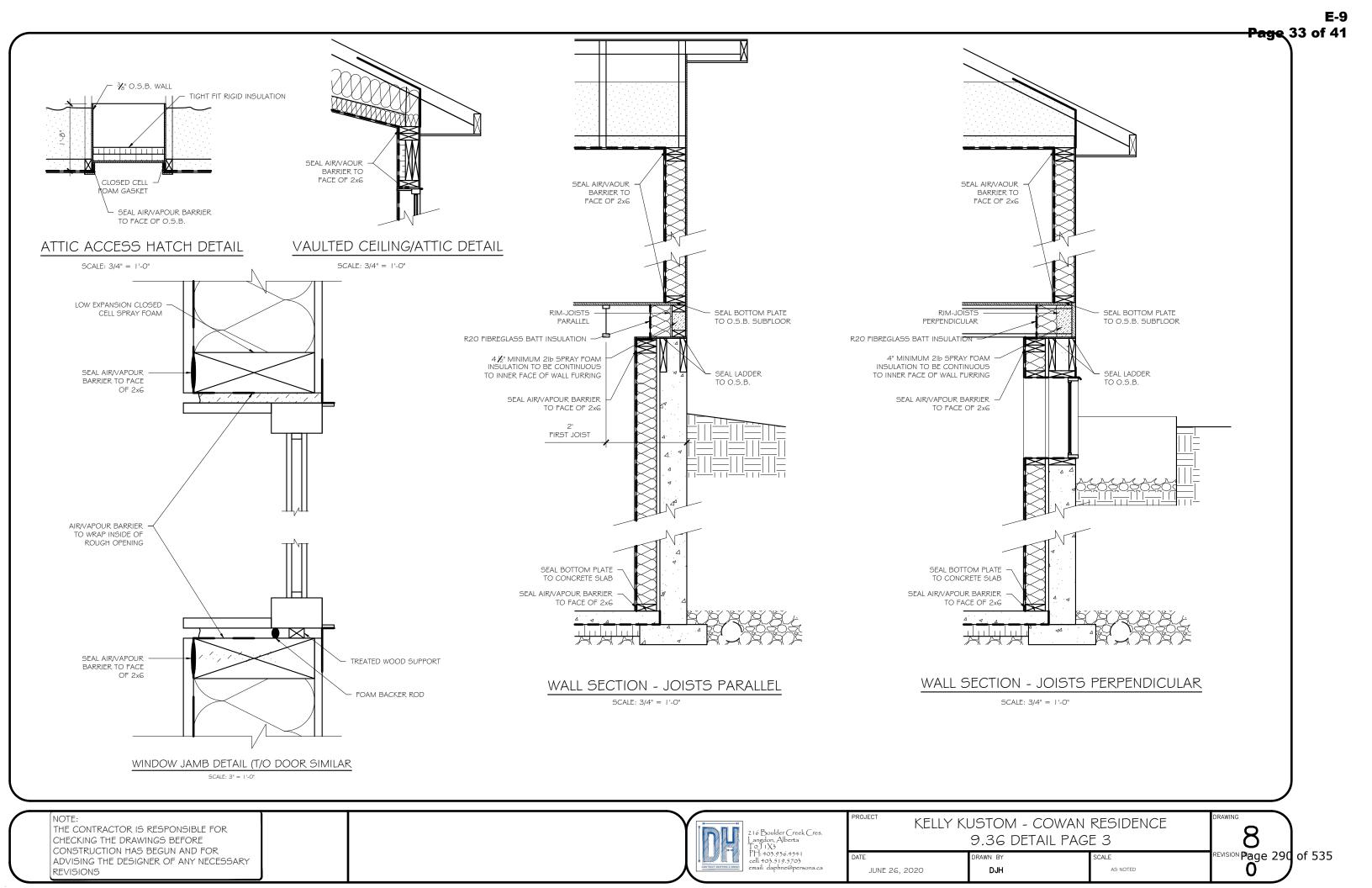
2x4 SPR. PONY WALL @ 24" o.c. MINIMUM w/ 4  $V_2^{"}$  minimum polyurethane spray foam insulation

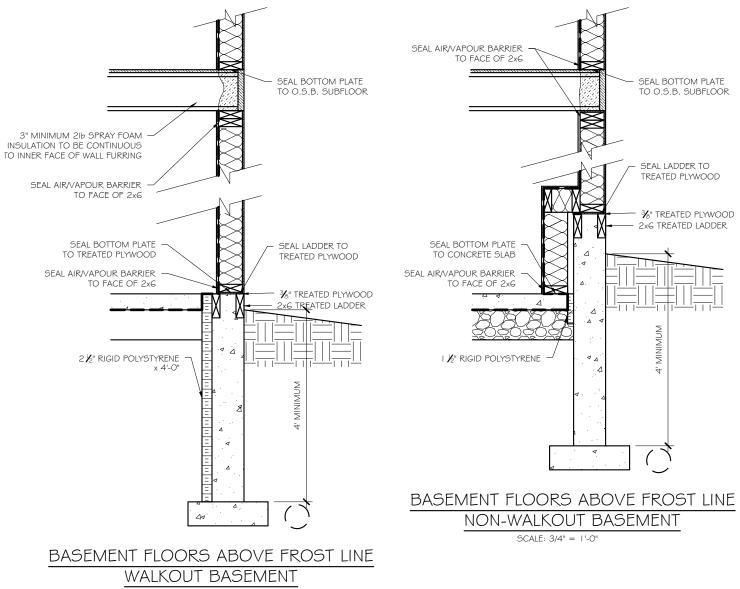
RSI =	100
RSI <sub>parallel</sub> =	$\left(\frac{20}{1.19}\right) + \left(\frac{80}{4.10}\right)$
RSI -	100
parallel –	16.81 + 19.51
RSI =	100
RSI <sub>parallel</sub> = •	36.32
RSI <sub>parallel</sub> =	2.75



M - COWAN RESIDENCE DETAIL PAGE 2			
	SCALE		
	NTS		

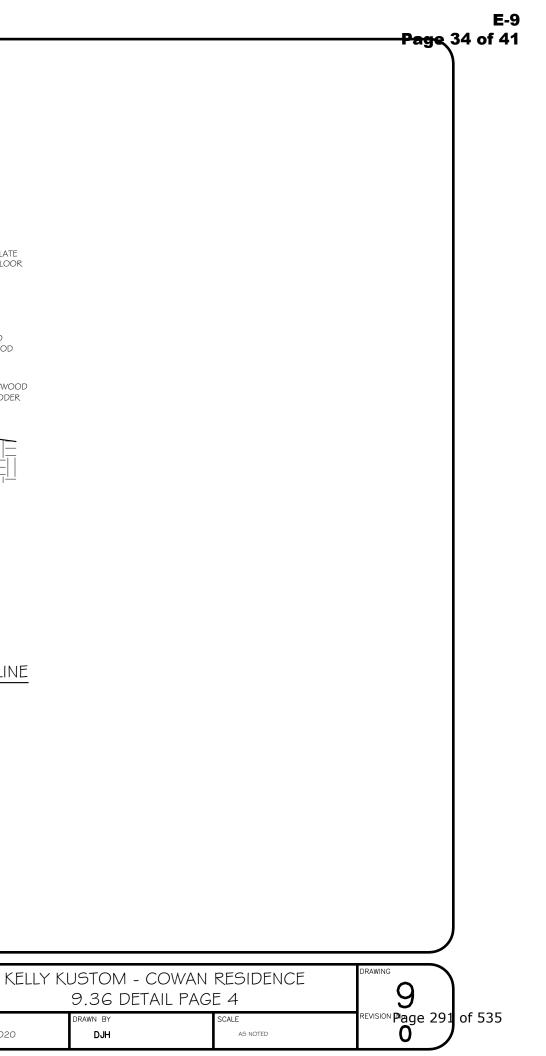
DRAWING		
REVISION Plage	289	of 535

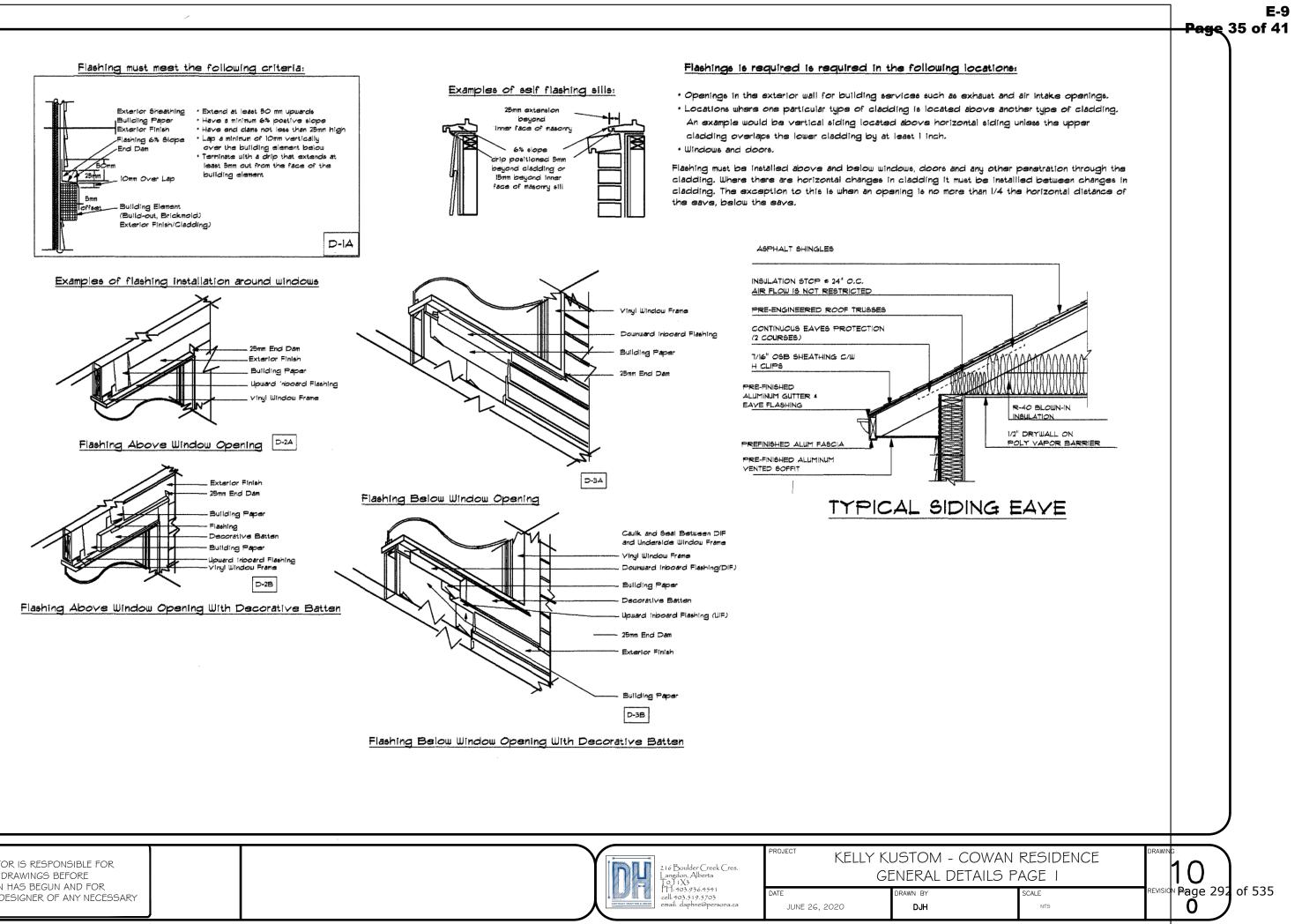




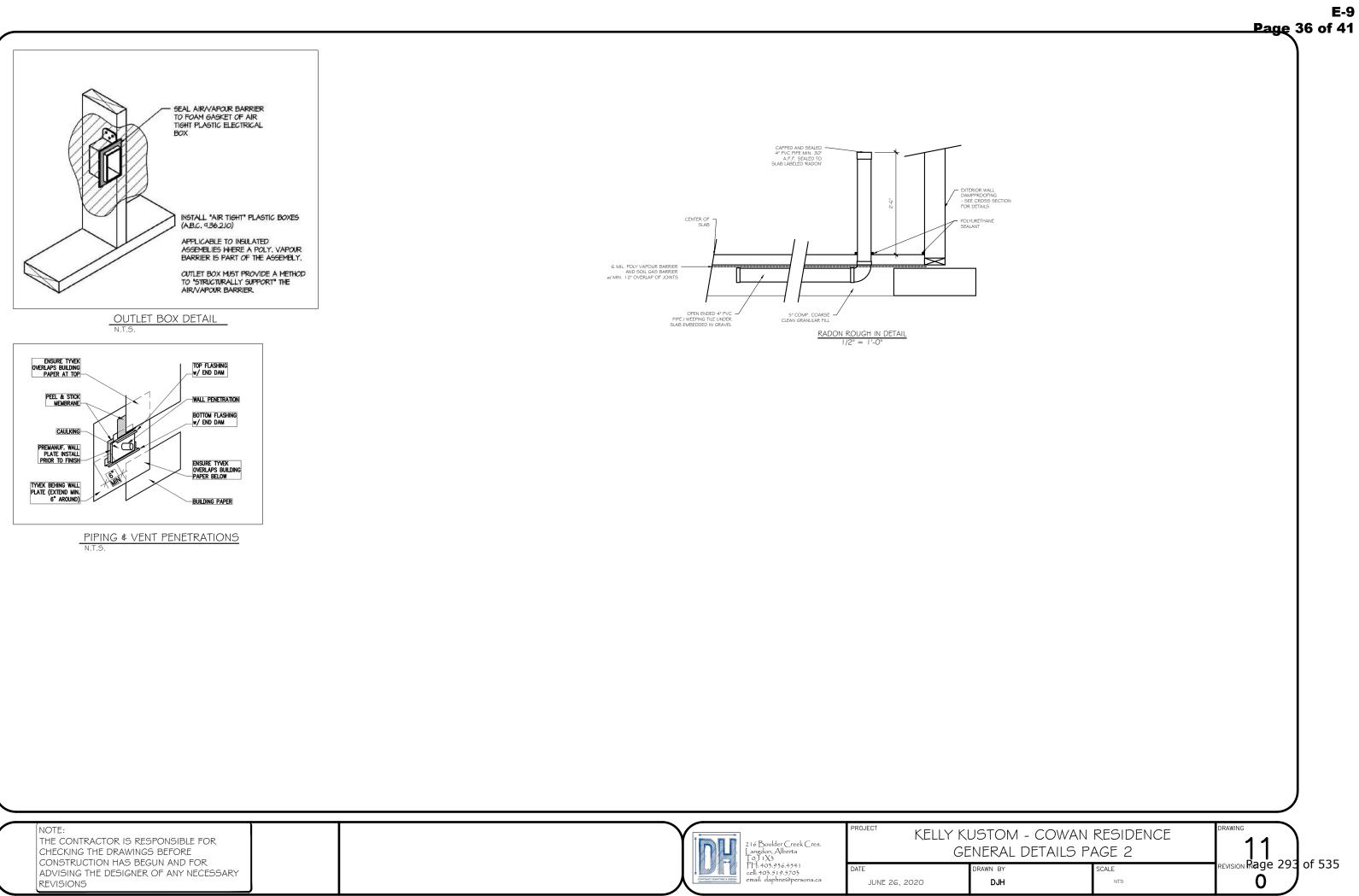
SCALE: 3/4" = 1'-0"







NOTE: THE CONTRACTOR IS RESPONSIBLE FOR CHECKING THE DRAWINGS BEFORE CONSTRUCTION HAS BEGUN AND FOR	216 Boulder Creek Cres. Langdon, Alberta L.9, J 1X5	RELLY K	USTON ENERAL
ADVISING THE DESIGNER OF ANY NECESSARY	* TH: 403.936.4541 cell: 403.519.5703	DATE	DRAWN BY
REVISIONS	contract our real: daphnc@persona.ca	JUNE 26, 2020	DJH

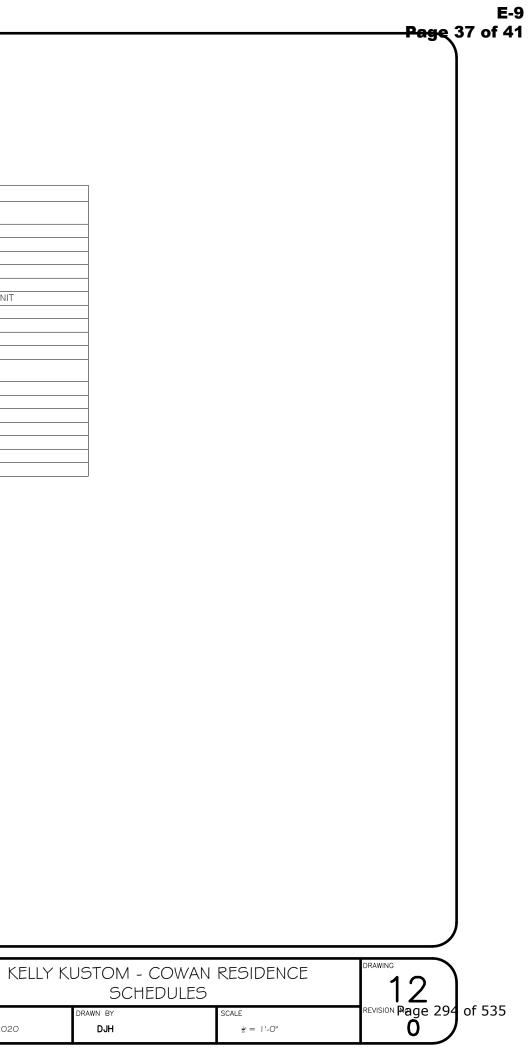




		ROOM FINISH SCHEDI	
ROOM NAME	FLOOR FINISH	CEILING FINISH	NOTES
DINING	VINYL PLANK	DRYWALL	
KITCHEN	VINYL PLANK	DRYWALL	GRANITE / QUARTZ COUNTER TOPS
DEN	VINYL PLANK	DRYWALL	
BATHROOM	TILE	DRYWALL	FEATURE WALL AS NOTED
FOYER	VINYL PLANK	DRYWALL	
GREAT ROOM	VINYL PLANK	DRYWALL	CUSTOM FIRE PLACE AND BUILT-IN WALL UNIT
POWDER	TILE	DRYWALL	
LAUNDRY	TILE	DRYWALL	
MASTER SUITE	CARPET	DRYWALL	
ENSUITE	TILE	DRYWALL	GRANITE/QUARTZ COUNTER TOPS
W.I.C.	CARPET	DRYWALL	
BEDROOM #2	CARPET	DRYWALL	
BATH	TILE	DRYWALL	GRANITE / QUARTZ COUNTER TOPS
BEDROOM #3	CARPET	DRYWALL	
FAMILY ROOM	CARPET	DRYWALL	
MECHANICAL / STORAGE	CONCRETE	NOT FINISHED	

NOTE: THE CONTRACTOR IS RESPONSIBLE FOR CHECKING THE DRAWINGS BEFORE CONSTRUCTION HAS BEGUN AND FOR ADVISING THE DESIGNER OF ANY NECESSARY REVISIONS





### NOTES:

The National Building Code of Canada has accepted the span tables published by the Canadian Wood Council. These tables allow for increased joist span in floor systems when a combination of gluing, nailing, bridging and strapping is used. If local approving authorities have not accepted the adoption of these tables, please adjust joist spacing.

The engineering of attic trusses could affect bonus room dimensions, if applicable.

### CODES AND STANDARDS

At the time of preparation, this plan was drawn in accordance with the current edition of The National Building Code of Canada. It is the responsibility of the owner/builder to insure that changes made to the code are complied with and all amendments are incorporated in the construction of this plan. All work shall conform to local building codes and by-laws which may take precedence.

Prior to proceeding with construction, the builder must verify all information, dimensions and specifications of this plan.

Written dimensions always take precedence over scale measurements.

Any variance from structural drawings and specifications or from conditions encountered at the job site shall be resolved by owner/builder and such solutions shall be their sole responsibility.

All concrete to have a minimum compressive strength of 2900 psi (20 MPa) at 28 days.

Concrete footings must be placed on undisturbed or compacted soil to an elevation below frost penetration.

Footings shown on these drawings have been designed for soil bearing capacity of 2500 psi. If a lesser bearing capacity is encountered, it is the responsibility of the owner/builder to have the footings redesigned by qualified person to suit existing conditions.

Foundation walls should not be backfilled until concrete or masonry grout has reached its specified 28 day strength and structural floor framing (including plywood subfloor) has been installed.

All foundation walls 24" and higher should have one horizontal IOM reinforcing bar 3" from the top.

Corner reinforcing to be lapped minimum 24".

All footings are to have two IOM reinforcing bars. The reinforcing bars are to be situated such that one bar is 3" clear of the side and bottom of the footing on both sides of the footing.

Grades shown on elevations are estimated. Adjust on site as required.

Retaining walls other that walls of the residence are beyond the scope of these drawings unless otherwise noted

#### ABOVE GRADE MASONRY

All above grade masonry is to conform to section 9.20 of the National Building Code.

If brick veneer is to be installed, counter flashing shall be installed up 8" behind the building Flash all changes of materials on exterior openings. felt and below the bottom course with vertical joist raced clean. Weep holes to be 24" o/c max.

#### CARPENTRY:

Framing lumber shall be two (2) or better Douglas Fir unless otherwise specified on plan. For other common species, refer to span tables of the current edition of the National Building Code. All beam and lintels to be engineered and provided by an approved joist/truss/beam supplier.

Joists are to be doubled under parallel partitions.

Joists shall be placed to accommodate heating and plumbing, etc.

All headers and timbers to comply with Section 9.23 of the National Building Code, current table 9.12.2.2 of National Building Code and consult local authorities for accepted standards, edition.

Owner/builder to obtain certificates from manufacturer of floor trusses and glulam beams.

Floor and roof joist spans of more than 7' shall be bridged at midspan or at 7' o/c maximum, unless sheated or strapped both sides with wood. Bridging shall be 2x2 diagonal type where possible.

Interior framing to be 4" clear of back and sides of firebox and 2" clear of brick chimneys. Frame exterior walls I " clear from exterior fireplaces.

Plates are to be anchored to concrete with  $\beta$ " anchor bolts, max. 6' o/c or other approved methods.

Dimensions are from the outside face of sheathing to side of partition walls.

Flush framed wood members shall be anchored with 2000 lb. joist hangers unless otherwise specified.

#### INSULATION/VENTILATION:

Minimum insulation requirements: See 9.36 detail pages and additional notes

Ceiling insulation may be loose fill type or batt type. Wall and floor insulation must be batt type.

Walls and ceiling between residence and attached garage shall be insulated.

Insulation requirements may vary with heating systems and with local conditions.

All roof spaces shall be insulated.

#### MISCELLANEOUS:

Caulk over and around all exterior openings using non hardening caulk compound.

Flash over all exterior openings.

All siding or stucco to be minimum of 8" above finished grade.

Provide cast iron cleanouts for all fireplace flues.

horizontal rails to be 32". Top rail to sustain outward load of 40 pounds per lineal foot.

closet shall have 5 adjustable shelves where possible. Broom closets shall have one shelf.

Main entrance door to have a door viewer window or sidelight.

Sidelights or windows within 36" of a locking door must be safety glass or wired glass.

(except where sidelights occur).

Dead bolt locks with 1" throw.

Hinges secured to door with I" screws and to frame with 3" screws into solid blocking.

Striker plates to be fastened with 3" screws into solid blocking.

Sliding doors must have pin type locking mechanism with a  $\frac{3}{8}$ " throw.

Sill plates to be pressure treated or separated by dampproofing material.

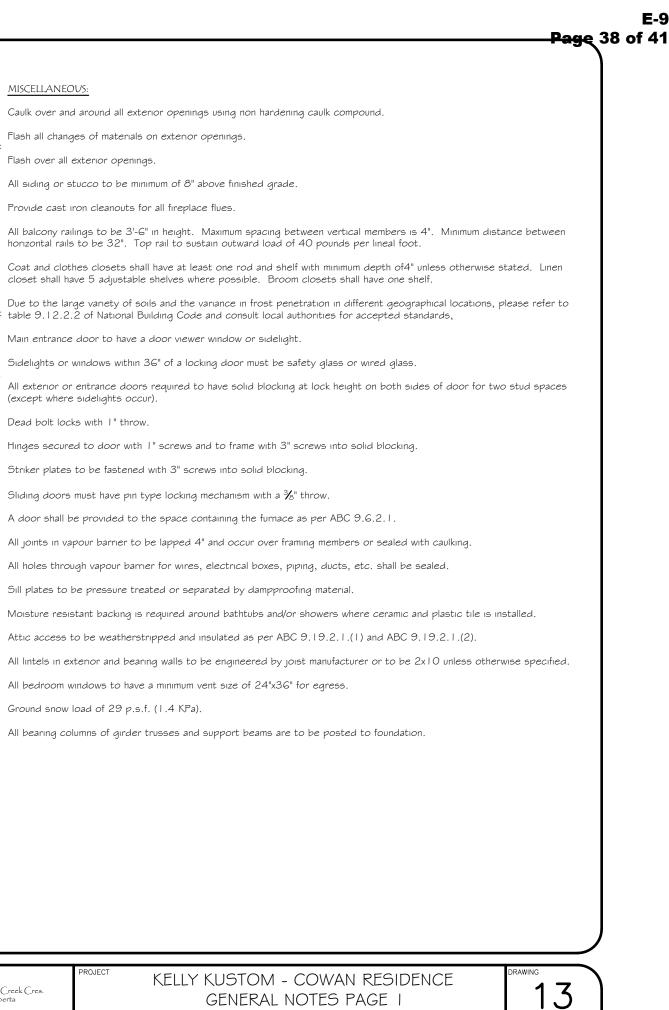
Attic access to be weatherstripped and insulated as per ABC 9.19.2.1.(1) and ABC 9.19.2.1.(2).

All bedroom windows to have a minimum vent size of 24"x36" for eqress.

Ground snow load of 29 p.s.f. (1.4 KPa).

All bearing columns of girder trusses and support beams are to be posted to foundation.





CALE

<u>+</u>" = |'-O"

REVISION Page 295 of 535

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### AIR/VAPOUR BARRIER:

- MATERIALS INTENDED TO PROVIDE THE PRINCIPAL RESISTANCE TO AIR LEAKAGE SHALL CONFORM TO CAN/ULC-S741 "AIR BARRIER MATERIALS - SPECIFICATIONS"

- MATERIALS SHALL BE COMPATIBLE WITH ADJOINING MATERIALS AND BE FREE OF HOLES AND CRACKS.
- WHERE THE AIR BARRIER SYSTEM CONSISTS OF RIGID PANEL TYPE MATERIAL, ALL JOINTS SHALL BE SEALED.
- WHERE THE AIR BARRIER SYSTEM CONSISTS OF TIMBER LOGS, ALL JOINTS SHALL BE SEALED TO RESIST AIR FLOW THROUGH GAPS BETWEEN LOGS AND HAVE

SHIFTED DUE TO IN-SERVICE CONDITIONS SUCH AS SHRINKAGE AND SETTLING.

- WHERE THE AIR BARRIER SYSTEM CONSISTS OF FLEXIBLE SHEET MATERIAL, ALL JOINTS SHALL BE LAPPED NOT LESS THAN 50mm (2"), SELAED AND STRUCTURALLY SUPPORTED.
- SEALANT MATERIAL USED FOR THE PURPOSE OF CREATING A CONTINUOUS AIR BARRIER SYSTEM SHALL BE A NON-HARDENING TYPE OR CONFORM TO CAN/ULC-S710.0 - THERMAL INSULATION - BEAD-APPLIED ONE COMPONENT POLYURETHANE AIR SEALANT FOAM, PART 1: MATERIAL SPECIFICATION OR CAN/ULC-S711.1 - THERMAL INSULAITON - BEAD-APPLIED TWO COMPONENT POLYURETHANE AIR SEALANT FOAM, PART 1: MATERIAL SPECICATION
- PENETRATIONS BY ELECTRICAL WIRING, OUTLETS, SWITCHES OR RECESSED LIGHT FIXTURES THROUGH THE PLANE OF AIRTIGHTNESS SHALL BE CONSTRUCTED AIRTIGHT WHERE THE COMPONENT IS DESIGNED TO PROVIDE A SEAL AGAINST AIR LEAKAGE. BY SEALING THE COMPONENT TO THE AIR BARRIER MATERIAL OR WHERE THE COMPONENT IS NOT DESIGNED TO PROVIDE A SEAL AGAINST AIR LEAKAGE, BY COVERING THE COMPONENT WITH AN AIR BARRIER MATERIAL AND SEALING IT TO THE ADJACENT AIR BARRIER MATERIAL.
- THE JOINTS BETWEEN THE FOUNDATION WALL AND THE SILL PLATE, BETWEEN THE SILL PLATE AND RIM JOIST, BETWEEN THE RIM JOIST AND THE SUBFLOOR MATERIAL, AND BETWEEN THE SUBFLOOR MATERIAL AND THE BOTTOM PLATE OF THE WALL ABOVE SHALL BE CONSTRUCTED AIRTIGHT BY SEALING ALL JOINTS AND JUNCTIONS BETWEEN THE STRUCTURAL COMPONENTS, OR COVERING THE STRUCTURAL COMPONENTS WITH AN AIR BARRIER MATERIAL AND SEALING IT TO THE ADJACENT AIR BARRIFR MATERIAL
- THE INTERFACES BETWEEN WINDOWS, DOORS AND SKYLIGHTS AND WALL/CEILING ASSEMBLIES SHALL BE CONSTRUCTED AIRTIGHT BY SEALING ALL JOINTS AND JUNCTIONS BETWEEN THE AIR BARRIER MATERIAL IN THE WALL AND THE WINDOW, DOOR OR SKYLIGHT FRAME.
- CANTILEVERED FLOORS AND FLOORS OVER UNHEATED SPACES OR OVER THE EXTERIOR SHALL BE CONSTRUCTED AIR TIGHT BY ONE OF THE FOLLOWING METHODS OR A COMBINATION THEREOF a) SEALING ALL JOINTS AND JUNCTIONS BETWEEN THE STRUCTURAL COMPONENTS OR b) COVERING THE STRUCTURAL COMPONENTS WITH AN AIR BARRIER MATERIAL AND SEALING IT TO THE ADJACENT AIR BARRIER MATERIAL.
- INTERIOR WALLS THAT MEET EXTERIOR WALLS OR CEILINGS WHOSE PLANE OF AIRTIGHTNESS IS ON THE INTERIOR OF THE BUILDING ENVELOPE AND KNEE WALLS THAT SEPARATE CONDITIONED SPACE FROM UNCONDITIONED SPACE SHALL BE CONSTRUCTED AIR TIGHT BY SEALING ALL JUNCTIONS BETWEEN THE STRUCTURAL COMPONENTS, COVERING THE STRUCTURAL COMPONENTS WITH AN AIR BARRIER AND SEALING IT TO THE ADJACENT AIR BARRIER MATERIALS OR MAINTAINING THE CONTINUITY OF THE AIR BARRIER SYSTEM ABOVE OR THROUGH THE INTERIOR WALL OR BELOW OR THROUGH THE KNEE WALL, AS APPLICABLE.
- STEEL LINED CHIMNEYS THAT PENETRATE THE BUILDING ENVELOPE SHALL BE CONSTRUCTED AIR TIGHT BY BLOCKING THE VOID BETWEEN REQUIRED CLEARANCES FOR METAL CHIMNEYS AND SURROUNDING CONSTRUCTION WITH SHEFT METAL AND SEALANT CAPABLE OF WITHSTANDING HIGH TEMPERATURES.
- MASONRY OR CONCRETE CHIMNEYS THAT PENETRATE THE BUILDING ENVELOPE SHALL BE CONSTRUCTED AIR TIGHT BY MECHANICALLY FASTENING A METAL FLANGE OR STEEL STUD THAT EXTENDS NOT LESS THAN 75mm (3") OUT FROM THE CHIMNEY AND SEALING THE AIR BARRIER MATERIAL TO IT WITH A SEALANT CAPABLE OF WITHSTANDING HIGH TEMPERATURES
- DUCTS THAT PENETRATE THE BUILDING ENVELOPE SHALL BE CONSTRUCTED AIR TIGHT BY SEALING THE PENETRATION THROUGH THE BUILDING ENVELOPE.
- PLUMBING VENT STACK PIPES THAT PENETRATE THE BUILDING ENVELOPE SHALL BE CONSTRUCTED AIR TIGHT BY SEALING THE AIR BARRIER MATERIAL TO THE VENT STACK PIPE WITH A COMPATIBLE SEALANT OR SHEATHING TAPE OR INSTALLING A RUBBER GASKET OR PREFABRICATED ROOF FLASHING AT THE PENETRATION OF THE PLANE OF AIRTIGHTNESS THEN SEALING IT AND MECHANICALLY FASTENING IT TO THE TOP PLATE.
- WHERE A PARTY WALL MEETS THE PLANE OF AIRTIGHTNESS, THAT JUNCTION SHALL BE CONSTRUCTED AIRTIGHT BY SEALING ANY VOIDS WITHIN THE PARTY WALL AT THE PERIMETER TO THE ADJACENT AIR BARRIER MATERIAL AND BY SEALING ALL JUNCTIONS BETWEEN THE STRUCTURAL COMPONENTS, OR COVERING THE STRUCTURAL COMPONENTS WITH AN AIR BARRIER MATERIAL AND SEALING IT TO THE ADJACENT AIR BARRIER MATERIAL.
- WHERE THE CONCRETE IN A FLAT INSULATING CONCRETE FORM WALL ACTS AS THE AIR BARRIER, THE CONTINUITY OF THE PLANE OF AIRTIGHTNESS SHALL BE MAINTAINED BETWEEN THE CONCRETE AND ADJACENT AIR BARRIER MATERIALS.

	NOTE:		<i>,</i>
(	THE CONTRACTOR IS RESPONSIBLE FOR	l Y	
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	CONSTRUCTION HAS BEGUN AND FOR		
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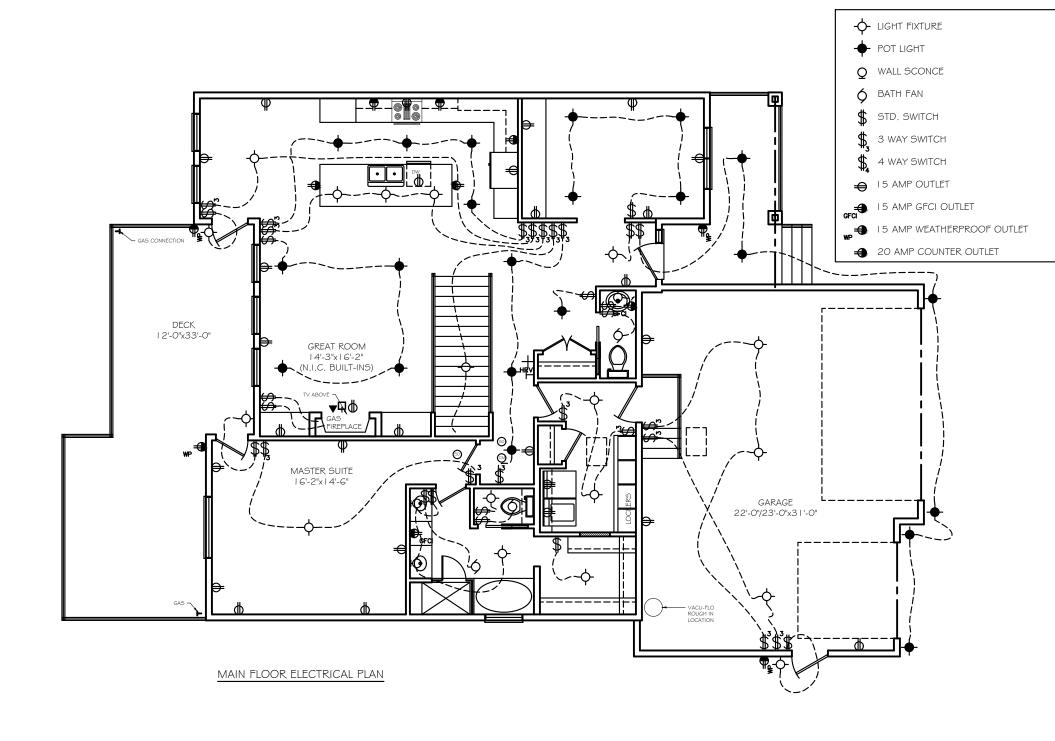


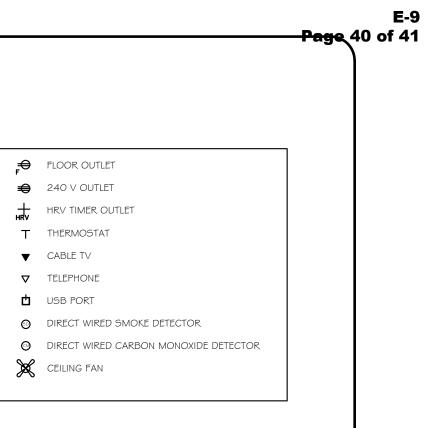
ROJEC<sup>-</sup>



NOTE: THE CONTRACTOR IS RESPONSIBLE FOR CHECKING THE DRAWINGS BEFORE CONSTRUCTION HAS BEGUN AND FOR ADVISING THE DESIGNER OF ANY NECESSARY REVISIONS







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DR ELECTRIC	AL PLAN
	SCALE
	±" =  '-O"

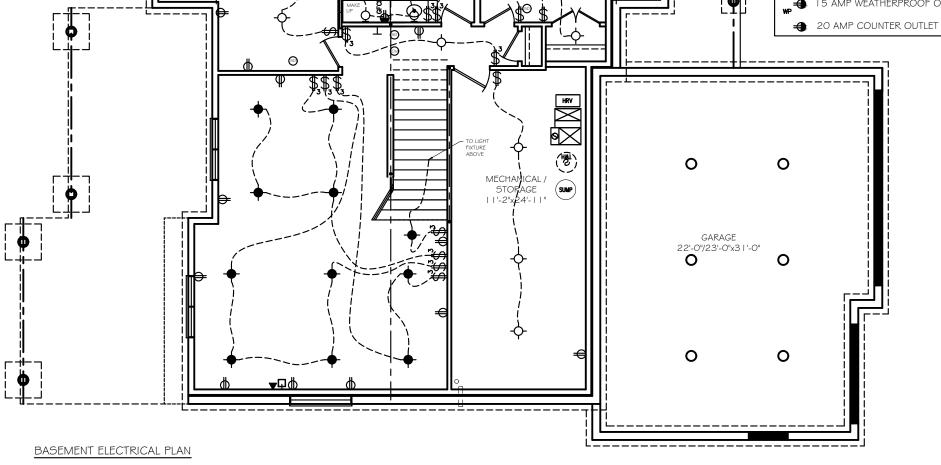


NOTE: THE CONTRACTOR IS RESPONSIBLE FOR CHECKING THE DRAWINGS BEFORE CONSTRUCTION HAS BEGUN AND FOR ADVISING THE DESIGNER OF ANY NECESSARY REVISIONS

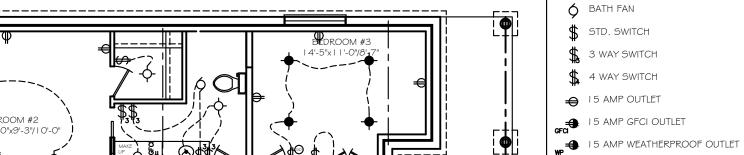
DATE AUGUST 19, 2020







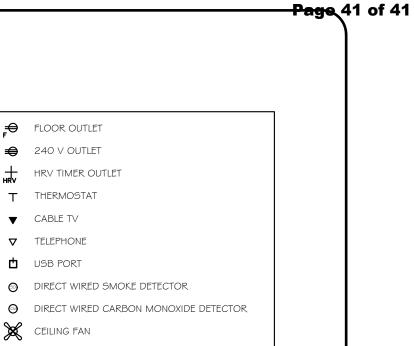
BEDROOM #2 | 5'-0"/ | 0'-0"x9'-3"/ | 0'-0"



- LIGHT FIXTURE

 ${\bf Q} \quad {\rm WALL} \ {\rm SCONCE}$ 

+ POT LIGHT



M - COWAN	RESIDENCE				
IT ELECTRIC	T ELECTRICAL PLAN				
	SCALE				

 $\frac{1}{8}$  = |'-O"



E-9



# PLANNING AND DEVELOPMENT SERVICES

**TO:** Municipal Planning Commission

DIVISION: 9

SUBJECT: Development Item: Dwelling, Manufactured

**USE:** Discretionary use, No Variances

**APPLICATION:** Dwelling, Manufactured

**GENERAL LOCATION:** Located approximately 0.81 km (1/2 mile) west of Rge. Rd. 50 and on the north side of Twp. Rd. 280

**LAND USE DESIGNATION:** Agricultural, General District (A-GEN) under Land Use Bylaw C-8000-2020.

ADMINISTRATION RECOMMENDATION:

Administration recommends Approval in accordance with Option #1.

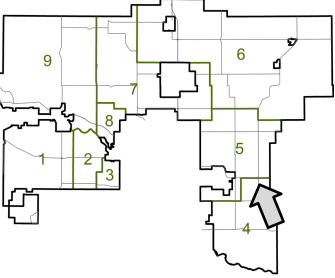
- OPTIONS: Option #1: THAT Development Permit Application PRDP20203505 be approved with the conditions noted in the Development Permit Report, attached.
- Option #2: THAT Development Permit Application PRDP20203505 be refused as per the reasons noted.

# AIR PHOTO & DEVELOPMENT CONTEXT:



Administration Resources Sandra Khouri – Planning and Development Services DATE: December 10, 2020

APPLICATION: PRDP20203505





# **DEVELOPMENT PERMIT REPORT**

Application Date: October 30, 2020	File: 08901006
Application: PRDP20203505	Applicant/Owner: Beattie, Scott & Kimberly
<b>Legal Description:</b> Lot 1, Block 1, Plan 1911018, SE-01-28-05-05	<b>General Location:</b> Located approximately 0.81 km (1/2 mile) west of Rge. Rd. 50 and on the north side of Twp. Rd. 280
Land Use Designation: Agricultural, General Distrcit (A-GEN)	Gross Area: ± 8.08 hectares (± 19.99 acres)
File Manager: Sandra Khouri	Division: 9

### PROPOSAL:

The proposal is for a Dwelling, Manufactured. The structure is a ready-to-move modular cottage that will be factory built and moved to the property. It will be placed on screw piles which are considered a permanent foundation. It is a two storey dwelling manufactured by Rustic Cabins in Red Deer County. It contains a loft and storage space on the top floor and has two bedrooms, one bathroom, a kitchen, and living area on the main floor.

### SITE DETAILS:

- Surrounded by agricultural parcels;
- A couple of waterbodies/wetlands noted; however, not in proximity to the proposed location of the dwelling;
- Undeveloped site;
- No oil & gas infrastructure.

### LAND USE BYLAW:

### Part 8 Definitions

**"Dwelling, Manufactured"** means a detached Dwelling Unit consisting of a transportable dwelling that is designed and built to CAN/CSA Standard, to be moved, from one point to another as a single unit, and which is upon its arrival at the site where it is to be located, ready for occupancy except for incidental building operations such as connection to utilities. A Dwelling, Manufactured shall has a minimum GFA of 37.1 m2 (399.34 ft2).

### A-GEN Agricultural, General District

304 Discretionary Uses

Dwelling, Manufactured

Requireme	nts			
Section	Regulation	Required	Proposed	Variance
306	Maximum Density on parcels < 80 ac.	2 dwelling units	1 dwelling unit	0%



307	Maximum Building Height (dwelling units)	12.00 m (39.37 ft.)	5.33 m (17.50 ft.)	0%	
308	Front Yard from County	45.00 m	Lots	0%	
308	roads Side Yard from other	(147.64 ft.) 6.00 m	Lots	0%	
308	parcels Rear Yard from other	(19.69 ft.) 15.00 m	Lots	0%	
	parcels	(49.21 ft.)			

### STATUTORY PLANS:

The subject property is not located within any Statutory Plans. As such, the application was evaluated in accordance with the Land Use Bylaw.

### **CIRCULATIONS:**

Fire Services and Emergency Management Review

• The Fire Service has no comments at this time.

Capital Projects Management

• Capital Projects does not have any projects noted in that area.

### **OPTIONS:**

<u>Option #1</u>: (this would allow the proposed development to commence)

APPROVAL, subject to the following conditions:

### **Description:**

1) That the construction/placement of a Dwelling, Manufactured may commence on the subject property, in accordance with approved site plan, application details, and conditions of this permit.

### Permanent:

- 2) That the Dwelling, Manufactured shall not be used for *commercial* or *vacation rental* purposes at any time, unless approved by a Development Permit.
- 3) That it is the Applicant/Owner's responsibility to obtain and display a distinct municipal address [50166 TWP RD 280] in accordance with the County Municipal Addressing Bylaw (Bylaw C-7562-2016), for the dwelling unit located on the subject site, to facilitate accurate emergency response.

### Advisory:

- 4) That any over government permits, approvals, or compliances are the sole responsibility of the Applicant.
- 5) That during construction, the County's Noise Control Bylaw C-5772-2003 shall be adhered to at all times.
- 6) That during construction, all construction and building materials shall be maintained on-site in a neat and orderly manner. Any debris or garbage shall be stored/placed in garbage bins and disposed of at an approved disposal facility.
- 7) That a Building Permit and sub-trade permits shall be obtained through Building Services, prior to any construction taking place.



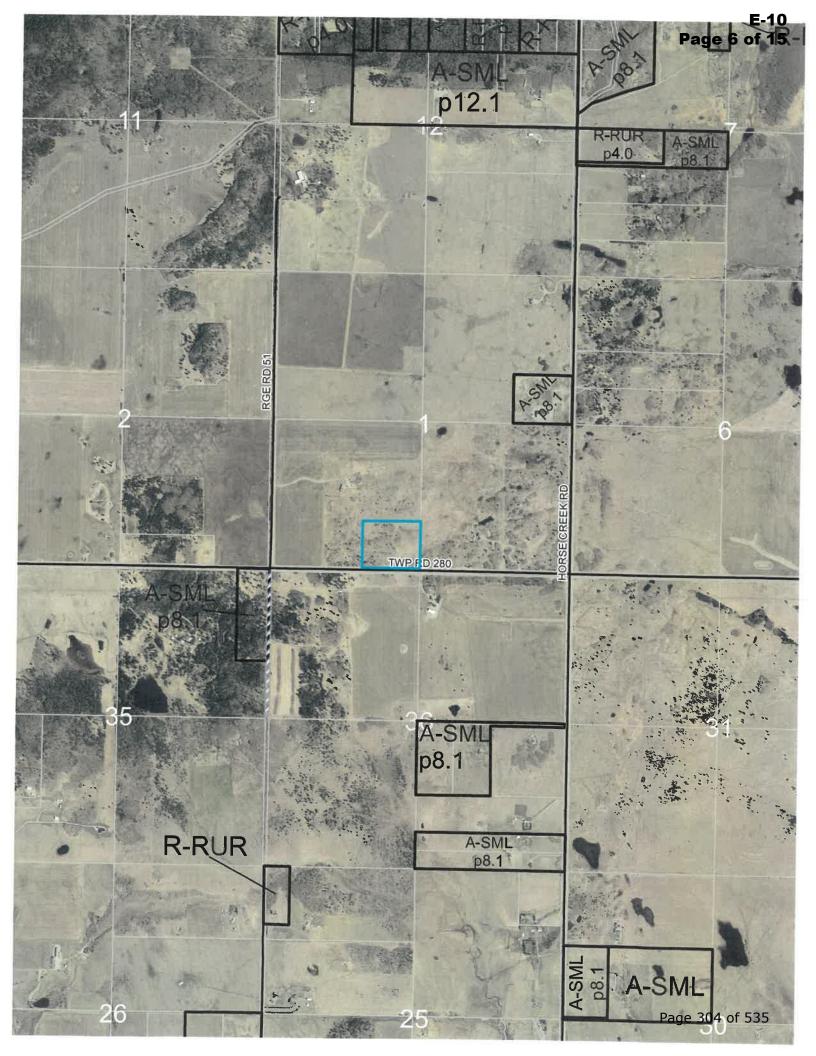
8) That if the development authorized by this Development Permit is not commenced with reasonable diligence within 12 months from the date of issue, and completed within 24 months of the issue, the permit is deemed to be null and void, unless an extension to this permit shall first have been granted by the Development Officer.

Option #2: (this would not allow the proposed development to commence)

REFUSAL as per the following reasons:

1) That in the opinion of the Municipal Planning Commission, the development unduly interferes with the amenities of the neighbourhood and materially interferes with and affects the use, enjoyment, and value of neighbouring parcels of land.





ROCKY VILLE			FC	R OFFICE US	EONLY	
ROCKY VIEW COL	JNTY		APPLICATION NO	202	035	<b>; 0 5</b> -
DEVELODBALLY DE			ROLL NO.	0890	1006	
<b>DEVELOPMENT PEI</b>	KMIT		RENEWAL OF -			
APPLICATION			FEES PAID			Company of the Add
APPLICANT/OWNER			DATE OF RECEIPT	oct	30,2	2020
Applicant Names C 11 D	1			0		
Applicant Name: Scott Beat	Hie		_1			
Business/Organization Name (if applied	cable):					
Landowner Name(s) per title (if not the	e Applicant): Scot	+ Beattie				
Business/Organization Name (if applied		FUNITE				
LEGAL LAND DESCRIPTION - Subje	ect site	1				
All/part of: 1/4 Section:	Township:280	Range: 51	West of:	Meridian	Division:	
All parts of Lot(s)/Unit(s):	Block: 1	Plan: 19(10)		Parcel Size		Dac
Municipal Address:			ک Land Use Distri			<u></u>
APPLICATION FOR - List use and so	and of work		Land Use Distri			
Move modular cabin	onsite					
Variance Rationale included:			DP Checklis	st Included:	C YES	O NO
SITE INFORMATION	-					
a. Oil or gas wells present on or	within 100 metres o	f the subject prope	erty(s)			NO
<ul> <li>b. Parcel within 1.5 kilometres of</li> <li>c. Abandoned oil or gas well or p</li> </ul>	ipeline present on t	he property	ant)			E NO E NO
(Well Map Viewer: https://extma	viewer.aer.ca/AERA	bandonedWells/Ind	lex.html)			
d. Subject site has direct access	to a developed Mur	nicipal Road (acce	ssible public roa	idway)	C YES	BUNO
AUTHORIZATION						
SCOTT BEATTLE		(Full name in Bloc	k Capitals), here	eby certify (	initial below	w):
That I am the registered owner	ORThat I	am authorized to a	act on the owner	s behalf.		
That the information given on knowledge, a true statement of	this form and relating to	ated documents, in this application.	is full and comp	lete and is,	to the be	st of my
<u></u>	application as part	of the review proc	cess. I acknowle	dge that the	informatic	ntation, on is
Right of Entry: I authorize/ack purposes of investigation and e Municipal Government Act.	nowledge that Roc inforcement related	ky View County m to this application	ay enter the abo n in accordance	with Section	of land fo 542 of the	г Э
14/	3/			1AH	7	4
Applicant Signature	2020	Landov	wner Signature Date	Oct 30	) 20	20

262075 Rocky View Point, Rocky View County, AB, T4A 0X2

and shares and states that the transmission of the second states of

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Se plan

Development Permit Application – Updated August 2020

## **Evan Neilsen**

From: Sent: To: Subject: Attachments:

October 13, 2020 3:50 PM Evan Neilsen [EXTERNAL] - I am sharing 'Scanned Document 35' with you Scanned Document 35.pdf

Do not open links or attachments unless sender and content are known.

Hi Even, thanks so much for your help. Here are the plans for our modular cottage house that we'd like to move onto our property in Rocky View. We will of course be using this as our primary residence until next spring when we go to build a site build home.

The cottage is not designed to be moved again and will be on permit foundation, so in that respect it's more like a single family dwelling. The finishings on the document are all "options" and likely most will be completed after the main structure is delivered and set up on site.

Please let me know if we can proceed with a building permit application at this time.

Sincerely,

Kimberly Beattie

Sent from my Samsung Galaxy smartphone.



LAND TITLE CERTIFICATE

S					
LINC					TITLE NUMBER
0038 333 761	1911018;	1;1			191 229 936
LEGAL DESCRIPTI PLAN 1911018 BLOCK 1 LOT 1 EXCEPTING THERE AREA: 8.09 HECT	OUT ALL M			ESS	
ESTATE: FEE SIM ATS REFERENCE:		SW			
MUNICIPALITY: R	OCKY VIEW	COUNTY			
REFERENCE NUMBE		760			
		REGISTERED	OWNED (S)		
REGISTRATION	DATE (DMY)	DOCUMENT	TYPE	VALUE	CONSIDERATION
191 229 936 1	.2/11/2019	TRANSFER	OF LAND	\$405,000	\$405,000
OWNERS					
SCOTT BEATTIE					
AND					
KIMBERLY BEATTI	E				
	 EN	CUMBRANCES	, LIENS (	& INTERESTS	
REGISTRATION NUMBER DA	TE (D/M/Y)	) PA1	RTICULARS		
111 131 331 2	27/05/2011			ay : lake gas co-of	• LTD.

ENCUMBRANCES, LIENS & INTERESTS PAGE 2 # 191 229 936 REGISTRATION NUMBER DATE (D/M/Y) PARTICULARS \_\_\_\_\_ 191 092 761 16/05/2019 CAVEAT RE : DEVELOPMENT AGREEMENT PURSUANT TO MUNICIPAL GOVERNMENT ACT CAVEATOR - ROCKY VIEW COUNTY. 262075 ROCKY VIEW POINT ROCKY VIEW COUNTY ALBERTA T4A0X2 191 229 937 12/11/2019 MORTGAGE MORTGAGEE - TEODORO AMMIRATI SITE 15, BOX 18, RR 1 COCHRANE ALBERTA T4C1A1 ORIGINAL PRINCIPAL AMOUNT: \$315,000

------**Page**10 of 15

TOTAL INSTRUMENTS: 003

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN ACCURATE REPRODUCTION OF THE CERTIFICATE OF TITLE REPRESENTED HEREIN THIS 30 DAY OF OCTOBER, 2020 AT 03:55 P.M.

ORDER NUMBER: 40420836

CUSTOMER FILE NUMBER: PRDP20203505



E-10

\*END OF CERTIFICATE\*

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED FOR THE SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER, SUBJECT TO WHAT IS SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION, APPRAISAL OR OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS PART OF THE ORIGINAL PURCHASER APPLYING PROFESSIONAL, CONSULTING OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT(S).

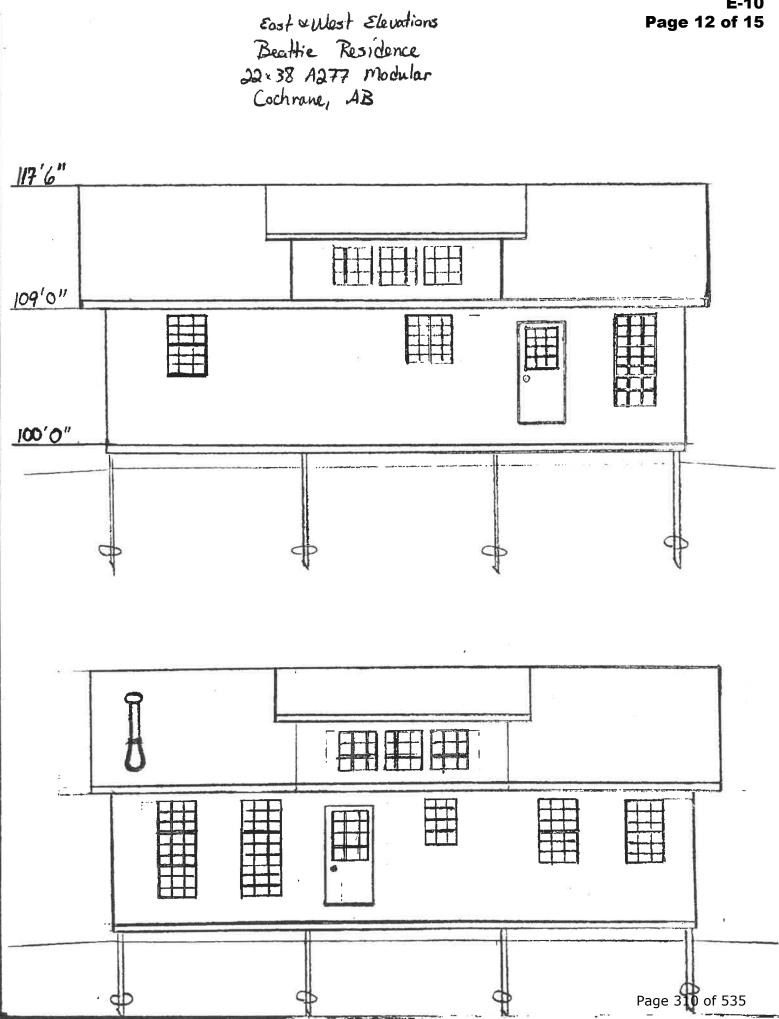
# Rustic Cabins 3320 Twp. Rd. 355 Red Deer County, AB T4G 0N2 403-896-8773

### 22 x 38 CSA A277 Modular Spec Sheet

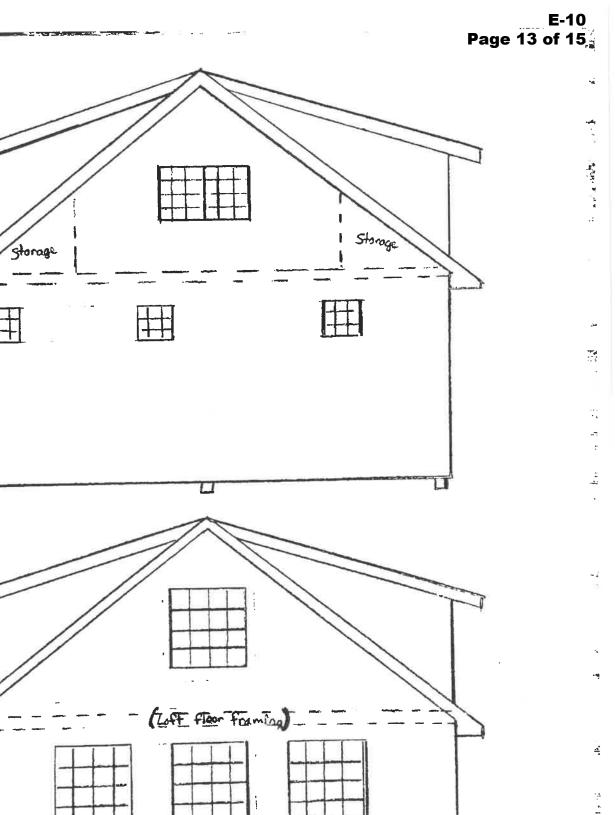
### July 16, 2020

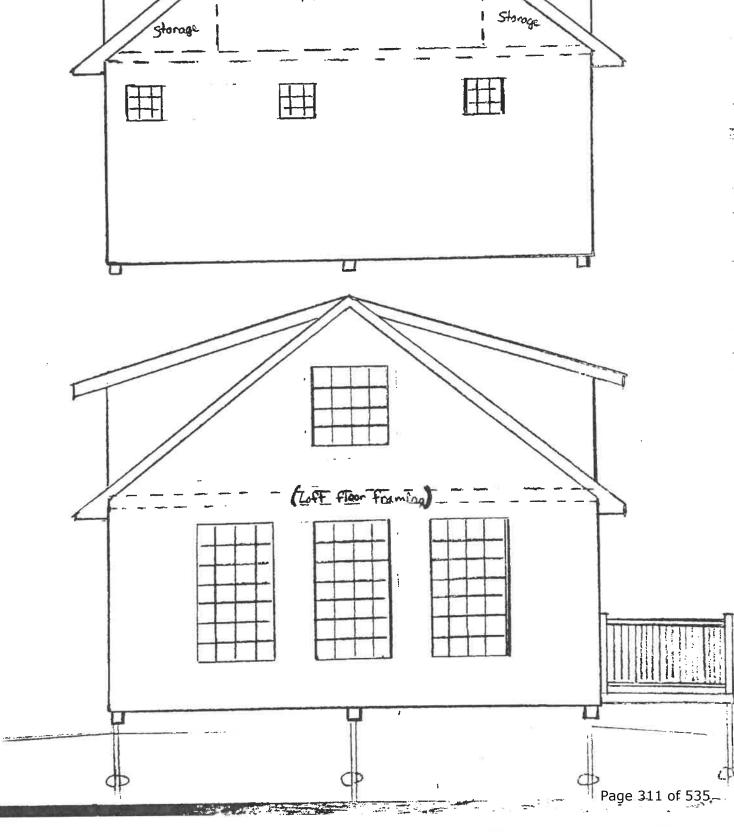
### Scott and Kim Beattie Airdrie, AB

2 X 10 floor system 16"o.c. with R35 Batt insulation Underside of floor sheathed continuously with ½" plywood 2 x 6 exterior wall framing 24" on centre with R22 Batt insulation 1/2" plywood exterior wall sheathing 2 x 4 interior wall framing 24" on centre vaulted truss roof 9/12 pitch, 3.5/12 on centre dormer R35 Batt Insulation All Weather windows, Terra 2750 series sliders, HS4V glass with grilles All Weather Strong Arm exterior entry doors Interior finished with 1X6 fir T&G 1x3 fir baseboard, window and door trims LP Reserve siding with smart trim facias, window, door & corner trims 1 bath with 5' tub/ shower combo, 24" vanity, toilet 2 bedrooms on main floor Fir interior doors LED interior lighting kitchen and vanity cabinets by Big Bend Enterprises laminate counter tops 29 gauge metal standing seam roof chimney kit installed for customer supplied wood stove Heat Recovery Ventilator, Electric Hot Water tank, 100 amp panel in mechanical room Electric baseboard heat custom ladder to loft custom entry bench / coat hooks 42" high railings along front of loft Delivery and setup on screw pile foundation at your site NW of Cochrane

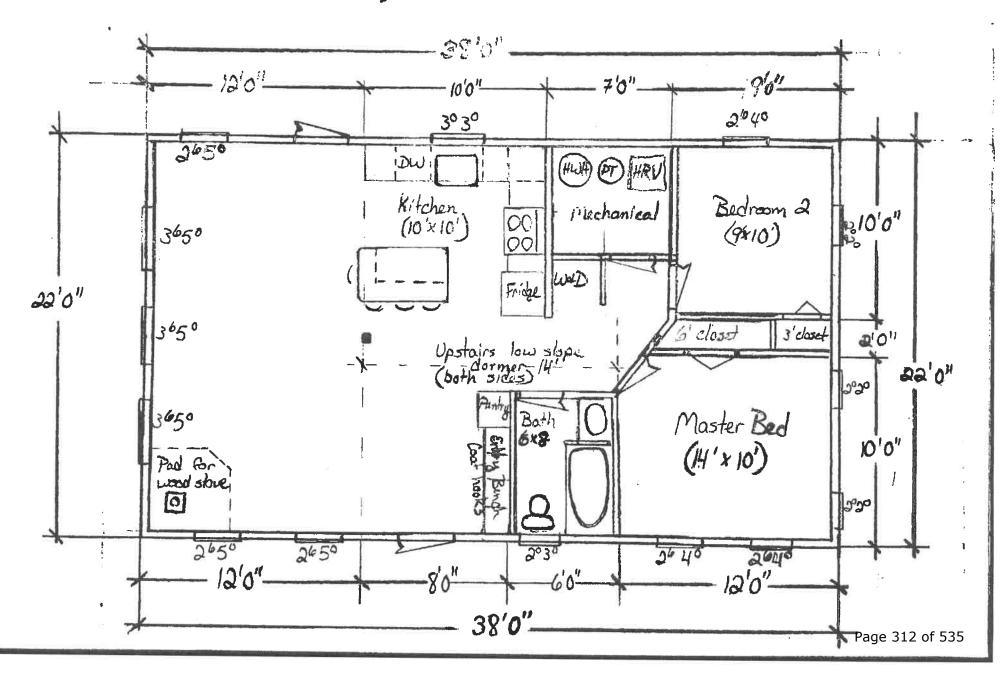


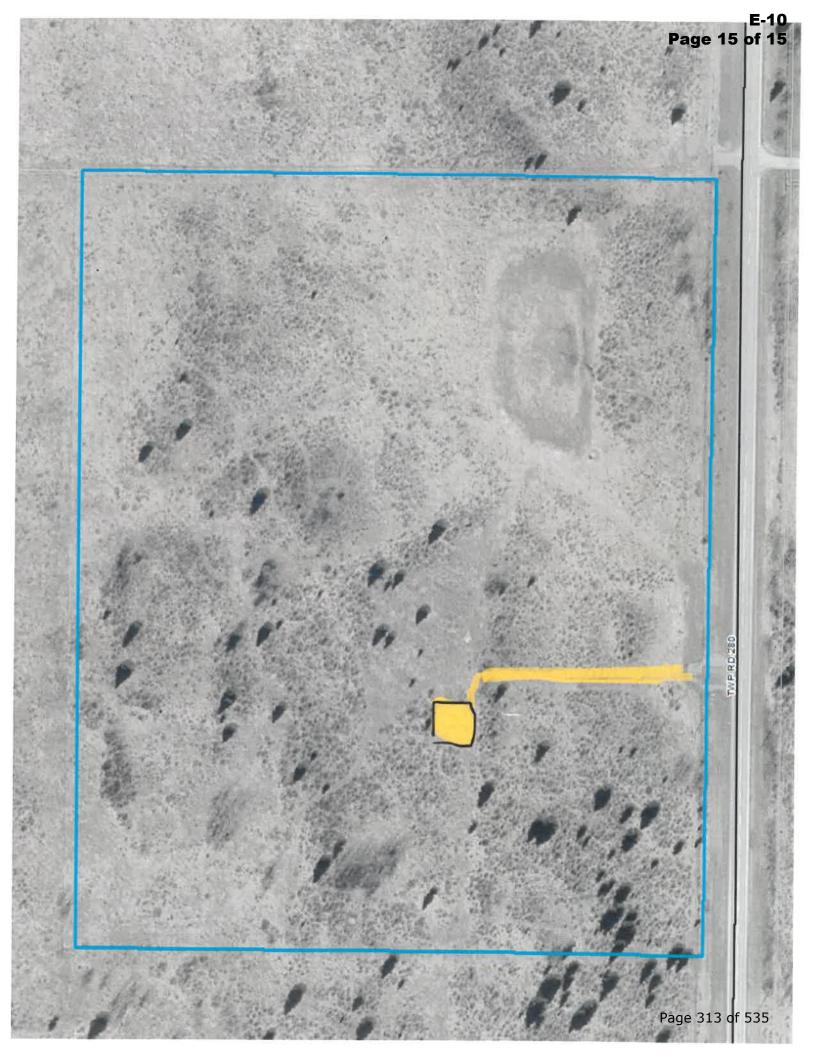
E-10





Beattie Residence 22°×38' (83059') CSA A277 Modular 437 59' 654







# PLANNING AND DEVELOPMENT SERVICES

TO: Municipal Planning Commission

DATE: December 10, 2020

DIVISION: 2

APPLICATION: PRDP20203024

SUBJECT: Development Item: Home-Based Business (Type I)

**USE:** Permitted use, with Variances

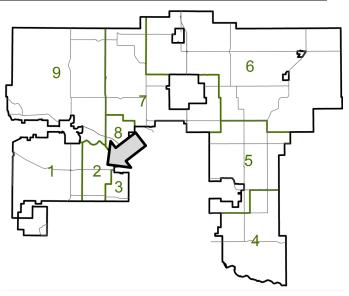
**APPLICATION:** Home Based Business, Type I for on-line and in-person medical consultations and relaxation to the number of non-resident employees

**GENERAL LOCATION:** located approximately 2.30 km (1.50 miles) north of Twp. Rd. 250 and 2.00 km (1.25 miles) east of Rge. Rd. 32.

LAND USE DESIGNATION: Residential, Country Residential District (R-CRD) under Land Use Bylaw C-8000-2020.

ADMINISTRATION RECOMMENDATION:

Administration recommends Approval in accordance with Option #1.



### VARIANCE SUMMARY:

Variance	Requirement	Proposed	Percentage (%)
Non-Resident Employees	Zero	Two	200.00%

### **OPTIONS:**

- Option #1: THAT Development Permit Application PRDP20203024 be approved with the conditions noted in the Development Permit Report, attached.
- Option #2: THAT Development Permit Application PRDP20203024 be refused as per the reasons noted.

# AIR PHOTO & DEVELOPMENT CONTEXT:



Administration Resources Wayne Van Dijk, Planning and Development Services



# **DEVELOPMENT PERMIT REPORT**

Application Date: October 1, 2020	File: 05712017
Application: PRDP20203024	Applicant: Bruce Hoffman
Legal Description: NW-12-25-03 W5M Municipal Address: 142 Emerald Bay Drive	<b>General Location:</b> Located approximately 2.30 km (1.50 mile) north of Twp. Rd. 250 and 2.00 km (1.25 miles) east of Rge. Rd. 32.
Land Use Designation: Residential, Country Residential District (R-CRD) under Land Use Bylaw C-8000-2020.	<b>Gross Area:</b> ± 0.95 hectares (± 2.35 acres)
File Manager: Wayne Van Dijk	Division: 2

### PROPOSAL:

The application is for a Home-Based Business, Type I, on-line and in-person medical consultations, within an existing dwelling, single detached, with a variance to permit up to two (2) non-resident employees.

The application states that the Applicant, a medical doctor, plans on performing on-line and in-person medical consultations in the basement of the Applicant's dwelling. The application states that the Home-Based Business will use approximately 185.80 sq. m (2,000.00 sq. ft.) of the 333.80 sq. m (3,593.00 sq. ft.) basement area. There are no structural changes planned for the development of the clinic and that only furniture and décor changes will be implemented to accommodate the operation of the clinic.

The application states:

- The Hours of Operation are planned to be 8:00 a.m. to 4:00 p.m. on Monday, Wednesday and Friday;
- The application states that there may be up to 2 non-resident employees;
- There will be no signage and/or outside storage requested;
- Applicant states that many appointments will be done over Zoom or phone and the anticipated maximum number of daily in-person patients would be 3, up to 9/week; and
- There is ample parking in the current driveway and no additional parking and/or overflow parking is anticipated.

### Land Use Bylaw C-8000-2020

- 142 Home-Based Business (Type I) General Requirements:
  - a) Home-Based Business (Type I) is an accessory use of the principal dwelling,
  - The proposal of on-line and in-person medical consultations is considered accessory to the principal, residential use of the parcel. No outside storage is proposed.
    - b) Home-Based Business (Type I) shall have no employees that are not permanent residents of the dwelling,
  - The application states that there are three (3) full-time employees; one (1) resident and potentially two (2) non-residents. A variance of 200%.

Rocky View County

- c) Home-Based Business (Type I) may generate up to four (4) business-related visits per day, defined as four (4) vehicles visiting the business per day,
- Application states that there may be three (3) business-related visits per day and up to nine (9) per week.
  - d) Home-Based Business (Type I) shall not operate between the hours of 18:00 and 8:00 if the business generates noise,
- The application states that the hours of operation are 8:00 am to 4:00 pm on Monday, Wednesday and Friday. No noise is anticipated to be generated.
  - e) Typical businesses include private tutoring, web-based businesses or a private consultant's office, and
- The application is for on-line and in-person medical consultations.
  - f) Retail, restaurants, and automotive related businesses shall not be permitted as a Home-Based Business (Type II).
- The application is for on-line and in-person medical consultations.
- 143 Home-Based Business (Type I) Site Requirements:
  - a) Home-Based Business (Type I) shall not:
    - *i.* Change the residential character and external appearance of the land and buildings,
      - No change is anticipated to the residential character and external appearance to the parcel.
    - *ii.* Have any outside storage of equipment, goods, materials, commodities, or finished products,
      - No outside storage is requested.
    - *iii.* Have any vehicle (commercial) parked outside, unless the parcel is 1.6 ha (3.95 ac) or greater in which case it may have a maximum of one (1) vehicle (commercial) parked onsite, and
      - No vehicle parking is requested to be parked.
    - *iv.* Have any signs that describe or advertise the Home-Based Business (Type I).
      - No signage is requested.
- 144 Home-Based Business (Type I) Development Permit Requirements:
  - a) A Development Permit application is not required for Home-Based Business (Type I), so long as it is a Permitted Use in a given District and adheres to Section 142 and 143.
  - The application does not adhere to Section 142 and requires a variance as the application states that there are up to two (2) non-resident employees that are anticipated.

### Part 8 Definitions

Home-Based Business (Type I)

means a use where business is conducted in a Principal Building with limited weekly visits and employees that reside in the Principal Building. Uses are secondary to the residential use of the parcel and do not change the residential appearance of the land and buildings.



• The proposal to perform on-line and in-person medical consultations is considered secondary to the residential use of the property.

Permitted	Proposed	Variance
Front yard: 45.00 m (147.64 ft.)	98.50 m (320.00 ft.)	0
Side Yard: 6.00 m (19.69 ft.)	Side 1: lots Side 2: 136.50 m (443.00 ft.)	0
Rear Yard: 15.00 m (49.21 ft.)	Lots	0

### STATUTORY PLANS:

The site falls within the Central Springbank Area Structure Plan and no Conceptual Schemes. As the Area Structure Plan does not address these types of applications, this application was assessed utilizing the Land Use Bylaw (C-8000-2020).

### **ASSESSMENT RATIONAL:**

• It is the opinion of the Development Authority that approving this variance would not unduly interfere with the amenities of the neighborhood or materially interfere with or affect the use, enjoyment or value of the neighboring parcels of land.

### **INSPECTOR'S COMMENTS:**

- Parking for 2 vehicles in area adjacent to house.
- Adjacent parking area well-screened.
- Overflow parking available in round-about in front of dwelling.
- Overflow parking mostly screened from adjacent properties; partly screened from road.
- No inspection of building interior performed.

### CIRCULATIONS:

### Development Compliance, Rocky View County

• No comments or concerns related with the attached application.

Fire Services and Emergency Management

• No comments at this time.

### Building Services

• A BP for a change of use (occupancy) is still required. If the space is classified as a home based business, then we may be able to take a look at this differently.

No other comments received at time of report writing.

### **OPTIONS:**

Option #1: (this would approve the proposed development)

APPROVAL subject to the following conditions:



### **Description:**

- 1. That the Home-Based Business (Type I), on-line and in-person medical consultations be permitted to operate on the subject parcel, in accordance with the submitted application and approved plans, and:
  - i. That the number of non-resident employees is relaxed from zero (0) to two (2).
    - i. That an employee for this Home-Based Business (Type I) is a person who attends to the property more than once in a seven-day period for business purposes

### Permanent:

- 2. That the operation of this Home-Based Business (Type I) may generate up to a maximum of four business related visits per day.
  - i. That for the purposes of this permit, one business-related visit would include one (1) pick-up/entry into the site and one (1) drop-off/exit from the site.
- 3. That the Home-Based Business shall not change the residential character and exterior appearance of the land and buildings.
- 4. That the operation of the Home-Based Business (Type I) shall not generate excessive or unacceptable increases in traffic within the neighbourhood or immediate area.
- 5. That the Home-Based Business (Type I) shall not generate noise, smoke, steam, odour, dust, fumes, exhaust, vibration, heat, glare, or refuse matter considered offensive or excessive by the Development Authority, and at all times, the privacy of the adjacent residential dwellings shall be preserved. The Home-Based Business (Type II) shall not, in the opinion of the Development Authority, unduly offend or otherwise interfere with neighbouring or adjacent residents.
- 6. That there shall be no signage, outside storage, exterior display, or advertising of goods or services discernable form the outside of the property.
- 7. That there shall be no off-site advertising associated with the Home-Based Business (Type I).
- 8. That the Home-Based Business (Type I) shall be limited to the dwelling and the parking area, as identified on the site plan submitted with the application.
- 9. That the Home-Based Business (Type I) shall be an accessory use of the principal dwelling.
- 10. That any other government permits, approvals, or compliances are the sole responsibility of the Applicant/Owner.
- 11. That this Development Permit shall be valid until JANUARY 6, 2022.

### Advisory:

- 12. That the County's Noise Bylaw, C-5772-2003, shall be adhered to at all times.
- 13. That any other Federal, Provincial, and/or County permits, approvals, and/or compliances are the sole responsibility of the Applicant/Owner.

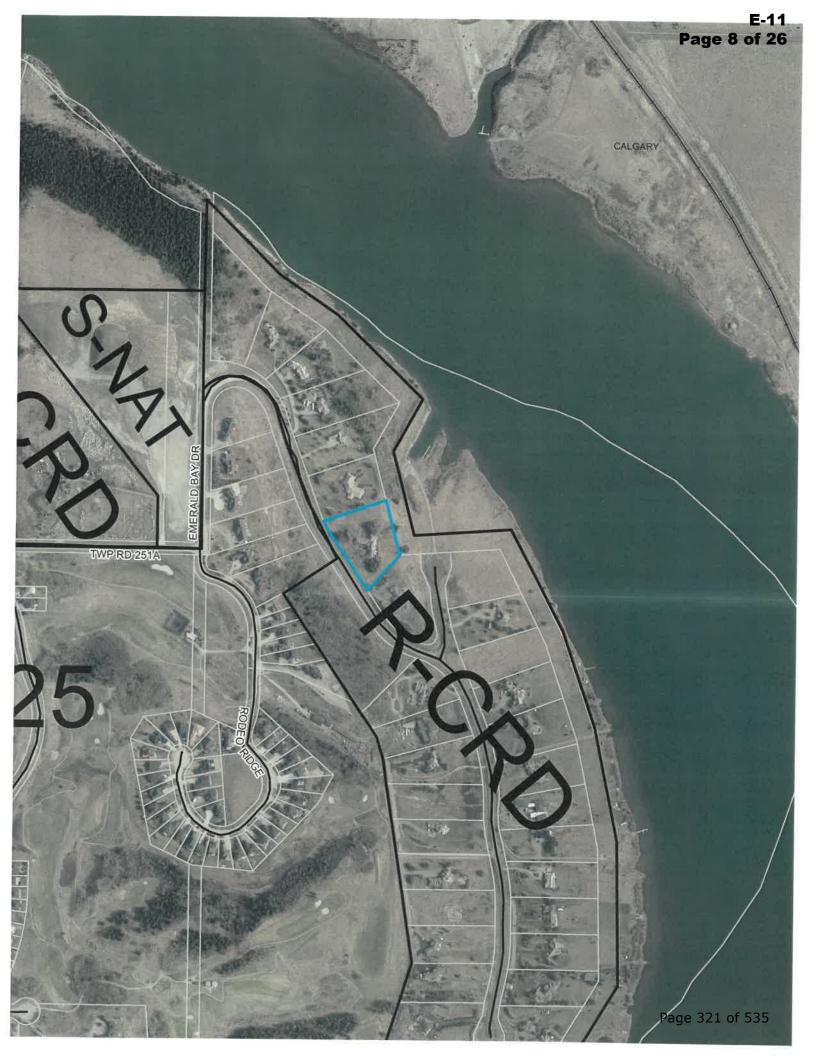


### Option #2: (this would not allow the proposed development)

REFUSAL as per the following reasons:

1. That in the opinion of the Development Authority, the development unduly interferes with the amenities of the neighbourhood and materially interferes with and affects the use, enjoyment, and value of neighbouring parcels of land.









# **DEVELOPMENT PERMIT** APPLICATION

	E	-11
FOF	R OFFICE USE ORage 10 of	26
APPLICATION NO.		
ROLL NO.		
RENEWAL OF		
FEES PAID		
DATE OF RECEIPT		

APPLICANT/OWNER				r in second	
Applicant Name: Bruce Hop	tman				
Business/Organization Name (if applied	cable): The H	offman Ge	LATE for	Integra	tive Hedicine
Landowner Name(s) per title (if not the	e Applicant):				
Business/Organization Name (if applied	cable):				
Mailing Address:				Postal Co	de:
Telephone (Primary):		Email:			
LEGAL LAND DESCRIPTION - Subject	ect site				
All/part of: 1/4 Section:	Township:	Range:	West of:	Meridian	Division:
All parts of Lot(s)/Unit(s):	Block:	Plan: 9310	186	Parcel Siz	e (ac/ha):
Municipal Address: 142 Er	nerald Ba	y Drive	Land Use Di	strict:	
APPLICATION FOR - List use and sc	ope of work				
tome business. Consultations.			in perso	n.	
Variance Rationale included: 🗍 YES			DP Chec	klist Included:	
SITE INFORMATION	1. 1. 1. 1. 1. 1. 1.				
<ul> <li>a. Oil or gas wells present on or</li> <li>b. Parcel within 1.5 kilometres of</li> <li>c. Abandoned oil or gas well or p (Well Map Viewer: https://extma</li> <li>d. Subject site has direct access</li> </ul>	f a sour gas facility ( pipeline present on t pviewer.aer.ca/AERA	well, pipeline or pla he property AbandonedWells/Ind	ant) lex.html)	oadway)	□ YES 🕅 NO □ YES 🖄 NO □ YES 🖾 NO ☑ YES 🖾 NO
AUTHORIZATION					
I, BRUCE HOFFMAN		(Full name in Bloc			initial below):
That I am the registered owner That the information given of knowledge, a true statement of That I provide consent to the p submitted/contained within this collected in accordance with s Right of Entry: I authorize/ac purposes of investigation and Municipal Government Act.	n this form and rel of the facts relating t public release and d s application as part .33(c) of the <i>Freedo</i> knowledge that Roo	to this application. lisclosure of all info t of the review proc om of Information a cky View County m	s full and con ormation, includ esss. I acknowl and Protection ay enter the at	nplete and is, ding supporting ledge that the of Privacy Act. pove parcel(s)	documentation, information is of land for
(And Halles					



# **HOME-BASED BUSINESS (TYPE II) BED AND BREAKFAST** INFORMATION SHEET

FOR OFFICE USE ONLY	
APPLICATION NO.	
ROLL NO.	
DISTRICT	

DETAILS		USE TYPE/LOCATION
Business-related area within:	P Home-Based Business (Type II)	
Principal dwelling	$2500 \text{ ft}^{7}$ (m <sup>2</sup> /ft. <sup>2</sup>	y □ * Bed and Breakfast
Accessory building	$(m^2/ft.^2)$	Decated within:
Outdoors (for storage)	Existing Building <b>OR</b> D New Building	
NOTE: If a new accessory building Building(s) - Information Sheet an		Business (Type II), submit the <i>Accessory</i> to this form.
BUSINESS OPERATIONS		
Business name: Haffman	. Centre, for Integra	tive Medicine
Describe nature of business: mo	sty online consul	ting and teaching mentering
on line con	sulting · potentia	tive Medicine. ting and teaching/mentoring al and rare, a patient
in persar	n. Č	
	for business purposes (other than	storage/parking)? If yes, describe purpose:
No.		
	(some weeks less)	Hours of operation: 8-4
Total number of employees (includin		Part-time: Full-time: 3
Number of non-resident employees:		Full-time: 2
Number of business-related vehicle		Per week: 9 (potentially)
Location of business-related vehicle	parking on site:	ot garage V
Total number and type of vehicles us Dr. Hoffman - 1 Us		sed Business, Type II only):
SCREENING AND SIGNAGE		
Type of screening provided for outdo		siness, Type II only):
□ Fencing (specify material and h		
□ Other (specify material and height	• • • • • • • • • • • • • • • • • • • •	
Business signage proposed on site?		ormation Sheet and documents DINO
ADDITIONAL SITE PLAN REQUIRI	EMENTS	
Location of parking area		
Location and dimensions of pro	posed outdoor storage area(s)	
Location and type of existing/pr	oposed screening (landscaping, fe	nce etc.), specifically for outdoor storage
Location of any proposed signa	ge	
* Bed and Breakfast shall not be permitted ir (Type II) uses. Land Use Bylaw, C-8000-20		Home-Based Business (Type I) or Home Based Business
Applicant Signature	Afren	Date 18/11/2020 Page 324 of 535



	DEVELOPMENT PERMIT APPLICATION CHECKLIST - GENERAL
	All plans shall be submitted as one (1) legible hard copy and in DIGITAL form (pdfs)
	elect $[]$ all that are included within application package. Incomplete applications may not be accepted for processing
	APPLICATION FORM(S) AND CHECKLIST: All parts completed and signed.
Ø	APPLICATION FEE: Refer to Planning and Development Fee Schedule within the Master Rates Bylaw.
	CURRENT LAND TITLES CERTIFICATE COPY - dated within 30 days of application, and:
1	O Digital copy of <u>non-financial</u> instruments/caveats registered on title
Ģ	LETTER OF AUTHORIZATION: Signed by the registered landowner(s) authorizing person acting on behalf (if not the Applicant). If registered owner on title is a company, authorization to be provided on a company letterhead <u>or</u> as an affidavit (signed by a Commissioner of Oaths).
	COVER LETTER, shall include:
	O Proposed land use(s) and scope of work on the subject property
	O Detailed rationale for any variances requested
	O For businesses - Complete operational details including days/hours of work, number of employees, parking provisions, types of vehicles, outdoor storage areas, site access/approach, traffic management, etc.
1	O Reference to any Supporting Documents, images, studies, plans etc. provided within application package
Ø	SITE PLAN, shall include:
	O Legal description and municipal address
	O North arrow
	O Property dimensions (all sides)
	O Setbacks/dimensions from all sides of the property line(s) to existing/proposed buildings, structures (cantilevers, decks, and porches), outdoor storage areas etc.
	O Dimensions of all buildings/structures
	O Location and labels for existing/proposed approach(s)/access to property
	O Identify names of adjacent Internal/municipal roads and highways
	<ul> <li>Identify any existing/abandoned/proposed oil wells, septic fields/tanks, or water wells on site, including their distances to existing/proposed buildings</li> </ul>
	O Identify any existing/proposed site features such as trees, shelterbelts, canals, waterbodies, etc.
	O Identify site slopes greater than 15% and distances from structures
`	O Location and labels for easements and/or rights-of-way on title
	FLOOR PLANS/ELEVATIONS, shall include:
	O Overall dimensions on floor plans for all buildings/structures (for new construction, additions, renovations etc.)
/	O Indicate floor area and existing/proposed uses on floor plans and height(s) on elevations
_	O Indicate type of building/structure on floor plans and elevations
	COLOUR PHOTOGRAPHS (Min. 3) - one hard and digital copy: Of existing site, building(s), structure(s), signage, site features, taken from all sides including surrounding context, and when existing floor plans/elevations are not available
	SUPPORTING DOCUMENTS (as applicable): Include technical studies/reports and any additional plans relating to the proposed development (lot grading, site lighting, storm water management plans etc.). Refer to the Land Use Bylaw for use or district specific requirements.
	FOR OFFICE USE ONLY
ropos	ed Use(s): (are (1))
	ble ASP/CS/IDP/MSDP: Certral Sanutant
	duithin file: Dinformation Shack Different Share Day And Share
OTES	
IOTES	update com
	Staff Signature:
	ocky View Point, Rocky View County, AB, T4A 0X2 Development Permit Application – Updated August 202



252076 Pasky View Polm Russy View County, AB, TAA 0X2

> 40%-255-1461 questionsgrockyview.sa www.rockyview.ca

# LETTER OF AUTHORIZATION

1, (We) Bruce Haffin	nah	being the	e owner (s)	of
LotBlock	<b>Plan</b> <u>1310</u>	186		
Legal:				
NW/NE/SE/SW Section	Township	Range	W	M
give		permis	sion to act	on my
(our) behalf in applying for a D	evelopment Permi	t for the above sut	ject proper	ty.
R 11 Signature		_		

Signature

2020/06/08

Date



September 10, 2020

9

Rocky View County 26075 Rocky View Point Rocky View County, Alberta T4A 0X2

#### **RE: Application to Operate a Home-Based Business**

I, Bruce Hoffman, owner of 1702343 Alberta Ltd., am applying for approval and license to operate out of my home at 142 Emerald Bay Drive. I am a medical professional in the province of Alberta and act under the College of Alberta Physicians and Surgeons.

I would like to see up to 4 patients a day and would have up to 2 outside employees on site. I have ample room for parking on my driveway and would not require parking on the access road. Presently, I would like to see patients from home 2 days a week.

I would like to use part of my basement to see patients. The total square footage of the basement is 3,593 sp. ft. however I will only be using a portion for an office, treatment room and waiting area. I have attached photos of the space, dimensions, application, title and a RPR. Please advise if you require anything further. You can reach my assistant Stacey at 403.813.4718.

Sincerely,

Bruce Hoffman

Hoffman Centre For Integrative Medicine 1133 – 17 Avenue NW Calgary, Alberta T2M0P7 P: 403.206.2333 F: 403.206.2334



LAND TITLE CERTIFICATE

S						
LINC					TITL	E NUMBER
0024 783 110	9310786;1	;6			181 :	245 084
LEGAL DESCRIP	TON					
PLAN 9310786	1100					
BLOCK 1						
LOT 6						
EXCEPTING THE	PROTE AT.T. MI	NES AND MI	TEDATC			
AREA: 0.951 H				ESS		
ESTATE: FEE S	IMPLE					
ATS REFERENCE		SW				
ATS REFERENCE						
AID NAFANANCA	. 3,3,23,12,					
MUNICIPALITY:	ROCKY VIEW	COUNTY				
REFERENCE NUM	BER: 131 163	490				
DECTONDANTON		EGISTERED (			00107	
REGISTRATION						DERATION
181 245 084	13/11/2018	TRANSFER (	OF LAND	\$1,650,00	0 \$1,65	0,000
OWNERS						
BRUCE HOFFMAN						
		CUMBRANCES,				
	Eally	COMBRANCES,	TTENS (	a INTEREST	5	
REGISTRATION						
NUMBER I	DATE (D/M/Y)	PAR	TCULARS			
931 081 091	15/04/1993					
					ATER CO-OP	
					& SEWER CO-	OP LTD.
		AS TO PORT	ION OR P	LAN:931078	7	
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		OF WAY	<b>Y 111202</b>	711)		
		(DATA	UPDATED	BY: TRANS	FER OF UTIL	ITY RIGHT
						Page 328 of 535
		( CON	TINUED )	)		- 5

E-11 \_\_\_\_\_\_ Page 16 of 26 ENCUMBRANCES, LIENS & INTERESTS PAGE 2 # 181 245 084 REGISTRATION PARTICULARS NUMBER DATE (D/M/Y) OF WAY 141118380) 931 081 099 15/04/1993 RESTRICTIVE COVENANT 931 081 100 15/04/1993 UTILITY RIGHT OF WAY GRANTEE - CANADIAN WESTERN NATURAL GAS COMPANY LIMITED. 909 ELEVENTH AVENUE S.W., CALGARY ALBERTA AS TO PORTION OR PLAN: 9310787 941 210 168 12/08/1994 UTILITY RIGHT OF WAY GRANTEE - CANADIAN WESTERN NATURAL GAS COMPANY LIMITED. 191 040 251 27/02/2019 MORTGAGE MORTGAGEE - CANADIAN IMPERIAL BANK OF COMMERCE. P.O. BOX 115, COMMERCE COURT POSTAL STATION, TORONTO ONTARIO M5L1E5 ORIGINAL PRINCIPAL AMOUNT: \$1,345,000 191 105 879 05/06/2019 CAVEAT RE : UTILITY RIGHT OF WAY CAVEATOR - FORTISALBERTA INC. 320-17 AVE SW CALGARY ALBERTA T2S2V1 AGENT - MSL LAND SERVICES LTD. 191 126 600 28/06/2019 CAVEAT RE : BENEFICIAL OWNER CAVEATOR - 1702342 ALBERTA LTD. 142 EMERALD BAY DRIVE ROCKY VIEW ALBERTA T3Z1E2 AGENT - MARTIN J ARKELL. TOTAL INSTRUMENTS: 007





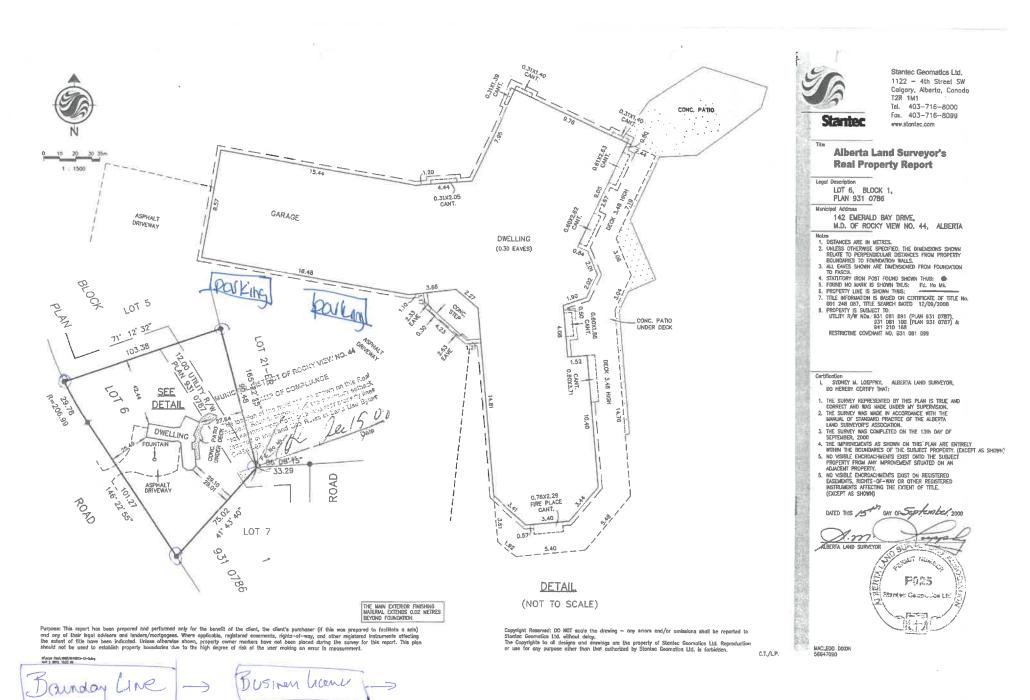




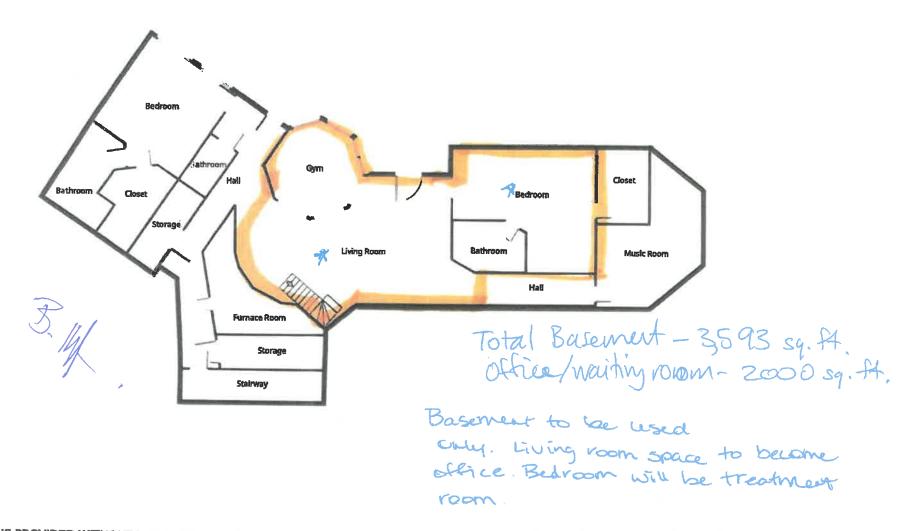




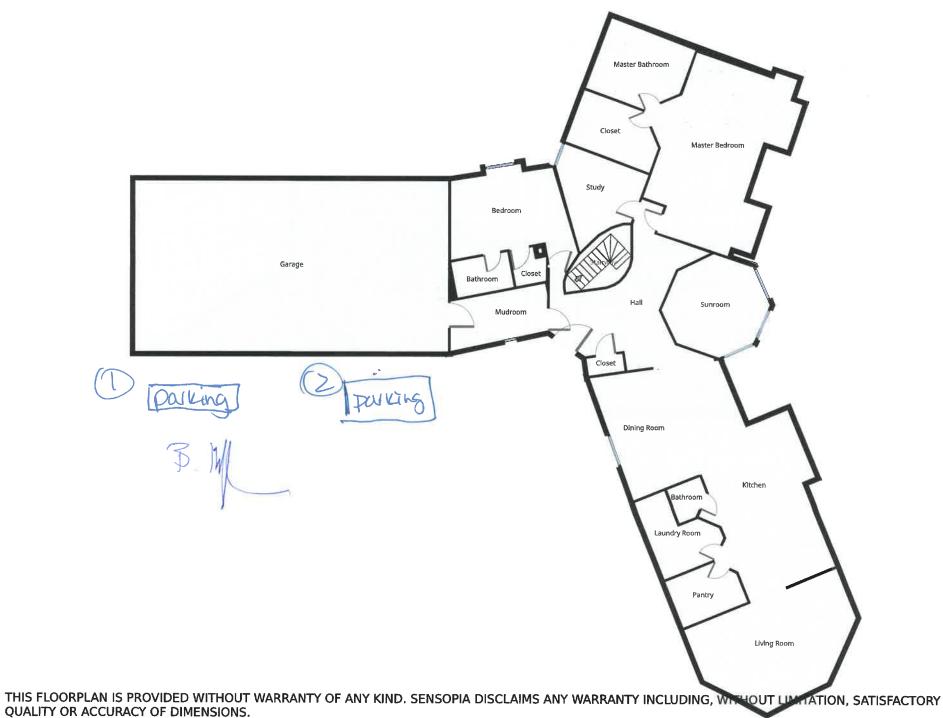
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# MEASUREMENT REPORT

DATE	03.08.2018
ADDRESS	142 Emerald Bay Rocky View No. 44
CLIENT NAME	Popowich Resi Estate
MEASURED AS	Delached

SONA

MEASURING TECH Chris Houngmany

FLOOR TOTALS (	As per RMS)		
Main Lovel	3568.87 sq.ft/ 361.27 m2	CITY/PROVINCE	Celgary, AB
Upper Level		ORDER PRODECURE	Moasure
Third Level		EXTERIOR WALL SIZE	2 x 6
Lower Level	1 miles	**Above Grade Inc.Ext	
(*Bassmeni	3,593.33 sq.ft/ 333.82 m2		
IRMS Area	3668,67 sq.ft/ 361.27 m2		

#### **BOOM DIMENSIONS (feet/meters)**

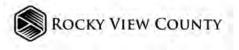
Total With Below/Charles 7482.20 sq.ft/ 695.09 m2

			the second s	and the second	
Kitchon	25'11"x 14'6"/ 7.90 x 4.43	M	Laundry	11'5'x 5'8'/ 3.51 x 1.53	М
Dining Room	15'10" x 12'7/ 4,83 x 3,85	М	- Second Family Ro	16'0" x 15'0"/4,95 x4,95	B
Den/Office	14'1" x 11'9'/ 4.29 x 3.58	м	Ufility Room	20'5" x 6'3"/ 6.22 x 1.90	В
Living Room	16'10' x 16'2'/ 5.11 x 4.95	м	Second Living Roo	מיום:	
Family Reom	25'11" x 16'5"/ 7.92 x 4.99	м	Deck	41' x 19'4'/ 12.51 x 4.08	М
Athum	1214		Wine C∈liar	20'8" 7'3"/ 6,31 x 2,22	ß
Gym	16' x 13'/ 4.88 x 3.97	Ø	Breakfast Nook		
Rec Room	20'4' x 15'0'/ 6.20 x 4.58	8	Garago	49'6" x 27'/ 15,09 x 8,25	M

<b>BEDROOM DIMENS</b>	SIONS (feet/meters)			The second second second
Master	29'1" × 16'3"/ 8.86 × 4.97	м	Bedroom Eve	
Bedroom Two	19'4' x 12'4'/5.90 x 3.76	м	Redfoom Six	
Bedroom Threa	23'7" x 20'10'/ 7,18 x 6.37	8	Bedroom Seven	
Bedroom Four	18'5" x 16'5"/5.69 x 5.00	ġ	Bedroom Eight	

BATHROOM PIEC	ES	OTHER ROOMS (feet/meters)				
2 Piece			Mudroom	14'10" x 7'1"/4. <b>59</b> x 2.41	М	
u <mark>nshim</mark> 3 Place	2 (1 ensuite)	M/B	Wet bar	11'1' x 9'9'/9,38 x 2.84	B	
A Piece	2 ensuite —	B	Storage	19'6 x 5'11' / 4.11 x 1.80	B	
T Piece	1 ensuite	м	the second se			
tuny sauna *Beisw grade me	1 Ir measurements have been verifik asurements are to interior walls, a	li ad by Sona Visual M nd Include the utility	Insuled measureme	his are based on HMS guidelines. Ished areas meeting the minimum celling	a la ciertai	
		regulter	hents			
Dowshin - 2 Grau	102 Ballions	FIM	re assumed for attad 8 Ie 4 of RMS guidelien	hed or semi-detached prospities, and de 16)	o not signify	

(403) 980 9395 ext 104 | info@sonavisual.com | www.sonavisual.com



# PLANNING AND DEVELOPMENT SERVICES

TO: Municipal Planning Commission

DIVISION: 9

**SUBJECT:** Development Item: *Stripping and Grading* 

**USE:** Discretionary use, with no Variances

**APPLICATION:** single-lot regrading and placement of clean fill, for stormwater pond improvements.

**GENERAL LOCATION:** Located on the northwest junction of Twp. Rd. 262 and Mountain Glen Close.

LAND USE DESIGNATION: Residential, Rural Parcel District (R-RUR) under Land Use Bylaw C-8000-2020.

ADMINISTRATION RECOMMENDATION:

Administration recommends Approval in accordance with Option #1.

## **OPTIONS:**

vest I / C-

**DATE:** December 10, 2020

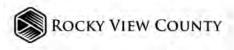
APPLICATION: PRDP20202332

Option #1: THAT Development Permit Application PRDP20202332 be approved with the conditions noted in the Development Permit Report, attached.

Option #2: THAT Development Permit Application PRDP20202332 be refused as per the reasons noted.

# AIR PHOTO & DEVELOPMENT CONTEXT:





# **DEVELOPMENT PERMIT REPORT**

Application Date: August 13, 2020	File: 06716008
Application: PRDP20202332	Applicant: Ray Sergent Owner: Aaron Renert
<b>Legal Description:</b> SE-16-26-03-W5M Lot: 18, Block: 1, Plan: 0513431 (5 Mountain Glen Close)	<b>General Location:</b> located on the northwest corner of the junction of Twp. Rd. 262 and Mountain Glen Close.
Land Use Designation: Residential, Rural District (R-RUR) under Land Use Bylaw C-8000-2020.	Gross Area: ±1.62 hectares (± 4.00 acres)
File Manager: Wayne Van Dijk	Division: 9

#### PROPOSAL:

The proposal is for single-lot regrading and the placement of clean fill, for removal of vegetation, placement of a pond liner and filling within a stormwater pond.

The applicant proposes to install a liner within a stormwater pond, remove some adjacent vegetation and also install some sand on the stormwater pond edge, as per application site plan. These improvements would, as per the applicant, make the stormwater pond more of a water feature and more appealing. The storm pond was designed to manage the stormwater run-off for the Mountain Glen subdivision.

The stormwater pond is protected by an Overland Drainage right of way, registered on title under the instrument number #051 381 777. The drainage is registered with Alberta Environment and has been issued the registration number 219832-00-00. Alberta Environment has not expressed any concerns as no changes to the capacity and function of the pond have been proposed.

The Applicant has retained an engineering consultant who has confirmed that the placement of the liner does not impact the drainage of the area and maintains the integrity and design:

- The only work proposed is the installation of a synthetic liner, to prevent stormwater infiltration within the pond,
- All existing infrastructure, inlets and outlets, remain the same,
- No work is proposed to be done on the emergency spill, therefore, elevations remain the same.

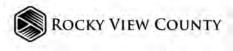
#### PERMIT HISTORY:

- 2002-DP-10073 issued Dec. 13, 2002 for a Animal health care services
- 2004-DP-10988 issued Nov.3, 2004 for stripping and grading of 22 lots
- 2005-DP-11722 refusal for a sign

## LAND USE BYLAW:

157 Site stripping, grading, excavation, or fill is discretionary in all land use districts.

• Application is for the stripping and grading for the installation of a liner, within an existing stormwater pond.



- 273 Site stripping, filling, excavation, grading, and/or re-contouring (including construction of an artificial waterbody, but not a dugout) requires a Development Permit
  - The Applicant proposes to excavate the current stormwater pond and install a liner to stop the inpond infiltration of stormwater. No changes to the current drainage pattern and all elevations are to remain the same, as per drawings submitted (Bearspaw Pond Liner, dated November 5, 2020) and accepted by County Engineering Services on November 23, 2020.

### STATUTORY PLANS:

• This property falls within the Bearspaw Area Structure Plan. This plan does not provide guidance for applications such as this one. This application was assessed in accordance with the Land Use Bylaw C-8000-2020.

#### **INSPECTOR'S COMMENTS:**

Inspection: August 24, 2020

- No construction on site
- No water in pond at time of inspection
- No concerns at time of inspection

#### **CIRCULATIONS:**

#### Transportation Services

• Planning should be aware that the pond is part of an existing drainage easement.

#### **Development Compliance**

• Development Compliance has no comments or concerns with respect to the attached application.

#### **Utility Services**

• No concerns

#### Agricultural Services

• No agricultural concerns

#### Planning and Development Services - Engineering Review

- The storm pond is protected by an Overland Drainage right-of-way registered on the title under the instrument number 051 381 777. The storm pond was designed to address the stormwater run-off for the entire subdivision and as such any alternation (including replacement of the liner and adding water) will require it to be engineered to ensure that we are not negatively impacting the upstream run-off. Prior to issuance, the Applicant will be required to hire a Professional Engineer to complete the design of the liner for the stormwater pond. The submission must include detailed engineering drawings and a technical memo to confirm that the proposed improvements to the stormwater facility remain as per the original approved design with similar pond characteristics and adhere to the current release rate;
- A Construction Completion Certificate (CCC). The CCC must be certified by the Consultant Engineer that the stormwater infrastructure has been installed and completed in accordance with the examined drawings prior to occupancy.

ROCKY VIEW COUNTY

#### Assessment Rational:

- Engineering Services is satisfied with the drawings prepared by Morrison Hershfield and that no major impact to the current drainage pattern is expected.
- A security has been requested, based on reclamation security of \$5,000 per disturbed acre for the construction/installation of the liner is completed to County satisfaction and this protects the County investment in the stormwater pond.
- The approval is for the installation of the liner only and no other disturbance to the stormwater utility right of way is permitted.
- Alberta Environment, responded to an email, dated October 14, 2020, and stated that they required no change to existing approval, or additional approval, for the installation of a liner in a stormwater pond as long as there are no changes to the characteristics of the pond.

#### **OPTIONS:**

Option 1: (this would allow the proposed development)

APPROVAL, subject to the following conditions:

#### **Description:**

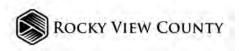
1. That single-lot regrading and the placement of clean fill, for a stormwater pond improvement, including the installation of a liner, may commence in accordance with the Plan and Sections drawing, as prepared by Morrison Hershfield, Project Name: Bearspaw Pond Liner; dated November 5, 2020.

#### Prior to Issuance:

- 2. That prior to issuance of this permit, the Applicant/Owner shall submit a design/drawing, for the liner, prepared and stamped by a professional engineer, that demonstrates that the proposed development (liner) is in accordance with and meets the stormwater targets of the registered drainage (confirm that the proposed improvements do not alter the original, approved design, with similar pond characteristics and adhere to the current release rate), to the satisfaction of the County.
- That prior to issuance of this permit, the Applicant/Owner shall submit an Erosion and Sedimentation Control (ESC) plan, conducted and stamped by a qualified professional, that provides sediment and erosion control measures and protects the drainage right of way from sediment caused by the proposed development, in accordance with County Servicing Standards.
- 4. That prior to issuance of this permit, the Applicant/Owner shall submit a Reclamation security of \$5,000 per disturbed acre, in accordance with the County Servicing Standards.

#### **Development Completion/Prior to Occupancy:**

5. That upon Development completion/Prior to Occupancy, the Applicant/Owner shall submit a Construction Completion Certificate (CCC) that must be certified, by the Consultant Engineer, that the stormwater infrastructure has been installed and completed in accordance with the examined drawings

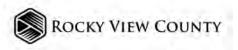


#### Permanent:

- 6. That any plan, technical submission, agreement, matter or understanding submitted and approved as part of the application, in response, to a prior to issuance condition, shall be implemented and adhered to in perpetuity.
- 7. The Applicant/Owner shall not alter the drainage right of way and/or stormwater pond in any manner, other than changes approved with this permit approval, that could alter the flow, capacity or appearance of the stormwater drainage.
- 8. That the Applicant/Owner shall maintain and adhere to all conditions of the drainage right of way, Registered Instrument #051 381 777, and shall not plant and/or alter the drainage, in any manner, that could negatively impact the drainage patterns, surface grades, flow of water and interfere with the County gaining access to drainage right of way for maintenance and other such activities.
- 9. That the Applicant/Owner shall be responsible for rectifying any adverse effect on adjacent lands and/or adjacent infrastructure from drainage alteration.
- 10. That the entire site shall be maintained in a neat and orderly manner at all times to the satisfaction of the County.
- 11. That no native topsoil shall be removed from the subject parcel.
- 12. That the Reclamation Security shall be held by the County, until the development is completed in its entity.
  - i. Upon completion of the proposal, the County shall complete an inspection and/or obtain written documentation that confirms the development is completed as per the application requirements. If accepted, the Reclamation Security shall be returned to the Applicant/Owner.

#### Advisory:

- 13. That the site shall remain free of restricted and noxious weeds and be maintained in accordance with the Alberta Weed Control Act Act [Statutes of Alberta, 2008 Chapter W-5.1; Current as of December 15, 2017].
- 14. That all construction and building materials shall be maintained on-site, in a neat and orderly manner. Any debris or garbage shall be stored/placed in garbage bins and disposed of at an approved disposal facility.
- 15. That the Applicant/Owner shall adhere to the County's Noise Bylaw (C-5772-2003) at all times.
- 16. That if the development authorized by this Development Permit is not completed within 12 months of the date of issuance, the permit is deemed to be null and void.
- 17. That any other government permits, approvals, or compliances are the sole responsibility of the Applicant/Owner
  - i. That the Applicant/Owner shall obtain and conform to all required environmental approvals and regulations, including Alberta Environment and Alberta Health Services, for any recreational use of the stormwater pond.
- 18. That if this Development Permit is not issued by **August 31, 2021** or the approved extension date, then this approval is null and void and the Development Permit shall not be issued.

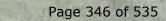


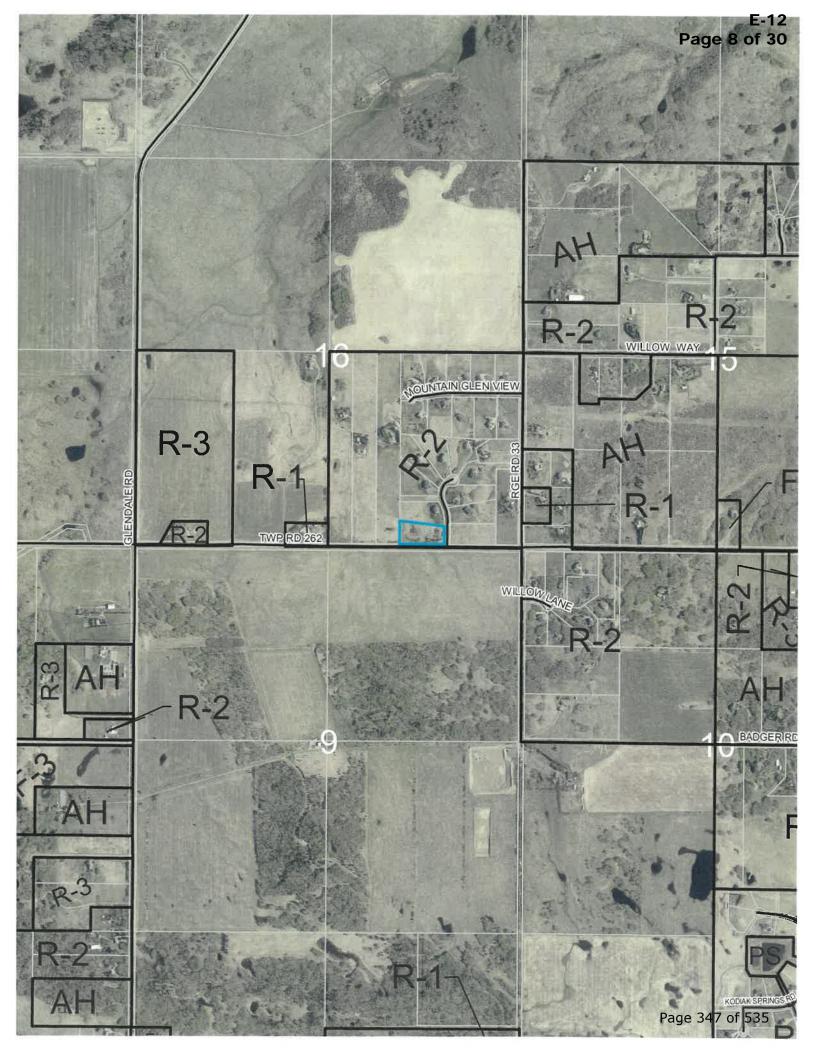
Option 2: (this would not allow the proposed development)

REFUSAL, for the following reasons:

1. In the opinion of the Municipal Planning Commission, the development unduly interferes with the amenities of the neighbourhood and materially interferes with and affects the use, enjoyment, and value of neighbouring parcels of land.







uSign	Envelope ID: 07247046-70E2-4890-9A36-8423C7A8A1FE	E-12 Page 9 of 30 FOR OFFICE USE ONLY
C	ROCKY VIEW COUNTY Cultivating Communities APPLICATION FOR A DEVELOPMENT DEDINIT	Fee Submitted File Number 00746008 Date of Receipt Huy 13,2000 Second Second Se
	Name of Applicant Ray & Janelle Sergent	
5	For Agents please supply Business/Agency/ Organization Name	
;	LEGAL DESCRIPTION OF LAND a) All / part of the <u>SE</u> ¼ Section <u>16</u> Township <u>26</u> Range b) Being all / parts of Lot <u>18</u> Block <u>1</u> Registered Plan Numb	
	c) Municipal Address <u>5 Mountain Glen Close</u> d) Existing Land Use Designation <u>R1</u> Parcel Size <u>4 AC</u>	Division
	APPLICATION FOR        Remove weeds, bushes and debris from inside the pond area that are preversion of the pond area that area that are pond area that area that area t	
3.	ADDITIONAL INFORMATION	
	a) Are there any oil or gas wells on or within 100 metres of the subject property(s)?	Yes NoX
	<ul> <li>b) Is the proposed parcel within 1.5 kilometres of a sour gas facility? (Sour Gas facility means well, pipeline or plant)</li> </ul>	Yes NoX
	c) Is there an abandoned oil or gas well or pipeline on the property?	Yes NoX
	d) Does the site have direct access to a developed Municipal Road?	Yes NoX
4.	REGISTERED OWNER OR PERSON ACTING ON HIS BEHALF	
	I RAY SERGENT hereby certify that I am the regist (Full Name in Block Capitals) X I am authorize	ered owner d to act on the owner's behalf
	and that the information given on this form is full and complete and is, to the best of my knowledge, a true statement of the facts relating to this application.	Affix Corporate Seal here if owner is listed as a named or numbered company
	Applicant's Signature July 24, 2020 Owner's Signature Date	-DocuSigned by: laron Kunit -D864887C388C473.UTy 26, 2020   8:29 PM 1

#### 5. RIGHT OF ENTRY

I hereby authorize Rocky View County to enter the above parcel(s) of land for purposes of investigation and enforcement related to this Development Permit application.

DocuSigned by: aron Renert -D864B87C3B8C473...

Applicant's/Owner's Signature

Please note that all information provided by the Applicant to the County that is associated with the application, including technical studies, will be treated as public information in the course of the municipality's consideration of the development permit application, pursuant to the Municipal Government Act, R.S.A 2000 Chapter M-26, the Land Use Bylaw and relevant statutory plans. By providing this information, you (Owner/Applicant) are deemed to consent to its public release. Information provided will only be directed to the Public Information Office, 262075 Rocky View Point, Rocky View County, AB, T4A 0X2; Phone: 403-520-8199.

*I*, <u>Aaron Renert</u>, hereby consent to the public release and disclosure of all information contained within this application and supporting documentation as part of the development process.

DocuSigned by:

July 26, 2020 | 8:29 PM MDT

Date

Hi Evan,

Here is the info you requested as well I have attached a copy of the land titles. If you have any further questions or need more info please let us know. For payment of the permit please call my cell 403-369-3131 and I can give you the credit card info at that time.

#### Picture Legend - for Pond Development at 5 Mountain Glen.

RED: these piles of rocks circled in red are full of weeds and debris and we would clear them out

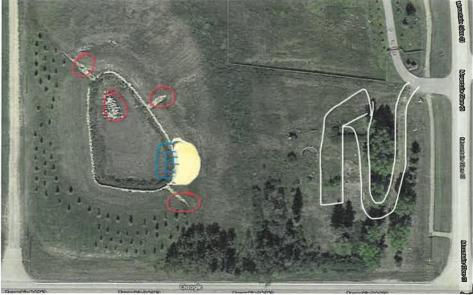
**BLUE**: this area would be opened to allow for entry into the pond. Either through building rock steps into the pond or creating a light slope <u>inside</u> the pond so that one could access the water for such activities as paddle boarding or kayak, etc.

BEIGE: this small area we would like to add some sand to create a "beach" area by the pond

**WHITE**: This is just for perspective on where our new build site maybe and that the pond is in view of our living area/deck area. We would like to create a nice clean area to view from our deck and back yard.

\*\*\*At this time we are not requesting a change to the grade or slope into the pond so we don't foresee any changes to the water flow.

\*\*\*Any changes to grade or slope on this lot could be addressed at the time we submit a new home build application and the grading required for the home site. Currently, we need to know if the <u>inside</u> of the pond can be improved and made into a usable space. This will impact if we want to proceed with a firm sale on this property.



Thank you,

Ray Sergent



November 24, 2020

File: 2100004

Rocky View County 262075 Rocky View Point Rocky View County, AB, T4A 0X2,

Attn: Jeannette Lee, P.Eng., PMP

# Re: Bearspaw Subdivision Pond Liner – Rocky View County, AB

Morrison Hersfield Ltd. prepared the design of the liner for the pond to hold water in the pond. A Geosynthetic Clay Liner (GCL) is recommended for this site with a cover of native Silty Clay Till of 300mm in thickness.

Installation of GCL will be installed below existing pond bottom in a way that:

- 1) There is no change to the existing pond bottom, shape, or size of the pond.
- 2) Pond design and storage capacity will remain as existing.
- 3) There will not be any change to inlet, outlet, or release rate of the pond.
- 4) Location, elevation, and shape of the emergency spillway will remain as existing.
- 5) ESC will be implemented as required to carry out the construction

We hope this clarifies design assumptions and will help you accept the pond liner.

Yours truly, Morrison Hershfield Limited

Irshad Ahmad. P.Eng. Project Manager

Enclosure cc: Luis Narvaes



LAND TITLE CERTIFICATE

S					
LINC 0031 320 476					TITLE NUMBER 141 102 773
0031 320 478	0513431;1	.;10			141 102 //3
LEGAL DESCRIP	TION				
PLAN 0513431					
BLOCK 1					
LOT 18					
EXCEPTING THE					
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ATS REFERENCE		SE			
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MUNICIPALITY:	ROCKY VIEW	COUNTY			
REFERENCE NUM	070.101 070	0.01			
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141 102 773	01/05/2014	TRANSFER	OF LAND	\$355,000	CASH
OWNERS					
AARON RENERT					
	EN	CUMBRANCES	S, LIENS	& INTERESTS	
REGISTRATION					
	DATE (D/M/Y)	PA	RTICULARS	3	
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ENCUMBRANCES, LIENS & INTERESTS PAGE 2 # 141 102 773 REGISTRATION NUMBER DATE (D/M/Y) PARTICULARS GRANTEE - ATCO GAS AND PIPELINES LTD. 909 11TH AVENUE S.W. CALGARY ALBERTA T2P1L8 GRANTEE - FORTISALBERTA INC. 320-17 AVE SW CALGARY ALBERTA T2S2V1 GRANTEE - THE MUNICIPAL DISTRICT OF ROCKY VIEW NO. 44. 911-32 AVE NE CALGARY ALBERTA T2E6X6 AS TO PORTION OR PLAN: 0513432 051 381 776 11/10/2005 UTILITY RIGHT OF WAY GRANTEE - THE MUNICIPAL DISTRICT OF ROCKY VIEW NO. 44. AS TO PORTION OR PLAN:0513433 051 381 777 11/10/2005 AGREEMENT EASEMENT, RESTRICTIVE COVENANT & UTILITY RIGHT OF WAY (SEE INSTRUMENT). 051 381 781 11/10/2005 ENCUMBRANCE ENCUMBRANCEE - MOUNTAIN GLEN ESTATES HOMEOWNERS ASSOCIATION. 7140 - 40TH STREET SE CALGARY ALBERTA T2C2B6 051 381 782 11/10/2005 RESTRICTIVE COVENANT 051 417 535 05/11/2005 RESTRICTIVE COVENANT TOTAL INSTRUMENTS: 007

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN ACCURATE REPRODUCTION OF THE CERTIFICATE OF TITLE REPRESENTED HEREIN THIS 29 DAY OF JUNE, 2020 AT 10:20 A.M.

ORDER NUMBER: 39605159

CUSTOMER FILE NUMBER: 367-001



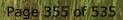
\*END OF CERTIFICATE\* ( CONTINUED )

PAGE 3 # 141 102 773

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED FOR THE SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER, SUBJECT TO WHAT IS SET OUT IN THE PARAGRAPH BELOW.

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THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION, APPRAISAL OR OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS PART OF THE ORIGINAL PURCHASER APPLYING PROFESSIONAL, CONSULTING OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT(S).





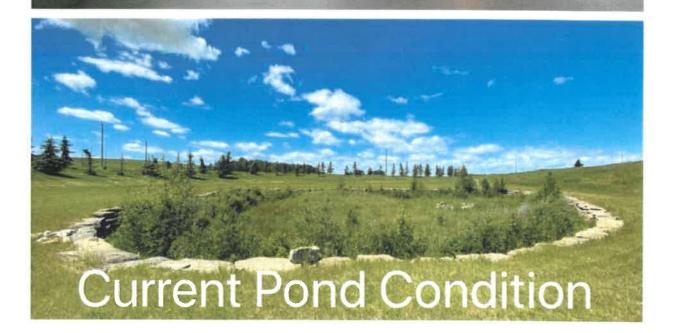


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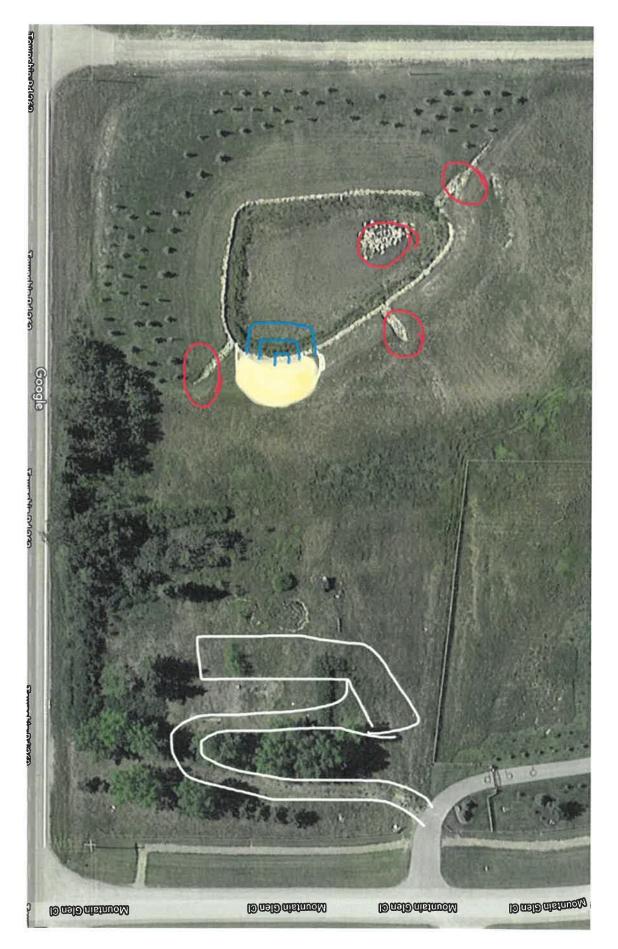




# Pond Inspo and Restoration









October 15, 2020

## **Rocky View County**

262075 Rocky View Point Rocky View County, AB T4A 0X2

## Attention: Jeannette Lee, P.Eng., PMP Senior Municipal Engineer

## Reference: Mountain Glen Estates – SE16-26-03-W5M Your File No. 2004086 South Storm Pond

The existing south storm pond, outlined in red in the attached drawing is not holding water. The developer would like to add a liner to ensure that water does not infiltrate into the subsoils and water is detained as per the original design. The approved Stormwater Management Plan was prepared by Morrison Hershfield in association with Operational Solutions Ltd. on May 16, 2003 and the Pond drawings were prepared by Morrison Hershfield on March 21, 2005.

The plan is to add a liner as recommended by a Professional Geotechnical Engineer ensuring that the final pond remains as per the original approved design; this is, maintaining the design elevations, volume and shape.

As requested by you, I contacted Alberta Environment and Parks to request information of any approvals required to perform this change. Attached is a copy of the email I received from Aster Wang, Water Approvals Team Lead – Calgary. In it, she indicates that no approvals are required from Alberta Environment to install a liner without changing the pond characteristics. They only require copies of the updated drawings with the liner to be added.

Once we receive approval from your office, we will consult with a Professional Geotechnical Engineer on the appropriate liner for this pond, prepare updated pond drawings and submit them for your approval.

I am available, at your convenience, to discuss any aspect of the proposed change. Please call me if you require additional information or clarification.

Yours sincerely,

LCN Consulting Engineering Ltd In. 0

Luis G. Narvaez, B.Sc., P.Eng. Senior Stormwater Engineer

## Inarvaez@lgneng.ca

From:Aster Wang <Aster.Wang@gov.ab.ca>Sent:October 14, 2020 4:15 PMTo:Inarvaez@lgneng.caSubject:RE: Pond liner

Hello Luis,

You don't need to obtain any approval from Alberta Environment to install a liner in a stormwater pond without changing the characteristics of the pond, but we would like to be informed. Please email me an updated drawings including the liner. I will add it to our file.

Regards,

## Aster Wang

Water Approvals Team Lead - Calgary Southern Region Alberta Environment and Parks

2938 – 11 Street NE Calgary, AB T2E 7L7

Tel 403-297-5891 Fax 403-297-2749 aster.wang@gov.ab.ca



Classification: Protected A

From: Inarvaez@lgneng.ca <Inarvaez@lgneng.ca> Sent: October 7, 2020 12:26 PM To: Aster Wang <Aster.Wang@gov.ab.ca> Subject: Pond liner

CAUTION: This email has been sent from an external source. Treat hyperlinks and attachments in this email with care.

Good afternoon Aster,

The pond outlined in the attached drawing was constructed back in 2005 and registered with Alberta Environment. This pond was designed and constructed without a liner. The pond is not holding water as was intended; therefore, the developer would like to install a synthetic liner. The intent is to obtain the proper recommendation from a geotechnical

engineer for a liner design. The pond shape and characteristics (volume, depth, etc.) will remain as per the approved Stormwater Management report.

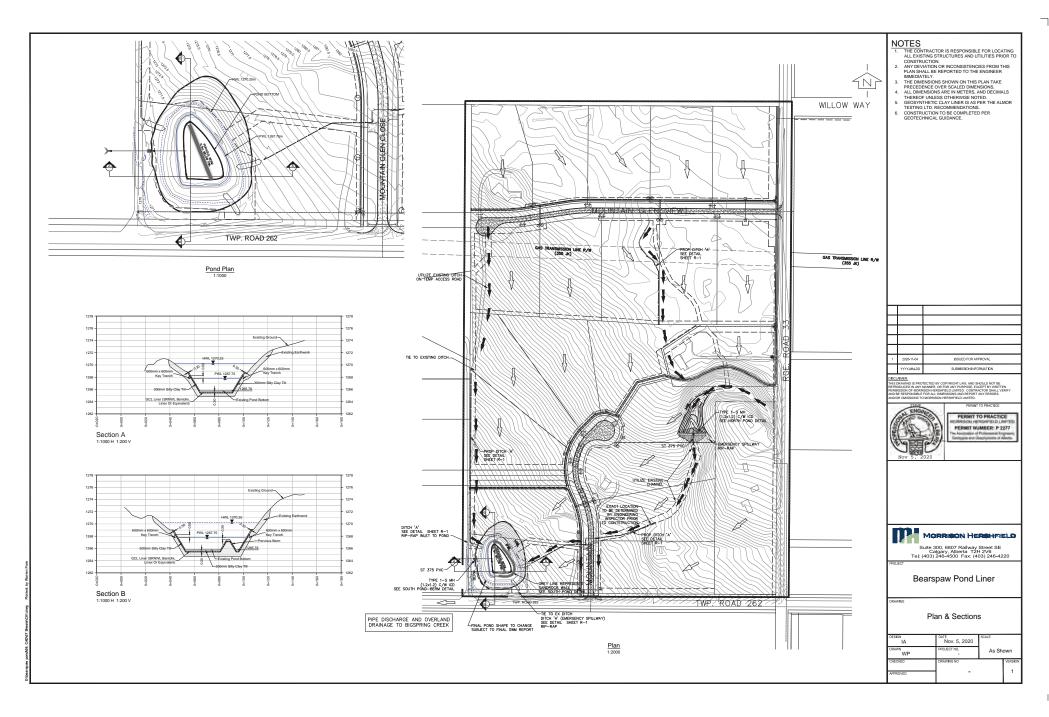
I spoke with Rocky View County and they requested a letter from me indicating that the pond characteristics will not change from the approved report and construction drawings. My question to you is what process do I need to follow to obtain approval from Alberta Environment to install the liner.

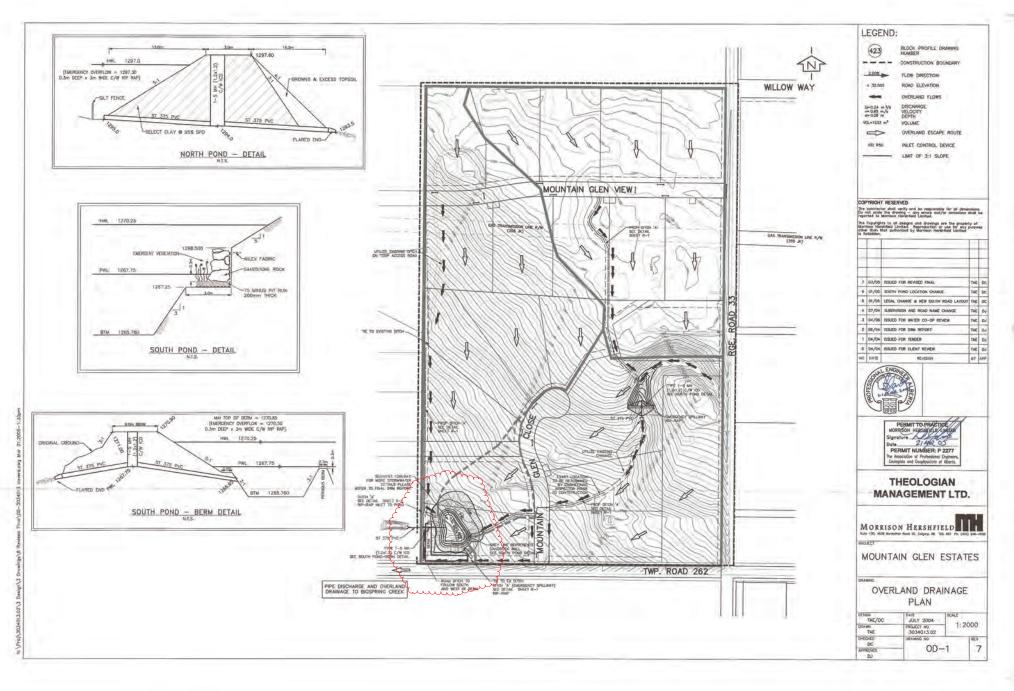
Your help is appreciated, thank you,

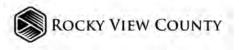
LGN Consulting Engineering Ltd. Luis G. Narvaez, B.Sc., P.Eng.

Senior Stormwater Engineer (403) 975-0598 Please consider the environment before printing this email

## E-12 Page 29 of 30







# PLANNING AND DEVELOPMENT SERVICES

TO: Municipal Planning Commission

**DIVISION:** 9

SUBJECT: Development Item: Stripping and Grading

USE: Discretionary use, with no Variances

**APPLICATION:** Single-lot regrading and excavation, for construction of a pond

**GENERAL LOCATION:** located approximately 1.21 km (1 mile) north of Twp. Rd. 272 and on the west side of Rge. Rd. 42.

LAND USE DESIGNATION: Agricultural, Small Parcel District (A-SML) under Land Use Bylaw C-8000-2020.

**ADMINISTRATION RECOMMENDATION:** Administration recommends Approval in accordance with Option #1.

## **OPTIONS:**

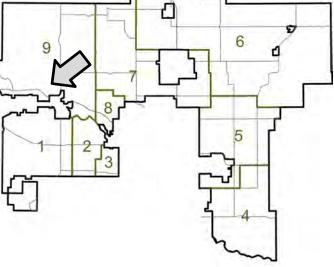
- Option #1: **THAT Development Permit** Application PRDP20203171 be
  - approved with the conditions noted in the Development Permit Report, attached.
- Option #2: THAT Development Permit Application PRDP20203171 be refused as per the reasons noted.

## **AIR PHOTO & DEVELOPMENT CONTEXT:**



**Administration Resources** Wayne Van Dijk, Planning and Development Services **DATE:** December 10, 2020

APPLICATION: PRDP20203171





## **DEVELOPMENT PERMIT REPORT**

Application Date: October 7, 2020	File: 07815009
Application: PRDP20203171	Applicant: Anton & Sonja Kary Owner: Anton & Sonja Kary
Legal Description: NE-15-27-4 W5M Municipal Address: 272180 Rge. Rd. 42	<b>General Location:</b> located approximately 1.21 km (1 mile) north of Twp. Rd. 272 and on the west side of Rge. Rd. 42
Land Use Designation: Agricultural, Small Parcel District (A-SML) under Land Use Bylaw C-8000-2020.	Gross Area: ± 15.99 hectares (± 39.52 acres)
File Manager: Wayne Van Dijk	Division: 9

## PROPOSAL:

The application is for single-lot regrading and excavation for construction of a pond, to receive run off from a 15.99 hectare (39.52 acre) parcel located at 272180 Rge. Rd. 42.

The application states that the pond will be approximately  $9.14 \text{ m} \times 9.14 \text{ m} (30.00 \text{ ft.} \times 30.00 \text{ ft.})$  in size and 3.04 m (10.00 ft.) deep. This size of pond will require the excavation of approximately 254.85 cu.m. (9000 cu. ft.) of fill. The excavation is to be backsloped at approximately 3:1 slope. After speaking with the applicant, they propose to spread the excavated material, place topsoil on the excavated material and landscape and seed to grass.

The purpose of the pond is to retain water for gardening purposes.

The application stated that the pond was constructed and finished prior to development permit application. The applicant has confirmed that they were directed by Alberta Environment and Parks to fill the current pond in, due to proximity to a mapped wetland. This has been completed and the location of the proposed excavation/pond has moved slightly, as per updated site plan. Construction shall not commence until after a development permit is obtained.

The parcel currently has a dwelling, single detached and an accessory building (shop) on site. There is a pre-existing dugout located in the southeastern portion of the parcel.

## Land Use Bylaw C-8000-2020

## Table 2 (t) Ponds under 0.60 m (1.97 ft.) in depth (Not Requiring a Development Permit)

- As the subject proposal pond depth exceeds this requirement, the use becomes discretionary.
- Section 273 Site stripping, filling, excavation, grading, and/or re-contouring (including construction of an artificial waterbody, but not a dugout) requires a Development Permit.

## STATUTORY PLANS:

The site does not fall within any Area Structure Plan or Conceptual Schemes and was assessed utilizing the Land Use Bylaw (C-8000-2020).



## INSPECTOR'S COMMENTS:

• No inspection completed at time of report writing

## **CIRCULATIONS:**

## Development Compliance, Rocky View County

• No comments or concerns with the attached application.

## Agricultural Services

• Pending Alberta Environment approval, Agricultural Services has no concerns.

## Planning and Development Services - Engineering Review

## General:

## Geotechnical:

• No fill is proposed to be hauled onto the site.

## Transportation:

- Access to the parcel is provided off Highway 22.
- No Transportation Offsite Levy will be collected at this time as the proposed development is unlikely to result in an increase in traffic on the local road network

## Sanitary/Waste Water:

• No information was provided or required.

## Water Supply And Waterworks:

• No information was provided or required.

## **Storm Water Management:**

- Proposed activities are unlikely to cause significant drainage pattern changes given the size of the parcel and proposed use (onsite watering)
- As a permanent condition, applicant shall ensure the activities are to contained within the proposed disturbance and no changes to the overall site area or no adverse drainage impacts are caused to adjacent land.

## Environmental:

• As per County GIS, wetlands are present on site, however no disturbance to the existing wetland is proposed at this time.

No other comments received at time of report writing

## **OPTIONS:**

Option #1: (this would approve the proposed development)

APPROVAL subject to the following conditions:

## Description:

Page 2 of 3



- 1. That the single-lot regrading and excavation shall be permitted in general accordance with the drawings submitted with the application and includes:
  - i. Excavation of approximately 254.85 cu.m (9,000.00 cu. ft.) of fill to construct a pond, approximately 9.14 m x 9.14 m (30.00 ft. x 30.00 ft.) in size and 3.05 m (10.00 ft.) deep.

## Permanent:

- 2. That the Applicant/Owner shall be responsible for rectifying any adverse effect on adjacent lands and/or adjacent infrastructure from drainage alteration.
- 3. The Applicant shall ensure that the proposed activities are to contained within the proposed disturbance area and no changes are completed to the overall site area.
- 4. That the entire site shall be maintained in a neat and orderly manner at all times to the satisfaction of the County.
- 5. That there shall be no importing of clean fill or topsoil to the subject parcel, unless there is a separate Development Permit issued.
- 6. That no native topsoil shall beremoved from the subject parcel.

## Advisory:

- 7. That the subject development shall conform to the County's Noise Bylaw [C-5773-2003] in perpetuity.
- 8. That the site shall remain free of restricted and noxious weeds and be maintained in accordance with the Alberta Weed Control Act [Statutes of Alberta, 2008 Chapter W-5.1; Current as of December 15, 2017].
- 9. That any other government permits, approvals, or compliances are the sole responsibility of the Applicant/Owners.
- 10. That if the development authorized by this Development Permit is not completed within 12 months of the date of issuance, the permit is deemed to be null and void.

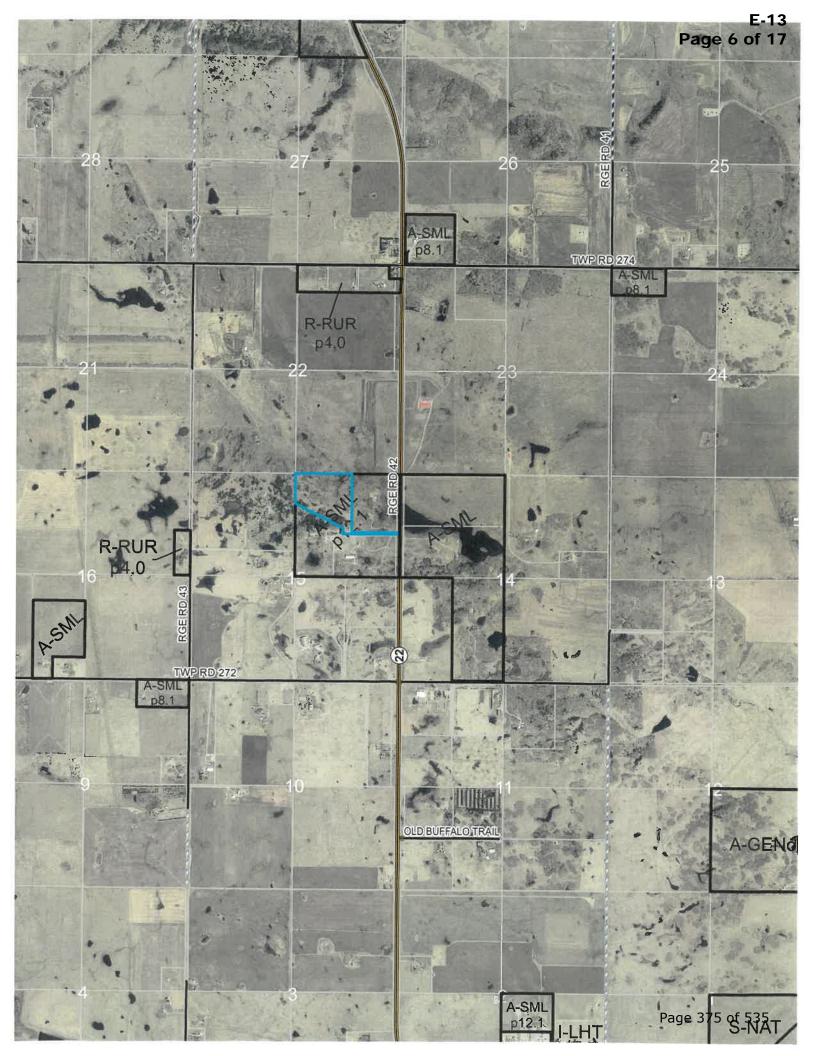
# The Applicant/Owner shall be responsible for all Alberta & Parks approvals/compensation, under the Water Act, if any wetland is impacted/disturbed by the placement of the proposed single-lot regrading activites

## Option #2: (this would not allow the proposed development)

REFUSAL as per the following reasons:

1. That in the opinion of the Development Authority, the development unduly interferes with the amenities of the neighbourhood and materially interferes with and affects the use, enjoyment, and value of neighbouring parcels of land.







# DEVELOPMENT PERMIT APPLICATION

Business/Organization Name (if applicable):

Applicant Name: ANTON - SONJA KARY

## APPLICANT/OWNER

FO	R OFFICE USE ONLY
APPLICATION NO	20203171
ROLLNO	078/5009
RENEWAL OF	
FEES PAID	\$450.00
DATE OF RECEIPT	OCT 7,2020
and the second se	

Landowner Name(s) per title (if not the Applicant)				
Business/Organization Name (if applicable):				
Mailing Address: Postal Code:				
Telephone (Primary) Email:				
LEGAL LAND DESCRIPTION - Subject site				
All/part of: NE% Section: 15 Township: 27 Range: H West of: 5 Meridian Division:				
All parts of Lot(s)/Unit(s): Block: 01 Plan: 0212976 Parcel Size acha): 39.5				
Municipal Address: 272180 RANGEROAD 42 Land Use District:				
APPLICATION FOR - List use and scope of work				
30 × 30 × 10 Deep POID CATCH WATER				
TO WATER GARDEN				
Variance Rationale included: YES NO N/A DP Checklist Included: YES NO				
SITE INFORMATION				
a. Oil or gas wells present on or within 100 metres of the subject property(s)       □ YES II NO         b. Parcel within 1.5 kilometres of a sour gas facility (well, pipeline or plant)       □ YES II NO				
Abandoned oil or gas well or pipeline present on the property				
(Well Map Viewer, https://extmapviewer.aer.ca/AERAbandonedWells/Index.html)				
d. Subject site has direct access to a developed Municipal Road (accessible public roadway)  UYES WNO				
AUTHORIZATION				
1. ANTON & SONSA KARY (Full name in Block Capitals), hereby certify (initial below):				
That I am the registered owner ORThat I am authorized to act on the owner's behalf.				
That the information given on this form and related documents, is full and complete and is, to the best of my knowledge, a true statement of the facts relating to this application.				
That I provide consent to the public release and disclosure of all information, including supporting documentation, submitted/contained within this application as part of the review process. I acknowledge that the information is				
collected in accordance with s.33(c) of the Freedom of Information and Protection of Privacy Act. Right of Entry: I authorize/acknowledge that Rocky View County may enter the above parcel(s) of land for				
Right of Entry: Taution/2e/actiowedge inal rookly view obdatty may and the users parent() of tauto of purposes of investigation and enforcement related to this application in accordance with Section 542 of the				
Municipal Government Act.				
Applicant Signature Landowner Signature Man Kerry				
Date Sept 25/20 Date Sept 25/20				

>	OUN IY		FOR OF	FICE USE ONLY
		INTION	APPLICATION NO	
STRIPPING, GRI	Second de la companya	AIIUN	ROLL NO	
AND/OR FILL INFO	RMATION SHEET		DISTRICT	
DETAILS			APPLICATION F	OR:
Total area of work		(ac / m <sup>2</sup> )	Site Stripping	and the second sec
Length	30	(m / (f))	Grading	Re-contouring
Width	30	(m / ft.)	Excavation	Excavation
Height	10	(m.(ft.)	(cut-to-fill)	(borrow areas)
Volume	LQ.	$(m^3 / ft^3)$	Construction o (not including	f artificial waterbody
Number of truckloads (approx.)		1	Stockpiling	uugouis)
Slope factor (if applicable)	SLOPED TO ALMUST	ADINT	Other:	
DESCRIPTION OF WORK	001m WI			
Describe the purpose and intent	of the work proposed (incli	ude cover letter	for detailed descrin	otion)
~	ATCH WATER			+ GARDEN.
· · · · · · · · ·		onmentally sens		termined): irian, wetland, other
ndicate the effect(s) on existing vaterbodies etc,) if applicable:	drainage patterns or enviro			
ndicate the effect(s) on existing waterbodies etc,) if applicable: Confirm if proposed fill contains	drainage patterns or enviro any rubble or hazardous su	ibstances:	utive areas (i.e. ripa	
ADDITIONAL REQUIREMENTS The following must be include Pre-development and Pos Other documents: Stormw Cover letter shall addres	drainage patterns or environ any rubble or hazardous su <b>5, in addition to DP Check</b> <i>d with the application (se</i> <i>t</i> -development grading plan rater Management Plan, Fi se <b>ALL of the following</b> :	ibstances: i <b>list - General t</b> elect if provide ns I Management	requirements d): Plan, Soil Quality R	rrian, wetland, other
Indicate the effect(s) on existing waterbodies etc.) if applicable: Confirm if proposed fill contains ADDITIONAL REQUIREMENTS The following must be include Pre-development and Pos Other documents: Stormw Cover letter shall addres • Soil-handling plan de when it is in a favoura • Traffic control plan • Weed Management F • Costs (anticipated) to	drainage patterns or environ any rubble or hazardous su <b>i, in addition to DP Check</b> <i>d with the application (se</i> t-development grading plan rater Management Plan, Fi se <b>ALL of the following:</b> picting movement of fill on able condition (include this Plan	Ibstances: Ist - General r Interest of the site and contribution on the si	requirements d): Plan, Soil Quality R	rrian, wetland, other
Indicate the effect(s) on existing waterbodies etc.) if applicable: Confirm if proposed fill contains ADDITIONAL REQUIREMENTS The following must be include Pre-development and Pos Other documents: Stormw Cover letter shall address • Soil-handling plan de when it is in a favoura • Traffic control plan • Weed Management F • Costs (anticipated) to	drainage patterns or environ any rubble or hazardous su <b>any rubble or hazardous su</b> <b>d with the application (se</b> <b>d with the application (se</b> <b>t-development grading plan</b> <b>rater Management Plan, Fil</b> <b>s ALL of the following:</b> picting movement of fill on able condition (include this <b>Plan</b> reclaim the site erosion resulting from ongo <b>ns:</b> f excavation, fill, and/or gravatercourses and any ecol ation, stripping, or grading	Ibstances: Ist - General to Instant for a stand contract of the site and contract of the site an	requirements d): Plan, Soil Quality R firmation that soil w the Site/Grading Pla	rrian, wetland, other



#### **DEVELOPMENT PERMIT APPLICATION CHECKLIST - GENERAL**

All plans shall be submitted as one (1) legible hard copy and in DIGITAL form (pdfs) Select [ ] all that are included within application package. Incomplete applications may not be accepted for processing

- APPLICATION FORM(S) AND CHECKLIST: All parts completed and signed.
- APPLICATION FEE: Refer to Planning and Development Fee Schedule within the Master Rates Bylaw
- CURRENT LAND TITLES CERTIFICATE COPY dated within 30 days of application, and:
- FROM SHOP \* O Digital copy of non-financial instruments/caveats registered on tille ONE ON FILE
- LETTER OF AUTHORIZATION: Signed by the registered landowner(s) authorizing person acting on behalf (if not the Applicant) If registered owner on title is a company, authorization to be provided on a company letterhead or as an affidavil (signed by a Commissioner of Oaths)

#### COVER LETTER, shall include:

- Proposed land use(s) and scope of work on the subject property
- Detailed rationale for any variances requested
- For businesses Complete operational details including days/hours of work, number of employees, parking provisions, types of vehicles, outdoor storage areas, site access/approach, traffic management, elc
- Reference to any Supporting Documents, images, studies, plans etc. provided within application package 0

#### SITE PLAN, shall include:

- Legal description and municipal address
- O North arrow
- Property dimensions (all sides)
- Setbacks/dimensions from all sides of the property line(s) to existing/proposed buildings, structures (cantilevers) decks, and porches), outdoor storage areas etc.
- O Dimensions of all buildings/structures
- Location and labels for existing/proposed approach(s)/access to property
- O Identify names of adjacent internal/municipal roads and highways
- Identify any existing/abandoned/proposed oil wells, septic fields/tanks, or water wells on site, including their distances to existing/proposed buildings
- Identify any existing/proposed site features such as trees, shelterbelts, canals, waterbodies, etc.
- O Identify site slopes greater than 15% and distances from structures.
- O Location and labels for easements and/or rights-of-way on title

#### FLOOR PLANS/ELEVATIONS, shall include:

- O Overall dimensions on floor plans for all buildings/structures (for new construction, additions, renovations etc.)
- Indicate floor area and existing/proposed uses on floor plans and height(s) on elevations
- Indicate type of building/structure on floor plans and elevations
- COLOUR PHOTOGRAPHS (Min. 3) one hard and digital copy: Of existing site, building(s), structure(s), signage, site features, taken from all sides including surrounding context, and when existing floor plans/elevations are not available
- SUPPORTING DOCUMENTS (as applicable): Include technical studies/reports and any additional plans relating to the proposed development (lot grading, site lighting, storm water management plans etc.). Refer to the Land Use Bylaw for use or district specific requirements

FOR OFFICE	JSE ONLY
Proposed Use(s). Stripping, filling, grading, ( Applicable ASP/CS/IDP/MSDP, Note Not	Se (7) Use District A-5/96
Included within file: A Information Sheet Parcel Summary	Site Aerial Cland Use Map Aerial Site Plan
NOTES	$\mathcal{C}$
262375 Rocky View Point Rocky View County, AB, T4A 0X2	Staff Signature:

## September 28, 2020

## Rockyview County

We are building a shop with all the required permits. Before the backhoe left we decided on a small pond to water the garden area from. A last minute decision and we did not realize that we needed a development permit. We moved to be near grandkids from a county that didn't even require a permit to build a shop so we didn't consider it. We apologize for that oversight.

The pond is 30 L X 30 W X 10 D. We made sure it was wide/long enough to provide a legal slope and so it slopes almost to a point in the middle from all sides. We like to be legal of course but we have grandkids who are faster than we are so need things to be as safe as possible for them.

Thank you,

Anton & Sonja Kary



LAND TITLE CERTIFICATE

S					
LINC					TITLE NUMBER
0029 502 482	0212976;1	l;1			191 133 406
LEGAL DESCRIP PLAN 0212976 BLOCK 1	rion				
LOT 1 EXCEPTING THEF		NEC AND M	THEDATO		
AREA: 15.993 H				RLESS	
ESTATE: FEE SI ATS REFERENCE:		NE			
MUNICIPALITY:	ROCKY VIEW	COUNTY			
REFERENCE NUME	BER: 171 098				
	R	EGISTERED			
REGISTRATION	DATE (DMY)	DOCUMENT	TYPE	VALUE	CONSIDERATION
191 133 406	04/07/2019	TRANSFER	OF LAND	\$1,525,000	\$1,525,000
OWNERS					
ANTON KARY					
AND					
SONJA KARY					
	ENG	CUMBRANCES	, LIENS	& INTERESTS	
REGISTRATION					
NUMBER D	ATE (D/M/Y)	PAI	RTICULARS	5	
751 076 604					
		GRANTEE -	COCHRANE	LAKE GAS CO-OP	PLTD.

------Page-12 of 17 ENCUMBRANCES, LIENS & INTERESTS PAGE 2 # 191 133 406 REGISTRATION NUMBER DATE (D/M/Y) PARTICULARS \_ 021 318 151 11/09/2002 CAVEAT RE : ROADWAY CAVEATOR - HER MAJESTY THE QUEEN IN RIGHT OF ALBERTA AS REPRESENTED BY MINISTER OF TRANSPORTATION LANDS TECHNOLOGIST, HIGHWAY & ROADSIDE PLANNING TECHNICAL STANDARDS BRANCH 2ND FL., TWIN ATRIA BLDG 4999-98 AVE EDMONTON ALBERTA T6B2X3 AGENT - MICHELE MCKAY

131 149 463 25/06/2013 CAVEAT RE : EASEMENT

TOTAL INSTRUMENTS: 003

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN ACCURATE REPRODUCTION OF THE CERTIFICATE OF TITLE REPRESENTED HEREIN THIS 7 DAY OF OCTOBER, 2020 AT 09:52 A.M.

ORDER NUMBER: 40265026

CUSTOMER FILE NUMBER:



E-13

\*END OF CERTIFICATE\*

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED FOR THE SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER, SUBJECT TO WHAT IS SET OUT IN THE PARAGRAPH BELOW.

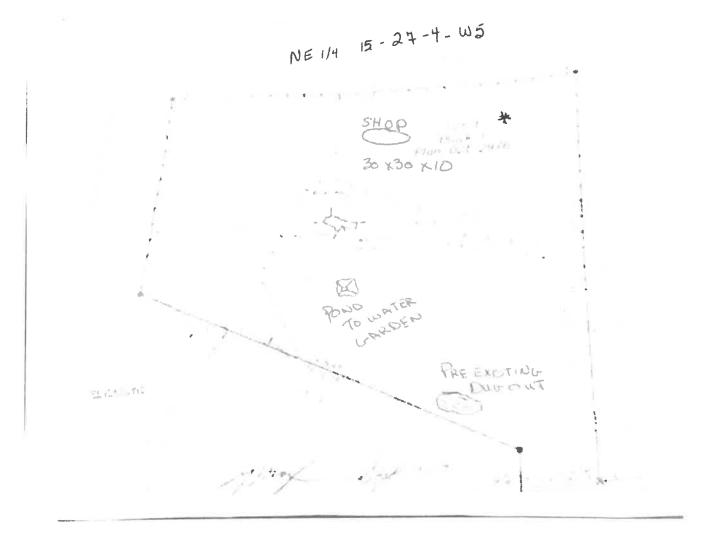
THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION, APPRAISAL OR OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS PART OF THE ORIGINAL PURCHASER APPLYING PROFESSIONAL, CONSULTING OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT(S).

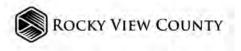












# PLANNING AND DEVELOPMENT SERVICES

TO: Municipal Planning Commission

**DIVISION:** 6

DATE: December 10, 2020

APPLICATION: PRDP20203471

**SUBJECT:** Development Item: Accessory building (existing)

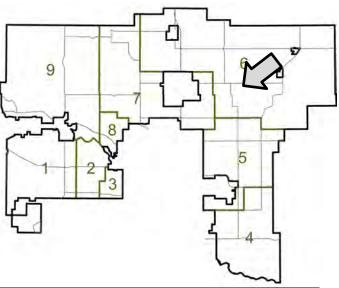
**USE:** Discretionary use, with Variances

**APPLICATION:** Construction of an addition to an accessory building (existing), relaxation to maximum building area

**GENERAL LOCATION:** located at the north west junction of Rge. Rd. 275 and Hwy. 567

**LAND USE DESIGNATION:** Agriculture, General (A-GEN) under Land Use Bylaw C-8000-2020.

ADMINISTRATION RECOMMENDATION: Administration recommends Approval in accordance with Option #1.



## VARIANCE SUMMARY:

Permitted	Proposed	Variance
318 Accessory Building >190 sq. m (2,045.14 sq. ft.) Permitted Area	392.38 sq. m (4,223.54 sq. ft.)	106.51%

## **OPTIONS:**

- Option #1: THAT Development Permit Application PRDP20203471 be approved with the conditions noted in the Development Permit Report, attached.
- Option #2: THAT Development Permit Application PRDP20203471 be refused as per the reasons noted.

## AIR PHOTO & DEVELOPMENT CONTEXT:





## **DEVELOPMENT PERMIT REPORT**

Application Date: October 29, 2020	File: 07218001
Application: PRDP20203471	Applicant/Owner: Drake Whitney
Legal Description: Lot 1, Plan 9511926, SE-18-27-27-W04M, 272011 Twp. Rd. 275	<b>General Location:</b> located at the north west junction of Rge. Rd. 275 and Hwy. 567
Land Use Designation: Agriculture, General District (A-GEN) (Use Residential, rural District (R-RUR) due to parcel size)	Gross Area: ± 2.44 hectares (± 6.03acres)
File Manager: Wayne Van Dijk	Division: 6

## PROPOSAL:

The proposal is for the construction of an addition to an accessory building (existing), relaxation of the maximum building size.

The proposed accessory building will be an addition, approximately 228.91 sq. m. (2,464.00 sq. ft.) in size, that will be connected to the existing accessory building (shop). The building (shop) is approximately 163.47 sq. m (1,759.58 sq. ft.) in size. The total building area will be 392.42 sq. m (4,224.00 sq. ft.). The addition dimensions are 17.07 m x 13.41 m (56.00 ft. x 44.00 ft.) and 7.01 m (23.00 ft.) high. The building and the proposed addition complies with the minimum setback requirements.

The addition, to the exisiting shop, will be used for storage of agricultural equipment, tools, hay, oats and a birthing area for goats (during the winter months). There are six (6) additional accessory buildings currently located on the parcel with a total coverage (including existing shop) of approximately 290.61 sq. m. (3128.10 sq. ft.). The addition will bring the total accessory building coverage to 519.52 sq. m. (5,592.07 sq. ft.).

## PERMIT HISTORY:

- PRDP20170251: renewal of a home-based business, Type II;
- PRDP20141172: construction of an accessory building (oversized barn) and relaxation of maximum height;
- 2013-DP-15628: home-based business, type II;
- 1998-DP-7752: relaxation to minimum side yard setback.

## LAND USE BYLAW:

309 Exceptions

- (b) On parcels less than 4.0 ha (9.88 ac), the uses within the R-RUR District shall apply R-RUR Residential, Rural District
- 318 Discretionary Uses
  - Accessory Building >190  $m^2$  (2045.14  $ft^2$ )
  - Exisiting building is 163.47 sq. m (1,759.58 sq. ft.)



- Proposed addition is 228.91 sq. m (2,463.97 sq. ft.)
- Total building area will be 392.38 sq. m (4223.54 sq. ft.)
- Variance required: 202.38 sq. m (2,178.40 sq. ft.) 106.51%

## 307 Maximum height of buildings

## (b) All others: None

No height reqtriction to accessory buildings

## 308 Minimum Setbacks

Permitted	Proposed	Variance
Front Yard (45.00 m) (147.64 ft.)	82.87 m (271.88 ft.)	0
Side Yard 1 (60.00 m) (196.85 ft.)	lots	0
Side Yard 2 (6.00 m) (9.84 ft.)	8.50 m (28.00 ft.)	0
Rear Yard (15.00) (49.21 ft.)	lots	0

## Assessment Rationale:

- The parcel is not immediately near to any inhabited parcels;
- The applicant has stated that they plan on removing three (3) of the current accessory buildings once the proposed addition to the barn is completed. This will result in approximately 32.79 sq. m (352.95 sq. ft.) less of accessory buildings area, leaving a total accessory building parcel coverage of approximately 362.33 sq. m (3900.09 sq. ft.).
- It is the opinion of the Development Authority that approving this variance would not unduly interfere with the amenities of the neighbourhood or materially interfere with or affect the use, enjoyment or value of neighbouring parcels of land.

## STATUTORY PLANS:

• This property does not fall within any Area Structure Plan and/or Conceptual Scheme. This application was assessed in accordance with the Land Use Bylaw, C-8000-2020.

## **INSPECTOR'S COMMENTS:**

• No inspection completed at time of report

## **CIRCULATIONS:**

## Alberta Transporation

• In reviewing the application, the proposed development falls within the control distance of a provincial highway as outlined in the Highways Development and Protection Act / Regulation. The proposed development, however, meets required Alberta transportation setbacks and will not cause any concern for ongoing highway operation or future highway expansion.



• Pursuant to Section 25(3)(c) of the Highways Development and Protection Regulation, Alberta Transportation issues an exemption from the permit requirements to Drake and Cindy Whitney for the development listed above.

Planning and Development Services - Engineering Review:

## General:

• As per the application, the applicant is proposing construction of a 44' x 56' accessory building (storage/shop).

## Geotechnical:

- As per GIS review, slopes steeper than 15% are not observed on the subject lands.
- Engineering has no requirements at this time as.

## Transportation:

- Access to the parcel is provided via an approach off Range Rd 275 which is a gravel standard road.
- The application will need to be circulated to Alberta Transportation for review and comment since the development is within the 1.6 km setback from Highway 567
- Prior to the issuance of the DP, the applicant is required to contact County Road Operations to determine if any hauling permits are required for the proposed development.

## Sanitary/Waste Water:

• Engineering has no requirements at this time.

## Water Supply And Waterworks:

• Engineering has no requirements at this time.

## Storm Water Management:

• The applicant will be required to submit an erosion and sediment control plan to outline ESC measures (i.e. silt fence, stabilization, seeding of topsoil, etc.) to be implemented during the construction of the proposed development and in perpetuity.

## Environmental:

• No environmentally sensitive areas appear to exist on the subject lands. Should the applicant propose development that has a direct impact on any wetlands, the applicant will be responsible for obtaining all required AEP approvals

No other comments received at time of report writing

## **OPTIONS:**

Option #1: (this would allow the proposed development)

APPROVAL, subject to the following conditions:

## **Description:**

- 1. That construction of an addition to an accessory building (existing barn/shop), approximately **228.91 sq. m. (2,463.97 sq. ft.)** in area, may commence on the subject land in general accordance with the drawings submitted with application.
  - i. That the maximum building area for the accessory building (barn/shop) is relaxed from 190.00 sq. m (2,045.14 sq. ft.) to 392.42 sq. m (4,224.00.54 sq. ft.).



## Permanent:

- 2. That the accessory building shall not be used for residential occupancy or commercial purposes at any time.
- 3. That there shall be no more than 2.00 m (6.56 ft.) of excavation or 1.00 m (3.28 ft.) of fill/topsoil placed adjacent to or within 15.00 m (49.21 ft.) of the proposed accessory building under construction in order to establish approved final grades unless a Development Permit has been issued for additional fill.
- 4. That the Applicant/Owner shall contact County Road Operations with haul details for materials and equipment needed during construction/site development to confirm if Road Use Agreements will be required for any hauling along the County road system and to confirm the presence of County road ban restrictions, in accordance with the Road Use Agreement Bylaw C-8065-2020.
- 5. That any plan, technical submission, agreement, or other matter submitted and approved as part of the Development Permit application, or submitted in response to a Prior to Issuance or Occupancy condition, shall be implemented and adhered to in perpetuity.

## Advisory:

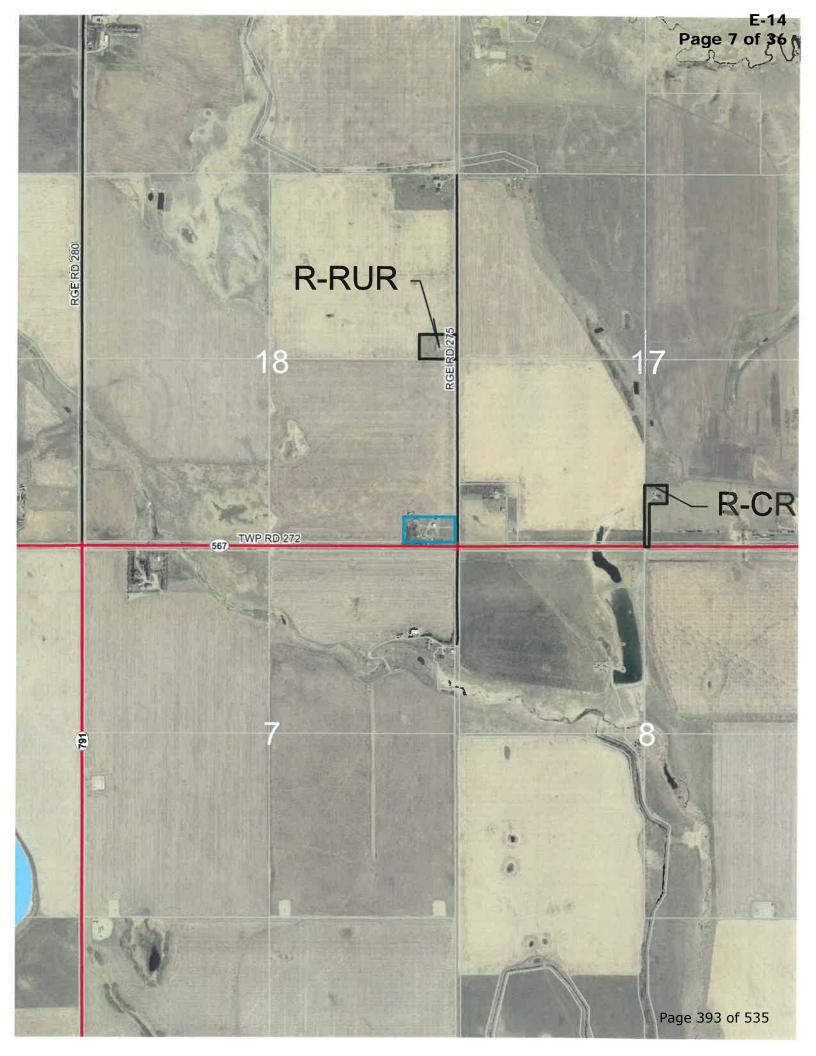
- 6. That during construction of the building, all construction and building materials shall be maintained on-site, in a neat and orderly manner. Any debris or garbage shall be stored/placed in garbage bins and disposed of at an approved disposal facility.
- 7. That during construction of the accessory building, the Applicant/Owner shall adhere to the County's Noise Bylaw (C-5772-2003) at all times.
- 8. That a Building Permit/Farm Building Exemption, for the accessory building shall be obtained through Building Services, prior to any construction taking place.
- 9. That if the development authorized by this Development Permit is not commenced with reasonable diligence within 12 months from the date of issue, and completed within 24 months of the issue, the permit is deemed to be null and void, unless an extension to this permit shall first have been granted by the Development Officer.
- 10. That any other government permits, approvals, or compliances are the sole responsibility of the Applicant/Owner.

Option #2: (this would not allow the proposed development)

REFUSAL, for the following reasons:

1. In the opinion of the Municipal Planning Commission, the development unduly interferes with the amenities of the neighbourhood and materially interferes with and affects the use, enjoyment, and value of neighbouring parcels of land.





				E-1
ROCKY VIEW COUNTY			FC	OR OFFICE USE ON Page 8 of 3
			APPLICATION NO.	20203471
			ROLL NO.	072/800
<b>DEVELOPMENT PE</b>	KMIT		RENEWAL OF	
APPLICATION			FEES PAID	\$280.00
			DATE OF RECEIPT	Oct 29,2020
APPLICANT/OWNER				
	Whitney			
Business/Organization Name (if appli	cable):		-	
Landowner Name(s) per title (if not th	e Applicant): 🥧	NDY WH	ithey	
Business/Organization Name (if appli			/	
LEGAL LAND DESCRIPTION - Subj	ect site			
All/part of: SE 1/4 Section: 18	Township: 27	Range: 27	West of: 4	Meridian Division:
All parts of Lot(s)/Unit(s):	Block: 🕖	Plan: 951 (	926	Parcel Size (ac/ha): 6.03
Municipal Address: 272011	Rac Rd 27		Land Use Dist	rict: RUR4
APPLICATION FOR - List use and so		a sina na si		
Building a shop	to store	equip	ment Th	E a to D CDAMILED
cultivator, tools				
Dip and to Con the	1 1	1.4	O our ex	
Variance Rationale included:				ist Included: YES INO
SITE INFORMATION				
a. Oil or gas wells present on or				VES NO
b. Parcel within 1.5 kilometres of			lant)	
<ul> <li>c. Abandoned oil or gas well or (Well Map Viewer: <u>https://extma</u>)</li> </ul>			dex.html)	
d. Subject site has direct access				adway) 🛛 YES 🖾 NO
AUTHORIZATION				
1. Drake Whit	ncy	(Full name in Blo	ck Capitals) <b>, her</b> e	eby certify (initial below):
That I am the registered own	er OR / That I			
				blete and is, to the best of my
knowledge, a true statement	-			
That I provide consent to the submitted/contained within th collected in accordance with s	is application as par	rt of the review pro	cess. I acknowle	
<b>Right of Entry:</b> I authorize/ac purposes of investigation and Municipal Government Act.				
Applicant Signature	Willing	Lando	wner Signature	CindyWhikey
Date Oct 29	1,2020 1		Date	Oct29,2020

Χ.

-1

ROCKY VIEW COUNTY	FOR OFFICE USE ONLY
	APPLICATION NO.
ACCESSORY BUILDING(s)	ROLL NO.
INFORMATION SHEET	DISTRICT
DETAILS	USE TYPE
Building total floor area (footprint) 4223.5559 F	$(m^2/ft.^2)$ $\Box$ * Residential
Height of building	(m / ft.) Gricultural
Total area of all accessory buildings	□ Related to Home-Based Business (HBB),
(For Residential/Agricultural parcels)	$(m^2 / ft.^2)$ Type II (attach HBB Information Sheet) $\Box$ Other (specify):
BUILDING DESCRIPTION	BUILDING TYPE
Purpose/use of building (workshop, studio, storage etc.)	
STORAge for our equipment	
TDOLS, Feed & bittuis and	
Building material(s): Red metal Twood	Farm Building
services for the for t	Detached Garage
Exterior colour(s): Red	□ Horse Shelter/Stable
	□ Tent (covered)
P	Other (specify):
Age of building(s), if permits not issued/available:	
VARIANCE(s) REQUESTED (If applicable)	
Describe variances requested: <u>Add on</u>	to shop for storage
	44 × 56
	5-0,000
Describe reasons for variances (location, storage needs	s, etc.): <u>STORAGE TOR equipment</u> ,
feed for arenals and a	a partness are torour
goars in the winter m	ontras to add to an
UNITE Application must include a Site Plan identify	the side
NOTE: Application must include a Site Plan identify (including setbacks), floor plan(s), elevations, and re	
Accessory Buildings, Land Use Bylaw, C-8000-2020:	
	e similar to, and complement, the Principal Building in exterior material.
colour and appearance.	
** Where the Accessory Building is a Shipping Container it: a) Shall not be attached, in any way, to a principal building;	
<ul> <li>a) Shall not be stacked in any way, to a principal building;</li> <li>b) Shall not be stacked in any Non-Industrial District; and</li> </ul>	
c) Shall be visually screened from public roads and adjacent prop	perties in a manner which satisfies the Development Authority.
DAL DAL	$\cap al$

E-14

 DEVELOPMENT PERMIT APPLICATION CHECKLIST - GENERAL

 All plans shall be submitted as one (1) legible hard copy and in DIGITAL form (pdfs)

 Select [1] all that are included within application package. Incomplete applications may not be accepted for processing

9	<b>APPLICATION FORM(S</b>	AND CHECKLIST:	All parts	completed and signed.	
---	---------------------------	----------------	-----------	-----------------------	--

- APPLICATION FEE: Refer to Planning and Development Fee Schedule within the Master Rates Bylaw.
- CURRENT LAND TITLES CERTIFICATE COPY dated within 30 days of application, and:
  - Ø Digital copy of non-financial instruments/caveats registered on title
- LETTER OF AUTHORIZATION: Signed by the registered landowner(s) authorizing person acting on behalf (if not the Applicant). If registered owner on title is a company, authorization to be provided on a company letterhead or as an affidavit (signed by a Commissioner of Oaths).

#### COVER LETTER, shall include:

- O Proposed land use(s) and scope of work on the subject property
- O Detailed rationale for any variances requested
- O For businesses Complete operational details including days/hours of work, number of employees, parking provisions, types of vehicles, outdoor storage areas, site access/approach, traffic management, etc.
- Seference to any Supporting Documents, images, studies, plans etc. provided within application package

#### SITE PLAN, shall include:

- O Legal description and municipal address
- O North arrow
- O Property dimensions (all sides)
- Setbacks/dimensions from all sides of the property line(s) to existing/proposed buildings, structures (cantilevers, decks, and porches), outdoor storage areas etc.
- O Dimensions of all buildings/structures
- O Location and labels for existing/proposed approach(s)/access to property
- O Identify names of adjacent internal/municipal roads and highways
- Identify any existing/abandoned/proposed oil wells, septic fields/tanks, or water wells on site, including their distances to existing/proposed buildings
- O Identify any existing/proposed site features such as trees, shelterbelts, canals, waterbodies, etc.
- O Identify site slopes greater than 15% and distances from structures
- O Location and labels for easements and/or rights-of-way on title

## **FLOOR PLANS/ELEVATIONS, shall include:**

- O Overall dimensions on floor plans for all buildings/structures (for new construction, additions, renovations etc.)
- O Indicate floor area and existing/proposed uses on floor plans and height(s) on elevations
- O Indicate type of building/structure on floor plans and elevations

COLOUR PHOTOGRAPHS (Min. 3) - one hard and digital copy: Of existing site, building(s), structure(s), signage, site features, taken from all sides including surrounding context, and when existing floor plans/elevations are not available

SUPPORTING DOCUMENTS (as applicable): Include technical studies/reports and any additional plans relating to the proposed development (lot grading, site lighting, storm water management plans etc.). Refer to the Land Use Bylaw for use or district specific requirements.

FOR OFFICE USE ONLY
Proposed Use(s): accessory building W/Variances Land Use District: A-GEN
Applicable ASP/CS/IDP/MSDP:
Included within file: 🖾 Information Sheet 🔄 Parcel Summary 📮 Site Aerial 📮 Land Use Map Aerial 📮 Site Plan
NOTES: - Many accessory buildings on site
NOTES: - Many accessory buildings on site - Existing structure being expanded.
Staff Signature:

Oct 29, 2020

To whom it may concern:

Drake and Cindy Whitney who resides at 272011 Rge Road 275 of Rockyview AB (SE 18-27-27-W4) would like to apply for a building permit to add an addition on the north side of our existing shop. The storage shop would be 44' x 56' for use of storing equipment, tractor, sprayer, cultivator, tools, hay, oats and a birthing area for our goats thru the winter months.

Thank you,

Drake Whitney

Cindy Whitey

**Cindy Whitney** 



LAND TITLE CERTIFICATE

S			
LINC 0026 482 208	SHORT LEGAL 95119261		TITLE NUMBER 131 225 019
			131 225 019
LEGAL DESCRIPT	ION		
DESCRIPTIVE PL LOT 1	AN 9511926		
	EOUT ALL MINES AND MI TARES (6.03 ACRES) MO		
ATS REFERENCE: ESTATE: FEE SI			
MUNICIPALITY:	ROCKY VIEW COUNTY		
REFERENCE NUMB			
REGISTRATION	REGISTERED DATE (DMY) DOCUMENT	TYPE VALUE	
131 225 019	09/09/2013 TRANSFER	OF LAND \$540,000	\$540,000
OWNERS			
CINDY WHITNEY			
	ENCUMBRANCES,	LIENS & INTERESTS	
REGISTRATION			
	TE (D/M/Y) PAR	TICULARS	
751 054 405 (	04/06/1975 UTILITY RIG GRANTEE - 1	GHT OF WAY ROCKYVIEW GAS CO-OF	PLTD.
191 099 513 2		- THE BANK OF NOVA WEST, 2 FLOOR H1B6	SCOTIA.
	( CON	TINUED )	Page 398 of 535

#### ----- Page 13 of 36 ENCUMBRANCES, LIENS & INTERESTS

PAGE 2 # 131 225 019

#### REGISTRATION

NUMBER DATE (D/M/Y) PARTICULARS

\_\_\_\_\_

#### ORIGINAL PRINCIPAL AMOUNT: \$1,031,250

TOTAL INSTRUMENTS: 002

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN ACCURATE REPRODUCTION OF THE CERTIFICATE OF TITLE REPRESENTED HEREIN THIS 29 DAY OF OCTOBER, 2020 AT 03:32 P.M.

ORDER NUMBER: 40412106

CUSTOMER FILE NUMBER: PRDP20203471



\*END OF CERTIFICATE\*

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED FOR THE SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER, SUBJECT TO WHAT IS SET OUT IN THE PARAGRAPH BELOW.

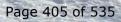
THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION, APPRAISAL OR OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS PART OF THE ORIGINAL PURCHASER APPLYING PROFESSIONAL, CONSULTING OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT(S).

-

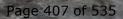
Transferration of the











Straight Flush Rentals 403-948-2391 • PORTABLE FENCING • WATER HAULING

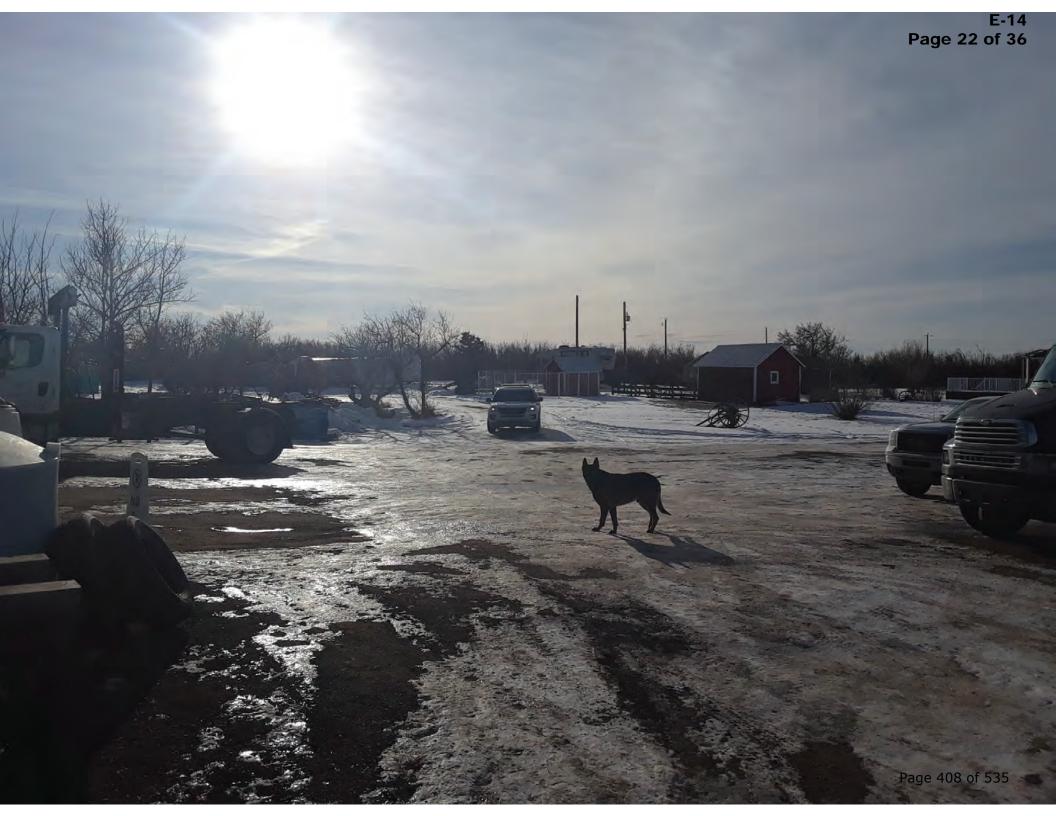
> PORTABLE TOLETS PORTABLE FENCING HASHROOM TRALE GA®BAGE BINS WATER HADLING SEPTIC PUMPING

6618 KG

STRAIGHT FLUSH-REITALS 403-948-2

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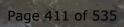
403.948.2391



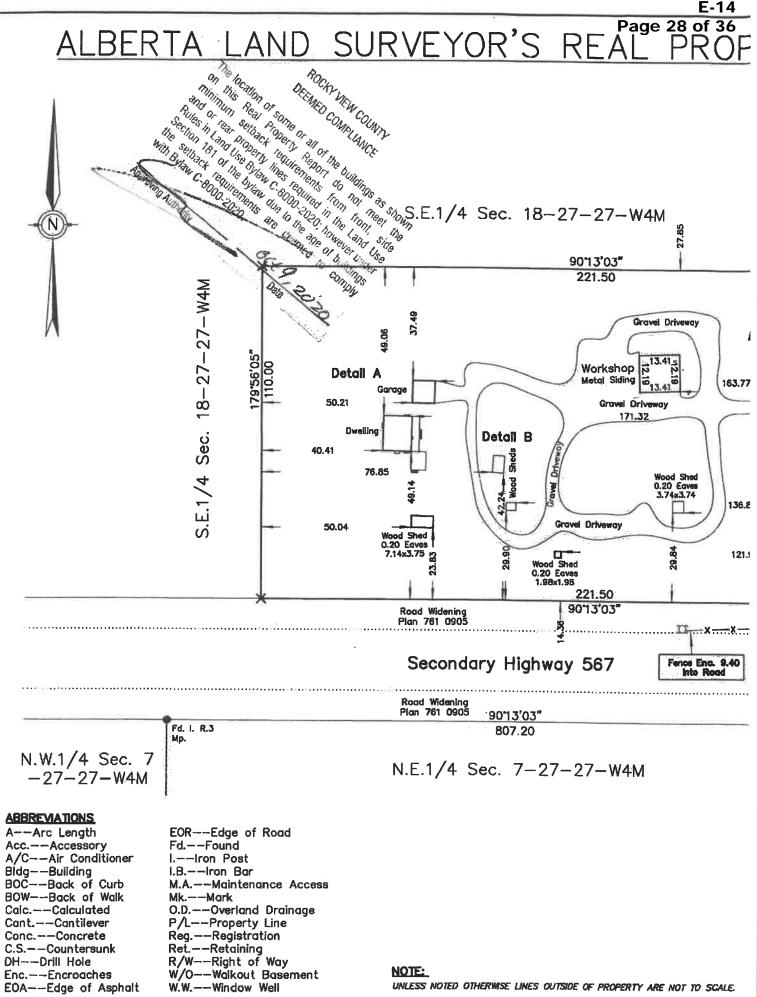




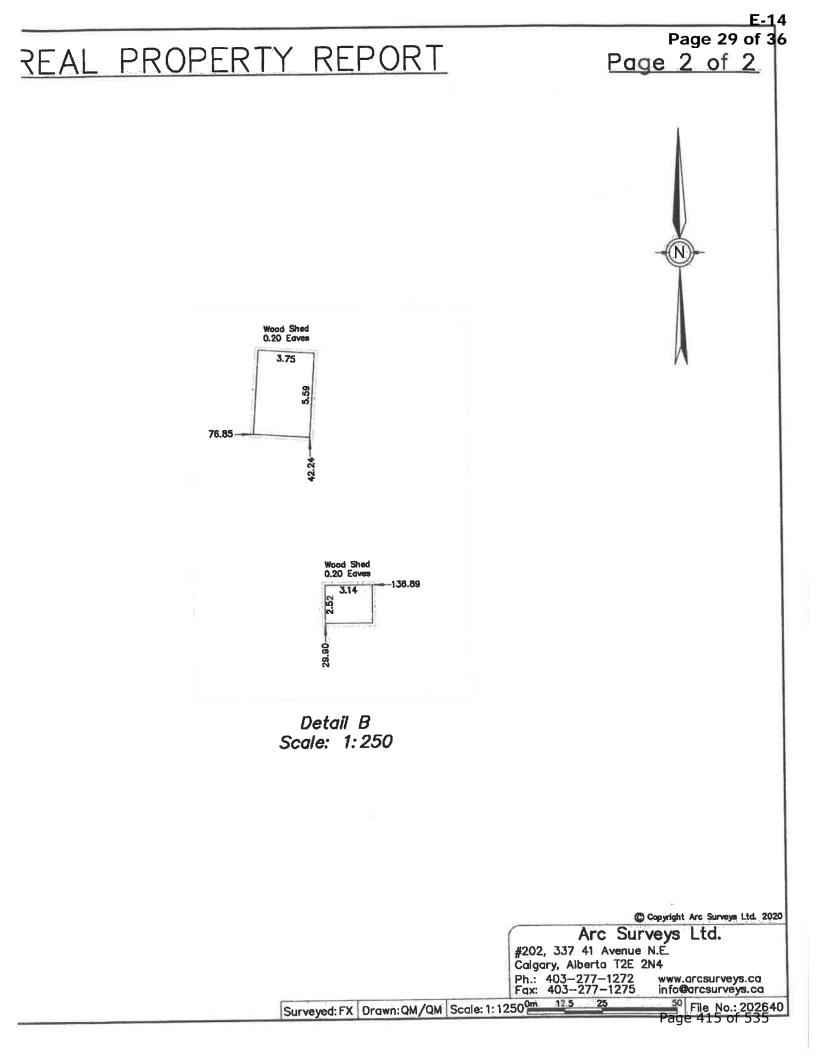
and an an and a stand of the

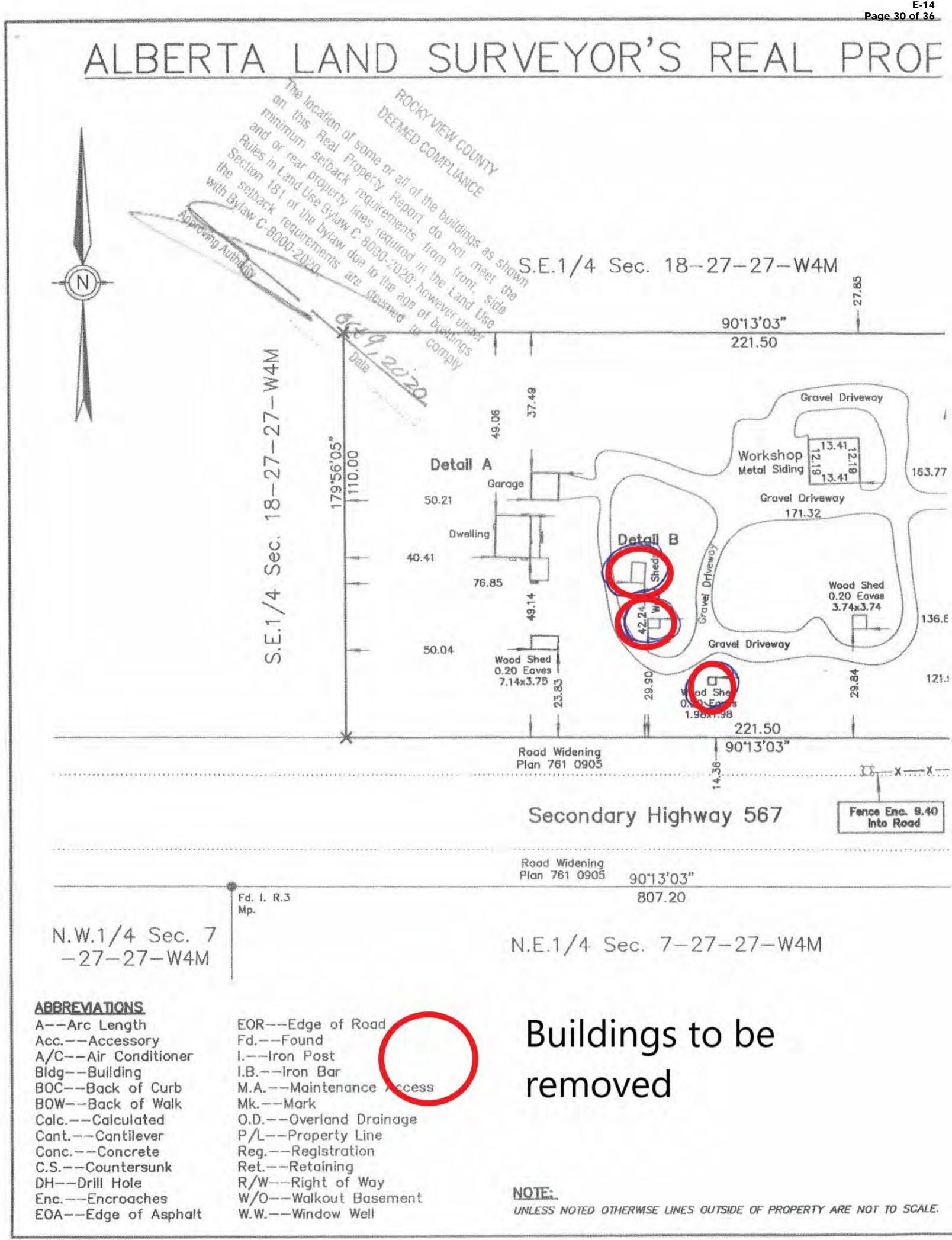


TOWN CHENTA

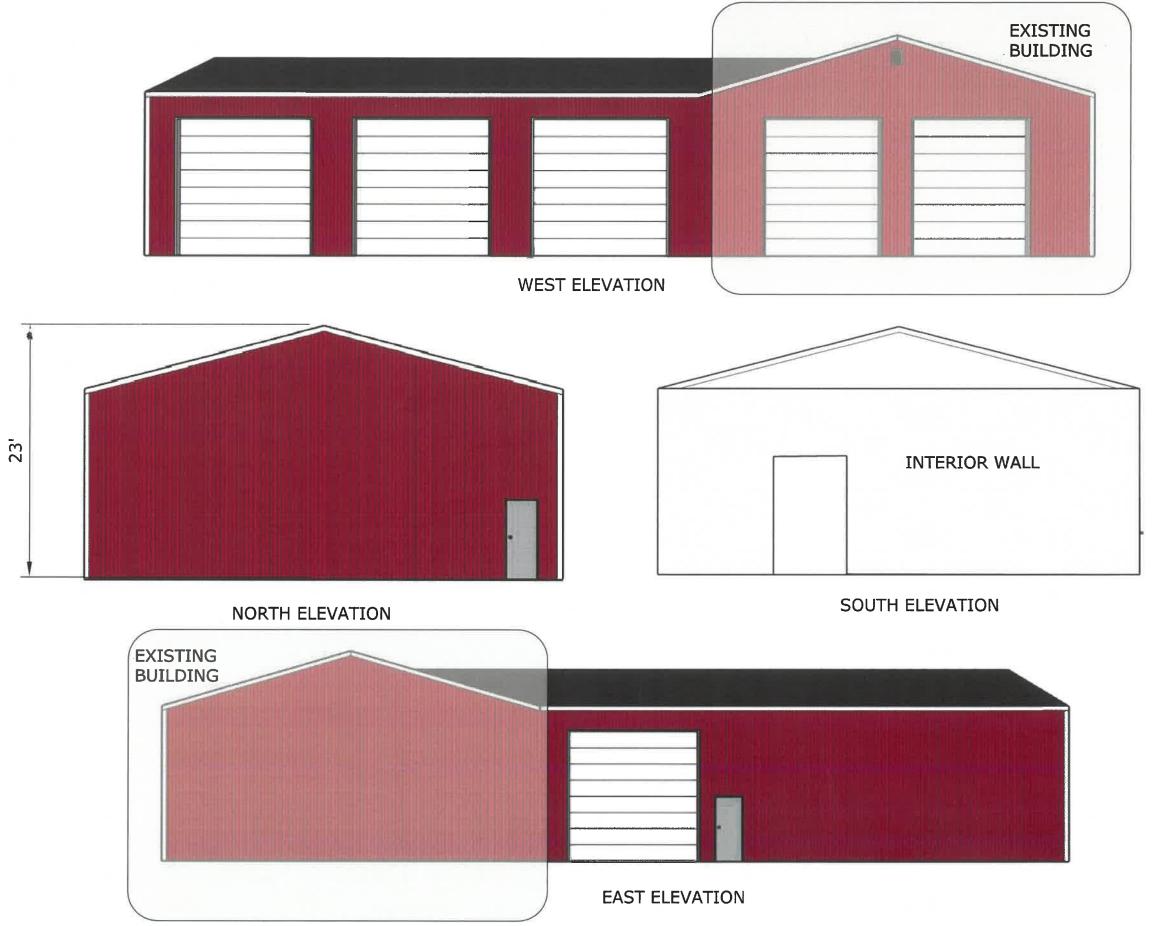


Page 414 of 535





BOTH EXISTING & PROPOSED BUILDINGS ARE OF POST FRAME CONSTRUCTION METAL SIDING WILL BE REPLACED ON EXISING GABLE ENDS TO ENSURE MATCHING COLORS

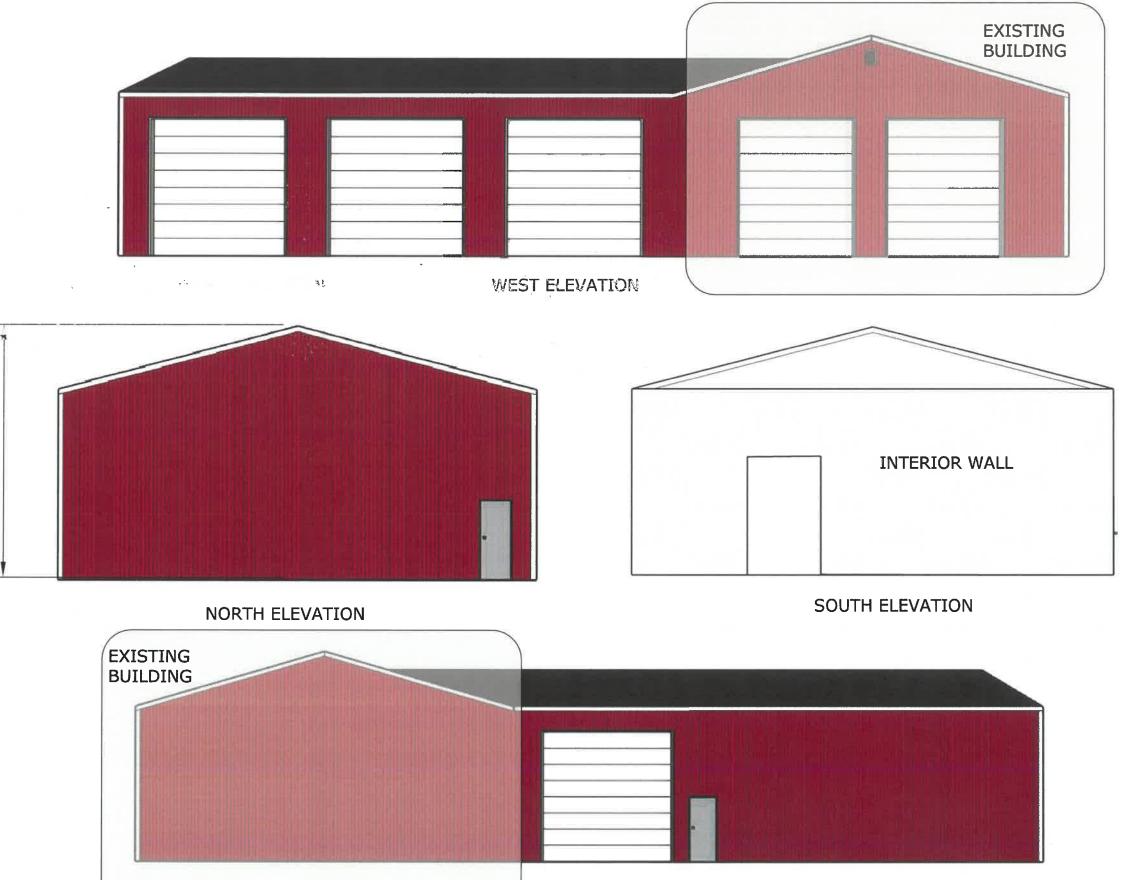


E-14 Page 31 of 36

Page 417 of 535

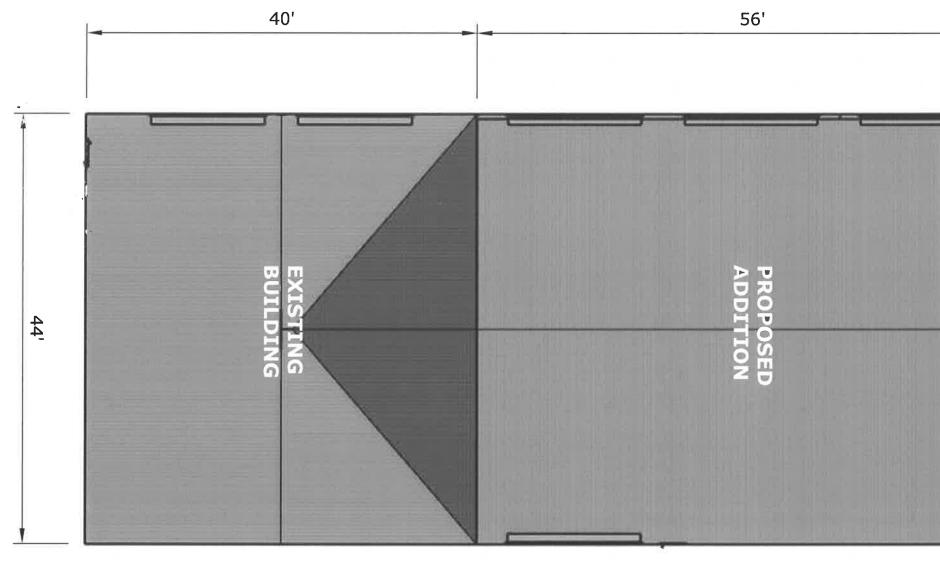
#### BOTH EXISTING & PROPOSED BUILDINGS ARE OF POST FRAME CONSTRUCTION METAL SIDING WILL BE REPLACED ON EXISING GABLE ENDS TO ENSURE MATCHING COLORS

23'



EAST ELEVATION

Page 418 of 535



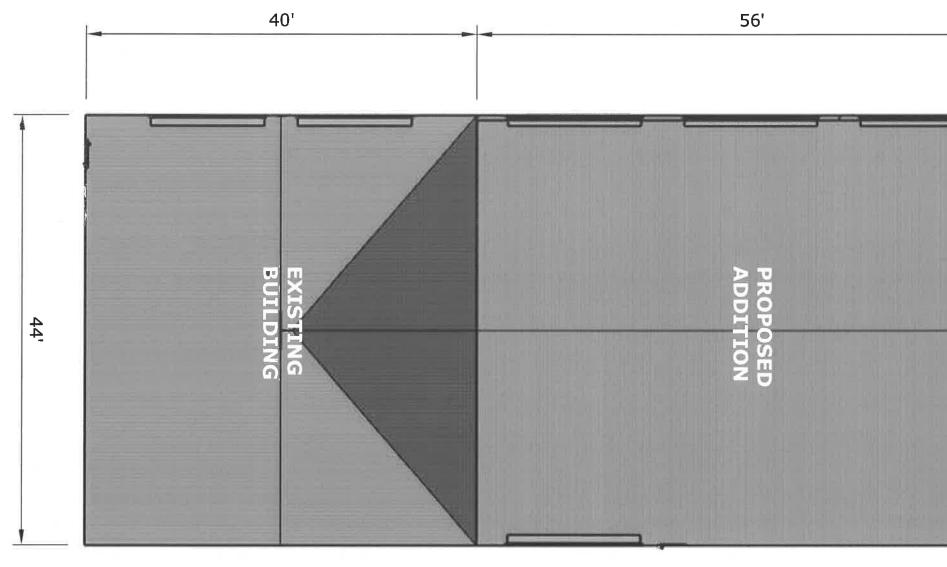
• NORTH

E-14 Page 33 of 36



# FLOORPLAN

Page 419 of 535



• NORTH

# FLOORPLAN

Page 420 of 535

E-14 Page 34 of 36

## **SITE PLAN**

Drake & Cindy Whitney Box 10026, Airdrie, AB T4A 0H4

403-371-9991

SE1/4 18 27 27 w of 4

272011 RR 275





E-14 Page 35 of 36

# Building Area: 2464 Sq.Ft Building Peak Height: 23'

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## **SITE PLAN**

Drake & Cindy Whitney Box 10026, Airdrie, AB T4A 0H4

403-371-9991

SE1/4 18 27 27 w of 4

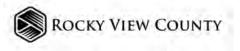
272011 RR 275





E-14 Page 36 of 36

## Building Area: 2464 Sq.Ft Building Peak Height: 23'



### PLANNING AND DEVELOPMENT SERVICES

TO: Municipal Planning Commission

DIVISION:

**SUBJECT:** Development Item: *Dwelling, single detached* 

**USE:** Discretionary use, with no Variances

**APPLICATION:** construction of an addition to an existing dwelling, single detached

**GENERAL LOCATION:** Located in the hamlet of Bragg Creek

LAND USE DESIGNATION: Residential, Urban District (R-URB) under Land Use Bylaw C-8000-2020.

#### ADMINISTRATION RECOMMENDATION:

Administration recommends Approval in accordance with Option #1.

#### **OPTIONS:**

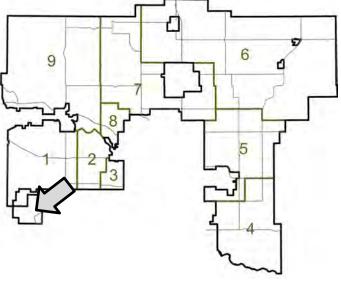
- Option #1: THAT Development Permit Application PRDP20203557 be approved with the conditions noted in the Development Permit Report, attached.
- Option #2: THAT Development Permit Application PRDP20203557 be refused as per the reasons noted.

#### AIR PHOTO & DEVELOPMENT CONTEXT:



Administration Resources Wayne Van Dijk, Planning and Development Services DATE: December 10, 2020

APPLICATION: PRDP20203557





### **DEVELOPMENT PERMIT REPORT**

Application Date: November 5, 2020	File: 03912147	
Application: PRDP20203557	Applicant: Greg Kennedy Owner: Ken & Francis Krawiec	
Legal Description: Lot 19, Block 2, Plan 820 LK, NE-12-23-05 W5M Municipal Address: 39 Burntall Drive	<b>General Location:</b> located in the hamlet of Bragg Creek	
Land Use Designation: Residential, Urban District (R-URB) under Land Use Bylaw C-8000- 2020.	Gross Area: ± 0.18 hectares (± 0.44 acres)	
File Manager: Wayne Van Dijk	Division: 1	

#### PROPOSAL:

The application is for the addition to an existing dwelling, single detached.

The application is for construction of an addition, approximately 139.35 sq. m (1,500.00 sq. ft.) in size to an existing, dwelling, single detached. The parcel is zoned Residential, Urban District (R-URB) and is located within the hamlet of Bragg Creek.

The addition meets all setback requirements and no variances are required. The required 1-100 flood elevation level currently in place by the province. Is 1,299.26 m above sea level.

#### Land Use Bylaw C-8000-2020

- 201 In a flood fringe area, mechanical and electrical equipment within a building shall be located at or above the designated flood level. The minimum ground floor elevation should be above the designated flood level when possible.
  - Applicant has confirmed all electrical components are located above the designated flood level.
- 202 If development is approved within the flood fringe area, the first floor of all buildings shall be located at or above the 1:100 year flood level plus 0.5 m (1.64 ft.) freeboard. The Development Authority may allow for variances on the freeboard requirement depending on the site specific conditions.
  - Drawings submitted with application show that the first floor is approximately 0.63 m (2.08 ft.) above the ground level.
- 203 When a Development Permit is made for any building on an existing lot which is or may be affected by a Floodway or Flood Fringe area, the Development Authority shall require the applicant to submit a geotechnical report or a flood plain/flood hazard mapping study or both, prepared by a qualified professional in accordance with County requirements. These studies shall confirm that there is minimum contiguous developable area suitable for the building and related land on the subject lot and specify any flood mitigation measures to reduce potential damage from a flood event.

Page 1 of 4



• Parcel is just within the Flood Fringe Area and therefore a geotechnical report will be a Prior to Issuance condition.

330	Minimum setbacks:
-----	-------------------

Setback	Permitted	Proposed	Variance
Front yard	6.00 m (49.21 ft.)	6.00 m (19.69 ft.)	0
Side yard 1	3.00 m (9.84 ft.)	3.00 m (9.84 ft.)	0
Side yard 2	3.00 m (9.84 ft.)	5.20 m (17.06 ft.)	0
Rear yard	8.00 m (26.25 ft.)	28.84 m (94.62 ft.)	0

#### STATUTORY PLANS:

The subject parcel falls within the Greater Bragg Creek Area Structure Plan. That plan does not provide guidance for this type of application but supports residential living within the hamlet, therefore this application was assessed under the Land Use Bylaw C-8000-2020.

#### **INSPECTOR'S COMMENTS:**

• No inspection completed at time of report writing

#### **CIRCULATIONS:**

#### **Development Compliance**

• No comments or concerns with the attached application.

#### Planning and Development Services - Engineering Review (November 30, 2020)

#### General

• The review of this file is based upon the application submitted. Should the submission material be altered or revised at subsequent development stages these conditions/recommendations may be subject to change to ensure best practices and procedure.

#### **Geotechnical:**

• Engineering has no requirements at this time.

#### Transportation:

- Engineering has no requirements at this time.
- There is an existing road approach off of Burntall Drive providing access to the subject land.
- The subject land is located adjacent to Highway 22. The applicant/owner obtained a roadside development permit from Alberta Transportation for the proposed development.
- The applicant/owner will not be required to pay the transportation offsite levy, as per the applicable TOL bylaw at time of DP issuance, as the development is directly related with the construction of a dwelling.

Sanitary/Waste Water: Engineering has no requirements at this time.



#### Water Supply And Waterworks:

• Engineering has no requirements at this time.

#### Storm Water Management:

• <u>Prior to issuance</u>, the applicant/owner will be required to submit a Storm Water Memo conducted and stamped by a professional engineer that demonstrates that the proposed development will not have any negative impacts to drainage conditions and is in accordance with the Bragg Creek Master Drainage Plan and the County Servicing Standards.

#### **Environmental:**

- <u>Prior to issuance</u>, the applicant/owner will be required to provide a geotechnical report prepared and stamped by a qualified professional in accordance with the County Servicing Standards that shall specify any flood mitigation measures to reduce potential damage from a flood event, as per section 203 of the Land Use Bylaw.
- No other comments received at time of report writing

#### **OPTIONS:**

Option #1: (this would allow the development to proceed)

APPROVAL subject to the following conditions:

#### **Description:**

1. That construction of an addition to an existing dwelling, single detached may commence in accordance with the approved Site Plan and Building Drawings submitted with the application.

#### Prior to Issuance:

- 2. That prior to issuance of this permit, the Applicant/Owner shall submit a Storm Water Memo, prepared by a qualified professional and shall demonstrate that the proposed development will not have any negative impacts to drainage and is in accordance with the Bragg Creek Master Drainage Plan and the County Servicing Standards.
- 3. That prior to issuance of this permit, the Applicant/Owner shall submit a Geotechnical Report, prepared by a qualified professional, and shall confirm that there is a minimum contiguous developable area suitable for the building, on the subject parcel, and specify any flood mitigation measures, in accordance with County Servicing Standards.

#### Permanent:

- 4. That any plan, technical submission, agreement, matter, or understanding submitted and approved as part of the application or in response to a Prior to Issuance condition shall be implemented and adhered to in perpetuity.
- 5. That any flood proofing measures shall be followed in accordance with the Alberta Building Code, good engineering practice and recommendations stated in the Greater Bragg Creek Area Structure Plan.
- 6. That the Applicant/Owner shall ensure that all habitable floor levels are flood-proofed at or above the 1 in 100 flood elevation level. Any construction below this flood level will require engineered flood proofing measures before acceptance by the County.

Note: The required flood elevation level is 1,299.26 m (as per Alberta Environment & Parks).

Rocky View County

- That there shall be no more than 1.00 m (3.28 ft.) of fill/topsoil placed adjacent to or within 15.00 m (49.21 ft.) of the proposed dwelling unit under construction that is used to establish approved final grades unless a Development Permit has been issued for additional fill and topsoil.
- 8. That it is the Applicant/Owner's responsibility to obtain and display a distinct municipal address, in accordance with the County Municipal Addressing Bylaw (Bylaw C-7562-2016), for the dwelling unit located on the subject site to facilitate accurate emergency response.
- 9. That Applicant/Owner shall connect the proposed development to the Bragg Creek water distribution and sewer system, if not connected and required.
  - i. That water and wastewater volumes used by the development shall be within the amounts allocated to the subject lands, and all overages shall be billed in accordance with the Master Rates Bylaw and the Water & Wastewater Utilities Bylaw (C-7662-2017).
  - ii. That the Applicant/Owner shall contact County Utility Operations for the installation or relocation of any required water meter. The installation or relocation of the water meter by County Utility Operations shall be at the Applicant/Owner's expense.

#### Advisory:

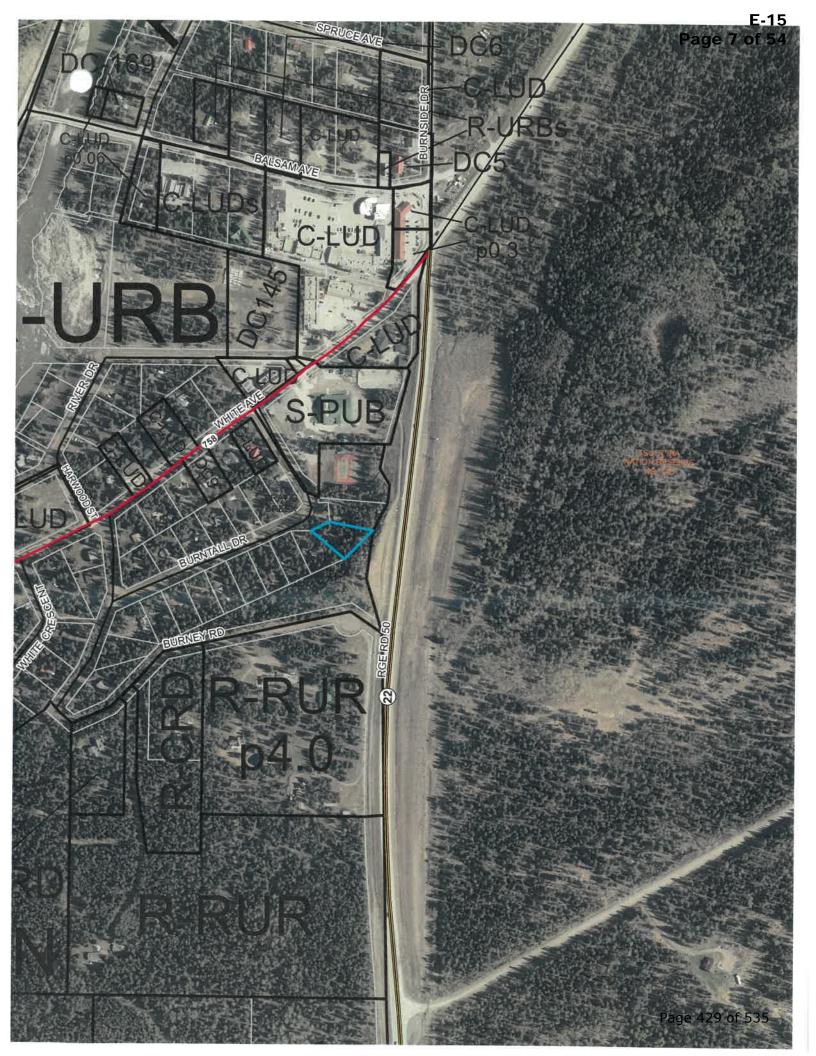
- 10. That during construction, the County's Noise Bylaw, C-5772-2003, shall be adhered to at all times.
- 11. That during construction, all construction and building materials shall be maintained onsite in a neat and orderly manner. Any debris or garbage shall be stored/placed in garbage bins and disposed of at an approved disposal facility.
- 12. That a Building Permit shall be obtained, through Building Services prior to any construction taking place, using the Addition checklist.
- 13. That if the development authorized by the Development Permit is not commenced, with reasonable diligence, within twelve (12) months from the date of the date of issue and completed within twenty-four (24) months of the date of issue, the Development Permit shall be deemed null and void.
- 14. That if this Development Permit is not issued by **JUNE 30, 2021** or the approved extension date, then this approval is null and void and the Development Permit shall not be issued.

Option #2: (this would not allow the development to proceed)

REFUSAL as per the following reasons:

1. That in the opinion of the Development Authority, the development unduly interferes with the amenities of the neighbourhood and materially interferes with and affects the use, enjoyment, and value of neighbouring parcels of land.







## **DEVELOPMENT PERMIT** APPLICATION

FOR OFFICE USE ONLY				
APPLICATION NO.	20203557			
ROLL NO.	03912147			
RENEWAL OF	-			
FEES PAID	\$315.00			
DATE OF RECEIPT	NOV 5/2020			

262075 Rocky View Point, Rocky View County, AB, T4A 0X2

Development Permit Application - Updated August 2020

ROCKY VIEW COUNTY

E-15 Page 9 of 54 Janify if hand copyind

DEVELOPMENT PERMIT APPLICATION CHECKLIST - GENERAL				
All plans shall be submitted as one (1) legible hard copy and in DIGITAL form (pdfs) Select [v] all that are included within application package. Incomplete applications may not be accepted for processing				
APPLICATION FORM(S) AND CHECKLIST: All parts completed and sig				
APPLICATION FEE: Refer to Planning and Development Fee Schedule				
CURRENT LAND TITLES CERTIFICATE COPY - dated within 30 days	of application, and:			
O Digital copy of <u>non-financial</u> instruments/caveats registered on title				
LETTER OF AUTHORIZATION: Signed by the registered landowner(s) a Applicant). If registered owner on title is a company, authorization to be p affidavit (signed by a Commissioner of Oaths).	authorizing person acting on behalf (if not the provided on a company letterhead <u>or</u> as an			
COVER LETTER, shall include:				
O Proposed land use(s) and scope of work on the subject property				
NIA Detailed rationale for any variances requested				
N/Q For businesses - Complete operational details including days/hours of work, number of employees, parking provisions, types of vehicles, outdoor storage areas, site access/approach, traffic management, etc.				
Reference to any Supporting Documents, images, studies, plans etc.	c. provided within application package			
SITE PLAN, shall include: Drawings Package Q Legal description and municipal address				
North arrow     Proportly dimensions (all sides)				
Broperty dimensions (all sides)     Setbacks/dimensions from all sides of the prepetty line/(a) to evicitie				
Setbacks/dimensions from all sides of the property line(s) to existing decks, and porches), outdoor storage areas etc.	g/proposed buildings, structures (cantilevers,			
Dimensions of all buildings/structures				
Location and labels for existing/proposed approach(s)/access to pro	perty Driveway stays same			
Identify names of adjacent internal/municipal roads and highways				
MA Identify any existing/abandoned/proposed oil wells, septic fields/tanks, or water wells on site, including their distances to existing/proposed buildings Septic will be removed; connecting to server				
Identify any existing/proposed site features such as trees, shelter belts, canals, waterbodies, etc. 322 photos				
ALocation and labels for easements and/or rights-of-way on title				
FLOOR PLANS/ELEVATIONS, shall include: Pkg Drawing     Overall dimensions on floor plans for all buildings/structures (for pairs)				
<ul> <li>Overall dimensions on floor plans for all buildings/structures (for new construction, additions, renovations etc.)</li> <li>Indicate floor area and existing/proposed uses on floor plans and height(s) on elevations</li> </ul>				
<ul> <li>Indicate type of building/structure on floor plans and elevations</li> </ul>	igin(s) on elevations			
features, taken from all sides including surrounding context, and when existing floor plans/elevations are not available				
SUPPORTING DOCUMENTS (as applicable): Include technical studies/reports and any additional plans relating to the proposed development (lot grading, site lighting, storm water management plans etc.). Refer to the Land Use Bylaw for use or district specific requirements. Ministry of Transport Approval.				
FOR OFFICE USE ONLY				
Proposed Use(s): PISCICHOMITY	Land Use District: R-URB			
Applicable ASP/CS/IDP/MSDP: 6ragg Creek				
Included within file: PInformation Sheet PParcel Summary PSite Aerial PLand Use Map Aerial PSite Plan				
NOTES:				
	2			
Staff Sig	inature:			
2075 Rocky View Point Rocky View County AB TAA 022				

it, Rocky View County, AB, T4A 0X2

Development Permit Application - Updated August 2020

E-15 Page 10 of 54

October 22, 2020 Rockyview County 262075 Rocky View Point Rocky View County, AB T4A 0X2 To whom it may concern:

**RE: Development Permit Application Cover Letter** 

This letter is to address the 5<sup>th</sup> item on the Development Permit Application Checklist.

- There is no proposed land use change. It will continue to be for a single residence with an attached garage. The existing home will have an addition built onto it, and a garage built that is connected to the newer, larger house structure.
- We do not believe any variances are required or requested. This application is to conform with the new Bragg Creek guidelines for additions to existing homes.
- Construction work is expected to begin no earlier than 8 am, and to complete by 6 pm most evenings. Most work will be done on weekdays, with occasional carryover to a Saturday morning if a key component needs to be finished by a deadline. At this time, there is no benefit or foreseen reason to extend any working hours. There are 2 employees, and a number of subcontractors/tradespeople involved in the project.
- The jobsite is entirely on private residential land. It is expected that vehicles will be parking on the property, rather than the road. This home will be tying into the new Bragg Creek community sewer system—the only construction expected to impact the roadway is during this transition. One storage trailer will remain on site, parked off the road on the private property.
- This application will all be uploaded as one file. The Architect drawings will be a separate file, for easier sharing. And the photos will be attached in a separate email or 2, due to the size of the photo files.

The application form clearly states that you require both hard and digital files. Please advise if you need us to drop off hard copies, and any COVID safety requirements you may have.

Please advise regarding the application fee, and preferred method of payment.

Sincerely,

Greg & Debbie Kennedy

Mountain's Edge Renovations Inc.

403-461-2710 OR 403-949-7727

September 20, 2020

Rocky View County 262075 Rocky View Point Rocky View County, AB, T4A 0X2

Attention: Planning and Development Department

#### Subject: Letter of Authorization, 39 Burntall Drive, Bragg Creek, AB TOL OKO

To whom it may concern:

This letter authorizes Greg and Debbie Kennedy (or their agents) of Mountain's Edge Renovations Inc. of Redwood Meadows, AB to discuss our property with Rockyview County.

Please contact us if you have any questions or concerns,

Frances and Ken Krawiec

Frances Krawiec





Ken Krawiec





LAND TITLE CERTIFICATE

•					
S					
LINC	SHORT LE	GAL			TITLE NUMBER
0020 684 156	820LK;2;1	9			191 204 803
LEGAL DESCRIP					
PLAN 820LK	PILON				
BLOCK 2					
LOT 19					
EXCEPTING THE	REOUT ALL MI	NES AND M	INERALS		
ESTATE: FEE S					
ATS REFERENCE	1: 5;5;23;12;	NE			
MUNICIPALITY:	ROCKY VIEW	COUNTY			
REFERENCE NUM	BER: 171 042	533			
		JJJ			
	R	EGISTERED	OWNER (S)		
REGISTRATION	DATE (DMY)	DOCUMENT	TYPE	VALUE	CONSIDERATION
191 204 803	07/10/2019	TRANSFER	OF LAND	\$300,000	\$300,000
					·
OWNERS					
KEN KRAWIEC					
AND					
FRANCES KRAWI	EC				
***************************************					
	ENC	UMBRANCES	, LIENS &	INTERESTS	
DUCTORDUSTO					
REGISTRATION					
	DATE (D/M/Y)	PAF	CTICULARS		
1025LL	21/04/1972 0	AVEAT			
			- TERRENCI	E ROBERT MCCLOY	
TOTAL INSTRUME	ENTS: 001				
		( COI	NTINUED )		

PAGE 2 # 191 204 803

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN ACCURATE REPRODUCTION OF THE CERTIFICATE OF TITLE REPRESENTED HEREIN THIS 21 DAY OF OCTOBER, 2020 AT 04:21 P.M.

ORDER NUMBER: 40362396

CUSTOMER FILE NUMBER:



\*END OF CERTIFICATE\*

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED FOR THE SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER, SUBJECT TO WHAT IS SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION, APPRAISAL OR OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS PART OF THE ORIGINAL PURCHASER APPLYING PROFESSIONAL, CONSULTING OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT(S).



















Alberta

Delivery Services, Transportation Southern Region, Calgary District 803 Manning Road Ne Calgary, Alberta T2E 7M8

Permit No.: RSDP031884 File Number: NE-12-23-5-W5M(16)

August 21, 2020

Greg Kennedy

Attention Greg Kennedy

### Subject: Approval for the Items identified below within Rocky View County ("Municipality")

Regarding application for the following:

1500 square foot addition to existing structure.

Permit / File Number	Description	Location Highway 22 NE-12-23-5-5	
RSDP031884-1 Development	1500 square foot addition to existing structure.		
		Lot 19 Block 2 Plan 820LK	

Alberta Transportation Permit No. **RSDP031884** is issued to Greg Kennedy (Permittee) under the Highways Development and Protection Regulation authorizing the above noted development(s). Issuance of this permit does not excuse violation of any regulation, bylaw or act which may affect the proposed project. This permit is subject to the conditions shown and should be carefully reviewed.

- This permit is subject to the provisions of Section 11-19 inclusive of the Highways Development and Protection Act (Chapter H-8.5 2004), amendments thereto, and Highways Development and Protection Regulation (Alberta Regulation 326/2009) and amendments thereto,
- 2. The Department accepts no responsibility for the noise impact of highway traffic upon any development or occupants thereof,
- 3. This permit is issued subject to the approval of the Municipality,

Permission is hereby granted to Greg Kennedy to carry out the development in accordance with the plan(s) and specifications attached hereto and subject to the conditions shown above.

If the development has not been carried out by August 21, 2022 this permit expires and the Permittee must reapply for a new permit if they wish to proceed.

**Classification: Protected A** 

Raysiofa

If you have any questions about the permit or any of the conditions, please contact the undersigned Development and Planning Technologist.

Signed:

Digitally signed by Trevor.Richelhof Date: 2020.08.21 12:11:19 -06'00'

Trevor Richelhof Dev and Planning Technologist Trevor.Richelhof@gov.ab.ca

cc:

Ken and Frances Krawiec

Classification: Protected A

Page Zel 2

#### Government **ROADSIDE DEVELOPMENT APPLICATION FOR** of Alberta 🔳 DEVELOPMENT NEAR A PROVINCIAL HIGHWAY Transportation

		(print please)	THOIL AND THE AT
Applicant's Name	Greg Kennedy		Alberta Transportation Permit #
	F GX #		
Landowner's Name	Ken and Frances Kraw	iec	
APPLICATION IS HE	REBY MADE TO: (Please	provide a departe	

sed above and below ground installations. Attach a detailed report if necessary.) a description of the proposed development including all 1500 sf addition to existing structure. Property although adjacent to Highway 22- is on a downslope of approx 60-80 feet

Also attach a plan showing in detail the location of all existing and proposed development and access. (NE, NW, SE, SW) 1/4 Section

19 Lot Highway No.	2 Block	820LK Plan Number kilometres	Range .44 acres Parcel s	West of Meridian size (acres or hectares)
Distance of the Rockyview Co Name of Munic	proposed developm punty ipality	(north sent to the highway right-of-wa residential Existing / Proposed Land Us	350,00	
employees and agen or omitted to be done designated by Alberta The issuance of a pa	is from any and all claims, of in the construction, mainten Transportation to enter upo	ucted, altered, maintained or operate been issued by Alberta Transportatio to this application, the Applicant shall in temands, actions and costs whatsoever nance, alteration or operation of the wor on land for the purpose of inspection duri on does not relieve the holder of the res ation of any regulation, bylaw or act whick	ad at the sole expent n. Indemnify and hold h that may arise, direct ks authorized. The A ing the processing of	amless Alberta Transportation, its illy or indirectly from anything done oplicant also consents to a person
l(print full n	har-1	certify that O I am the registered		
I Greg Kenned (print full na and that the informatic application for roadside	ame) hereby	certify that i am authorized to the owner's be and complete and is, to the best of my		Signature Signature
	and a special fit.		(Date) 20	statement of facts relating to this 020 08 11

#### Government of Alberta Transportation

## ROADSIDE DEVELOPMENT APPLICATION FOR DEVELOPMENT NEAR A PROVINCIAL HIGHWAY

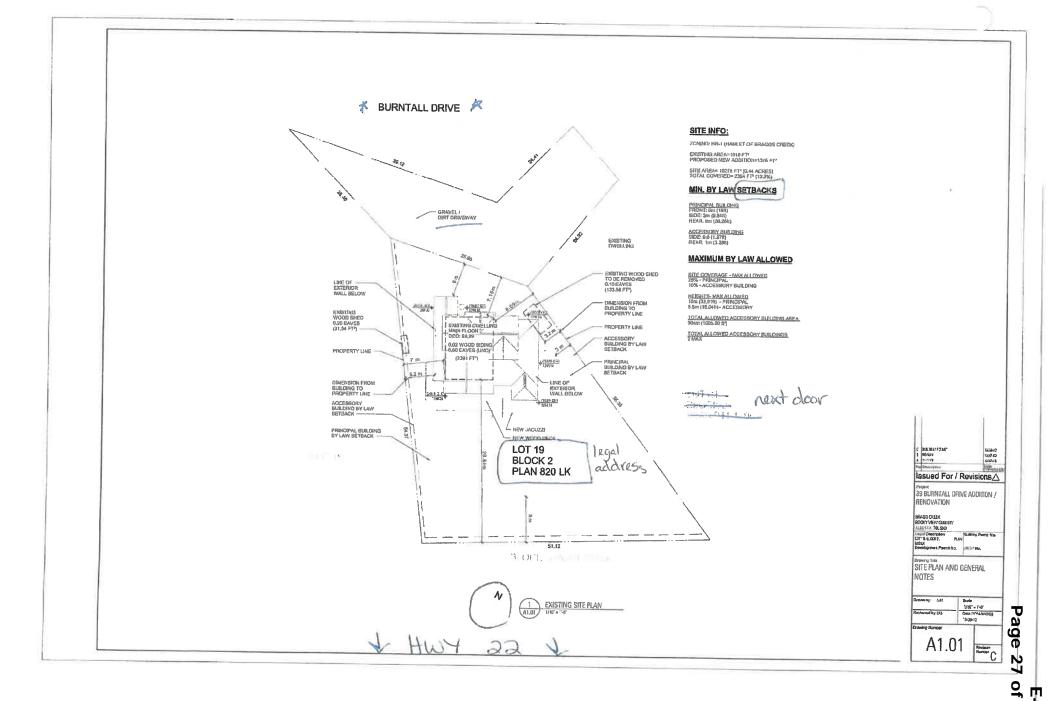
Alberta Transportation Permit # \_

Note: distances may be shown in metres or feet

SITE PLAN

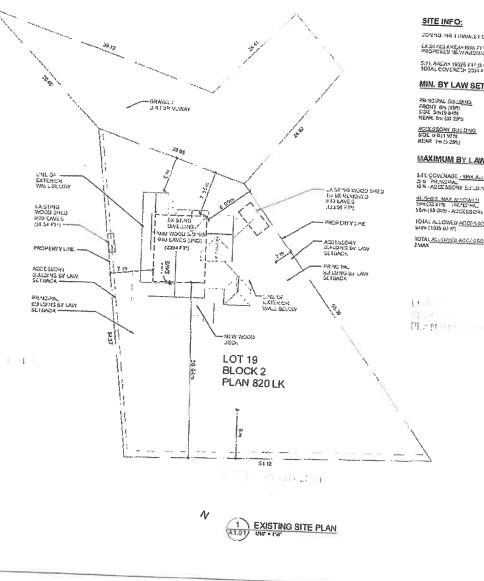
Signature of Registered Owner or Authorized Agent

### SITE PLAN



Page 449 of 535

#### BURNTALL DRIVE



20MING MALTHAMLET OF BRASIGS ORCE 4)

ékéting area inis fi Proposed nevrajohon-1.03 fi\*

571 AREA1 19375 FIP (1 44 ACRES) 101AL COVERED- 2031 FIP (1253)

#### MIN. BY LAW SETBACKS

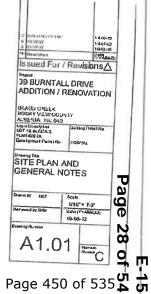
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# 39 BURNTALL DRIVE ADDITION / RENOVATION



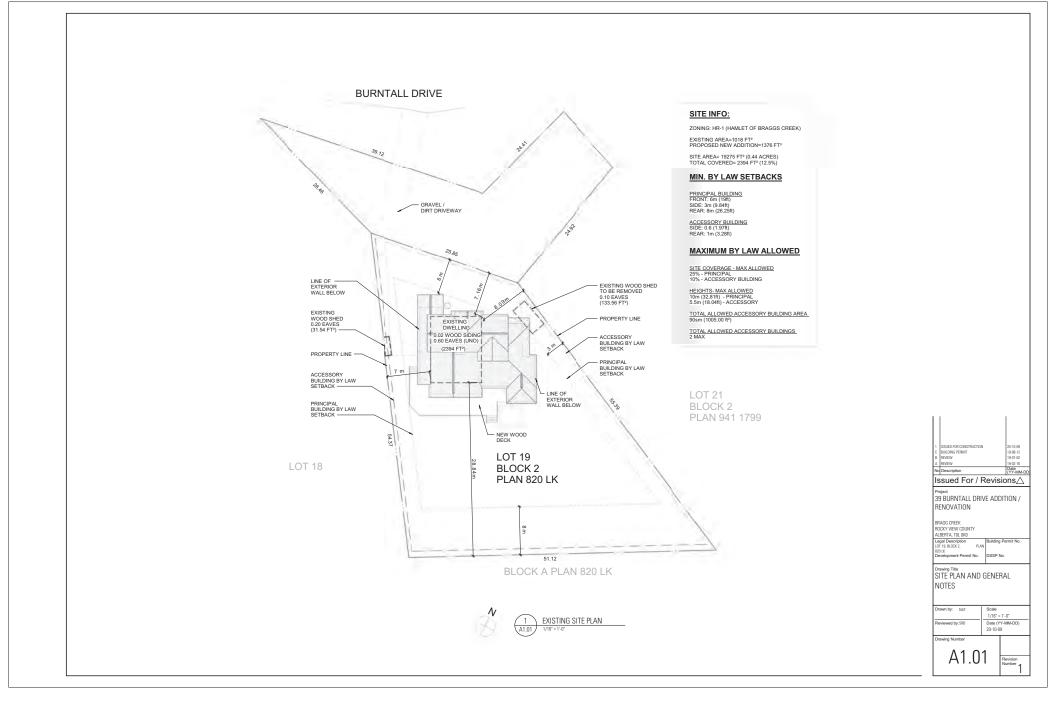
	DRAWING LIST
Sheet Number	Sheet Name
A0.00	COVER
AU.00 A1.01	SITE PLAN AND GENERAL NOTES
A1.01 A2.01	WALL, FLOOR AND ROOF ASSEMBLIES, RSI CALCULATIONS
A2.01 A2.02	EXISTING / DEMO MAIN FLOOR & UPPER LOFT PLANS
A2.02 A2.03	EXISTING / DEWO MAIN FLOOR & OFFER LOFT FLANS
A2.03	NEW PROPOSED FLOOR PLAN
A2.05	NEW PROPOSED LOET
A2.05 A2.06	ROOF PLAN
A2.00 A3.01	EXTERIOR ELEVATIONS
A3.02	EXTERIOR ELEVATIONS
A3.02	WINDOW SCHEDULE
A3.04	WINDOW SCHEDULE
A3.05	3D VIEWS
A4 01	BUILDING SECTIONS
A4 02	BUILDING SECTIONS
A4 03	BUILDING SECTIONS
A5.01	ENLARGED SECTION DETAILS
A5.02	ENLARGED SECTION DETAILS
A5.03	ENLARGED SECTION DETAILS
A5.04	ENLARGED SECTION DETAILS
A5.05	ENLARGED SECTION DETAILS
A5.06	ENLARGED SECTION DETAILS
A5.07	ENLARGED PLAN DETAILS
A5.10	TYPICAL INSULATION & VAPOUR BARRIER DETAILS
A5.11	WINDOW INSTALLATION DETAILS
E2.01	NEW MAIN FLOOR ELECTRICAL PLANS
E2.02	NEW LOFT FLOOR ELECTRICAL PLANS
S1.0	SCHEDULES
S2.0	SCHEDULES
S2.1	FOUNDATION PLAN
S2.2	MAIN FLOOR FRAMING PLAN
S2.3	SECOND FLOOR FRAMING PLAN
S2.4	ROOF FRAMING PLAN
S3.1	DETAILS

**ISSUED FOR:** ISSUED FOR CONSTRUCTION

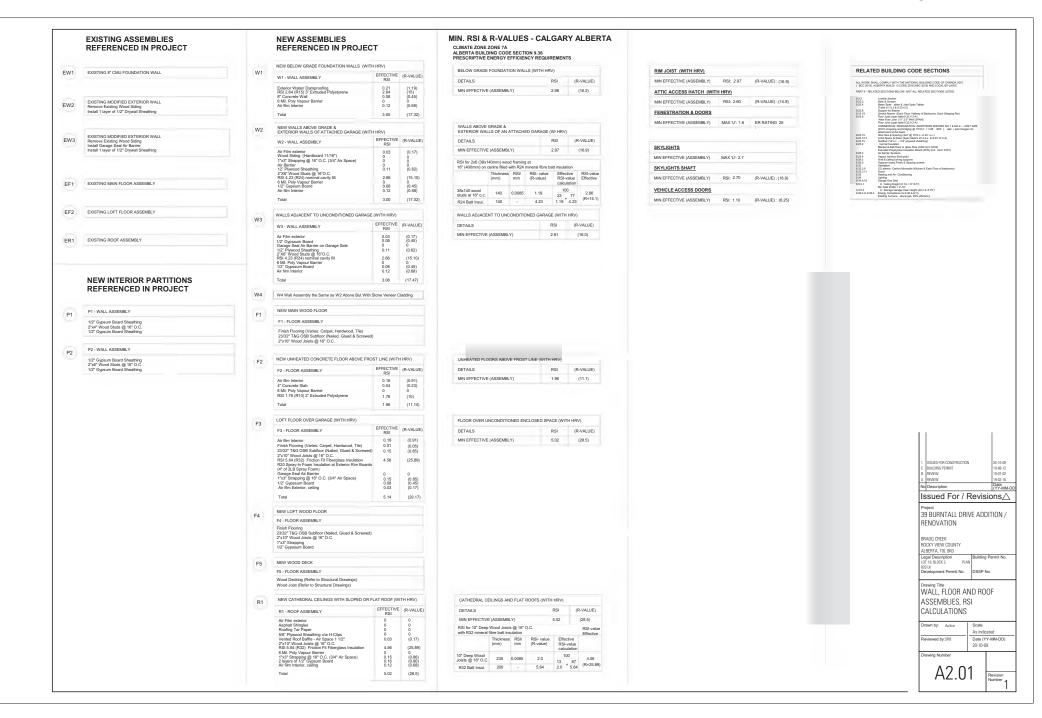
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Bage Twee BURN TALL DRIVE ADDITION / RENOVATION BRAGE CREEK ROCKY VIEW COUNTY ALBERTA, TOL OKO

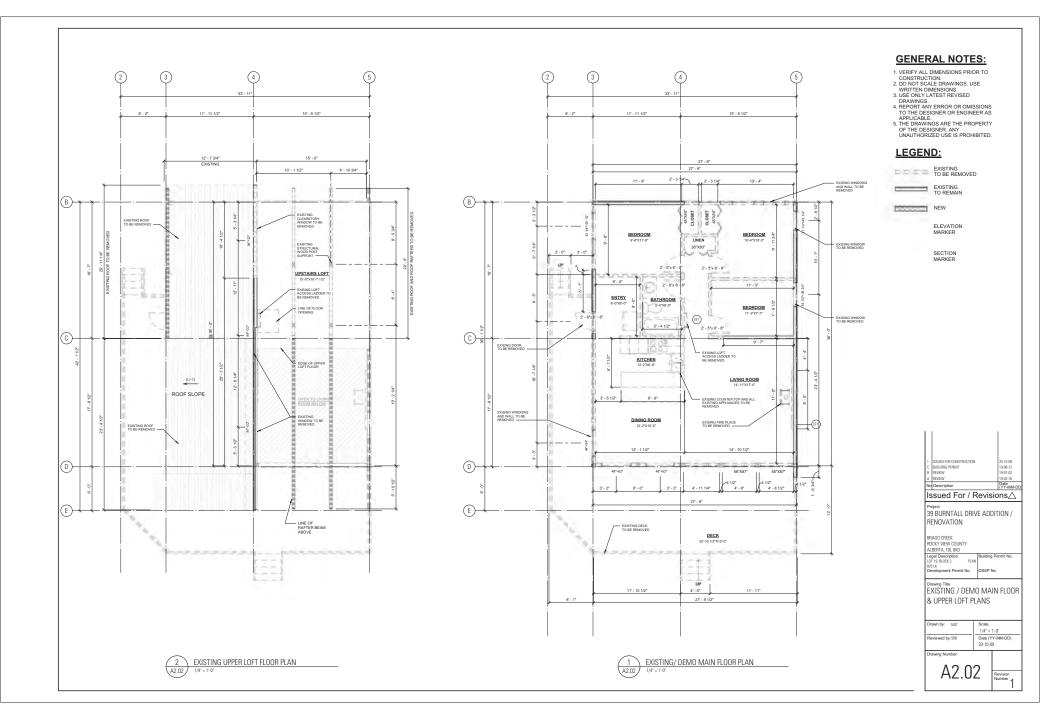
DEVELOPMENT PERMIT: BUILDING PERMIT: PROJECT NUMBER:

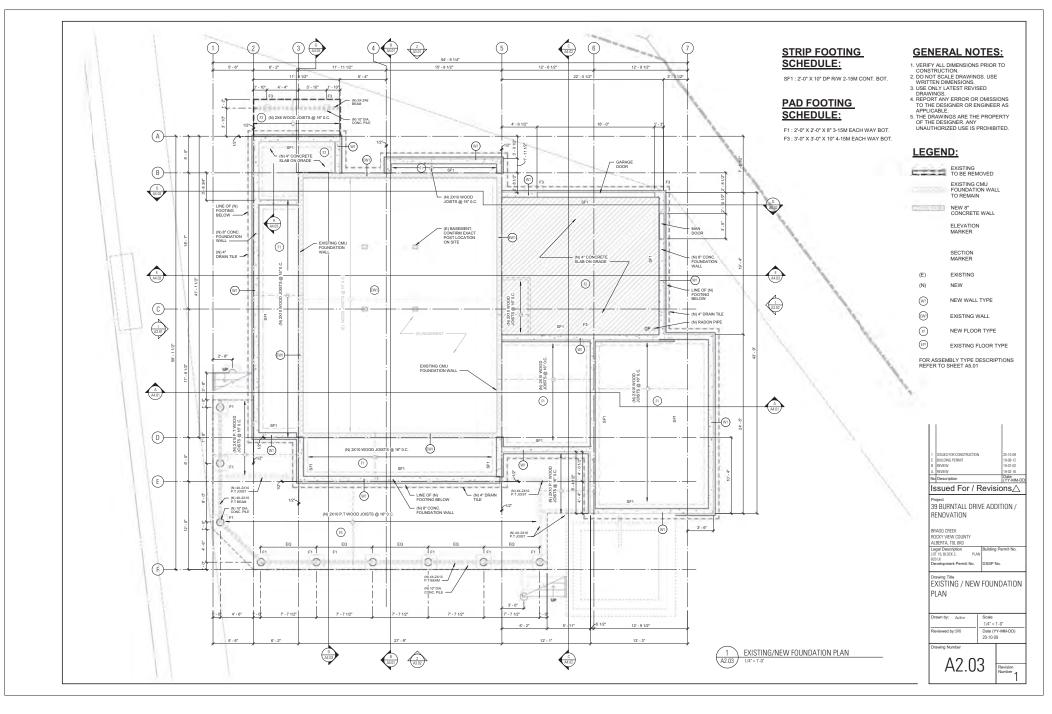


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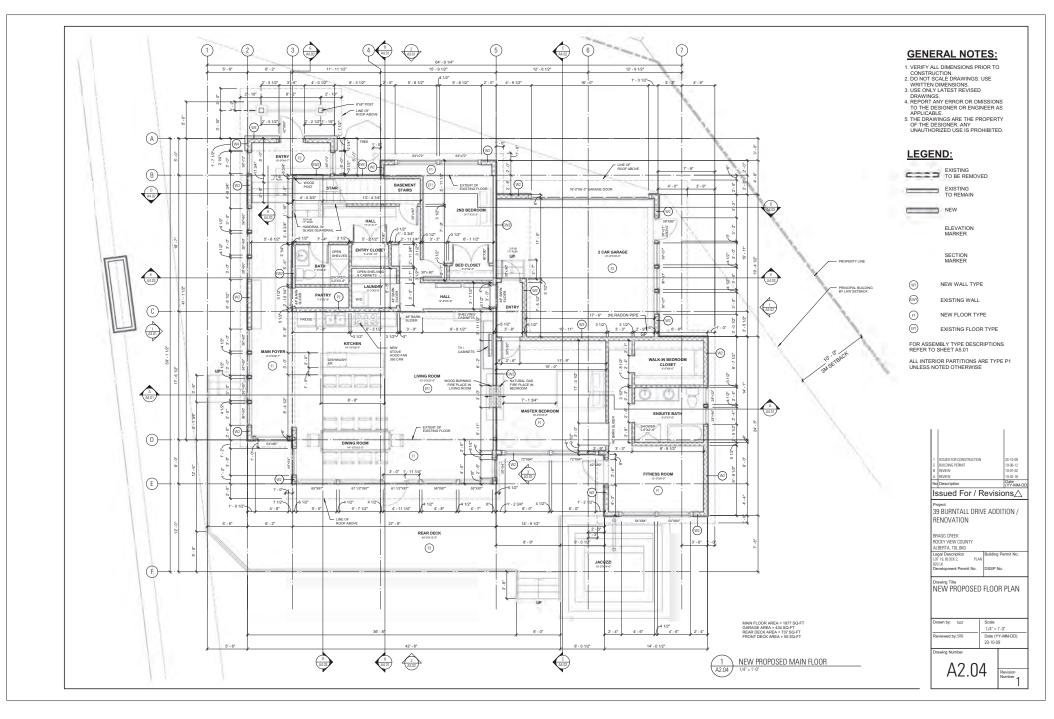


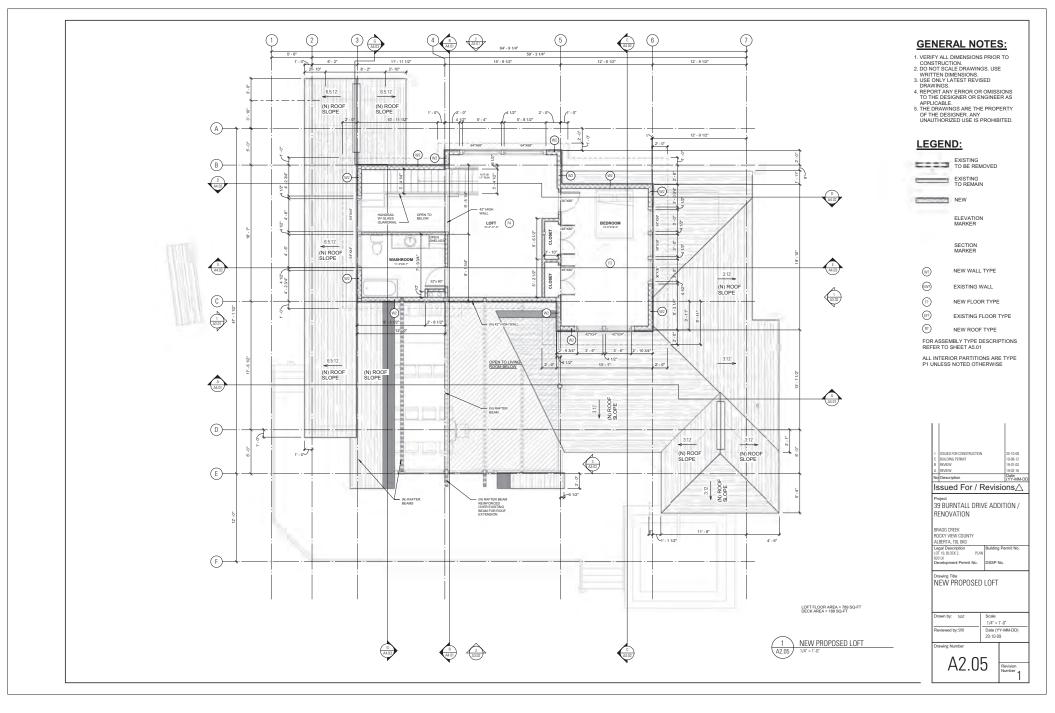
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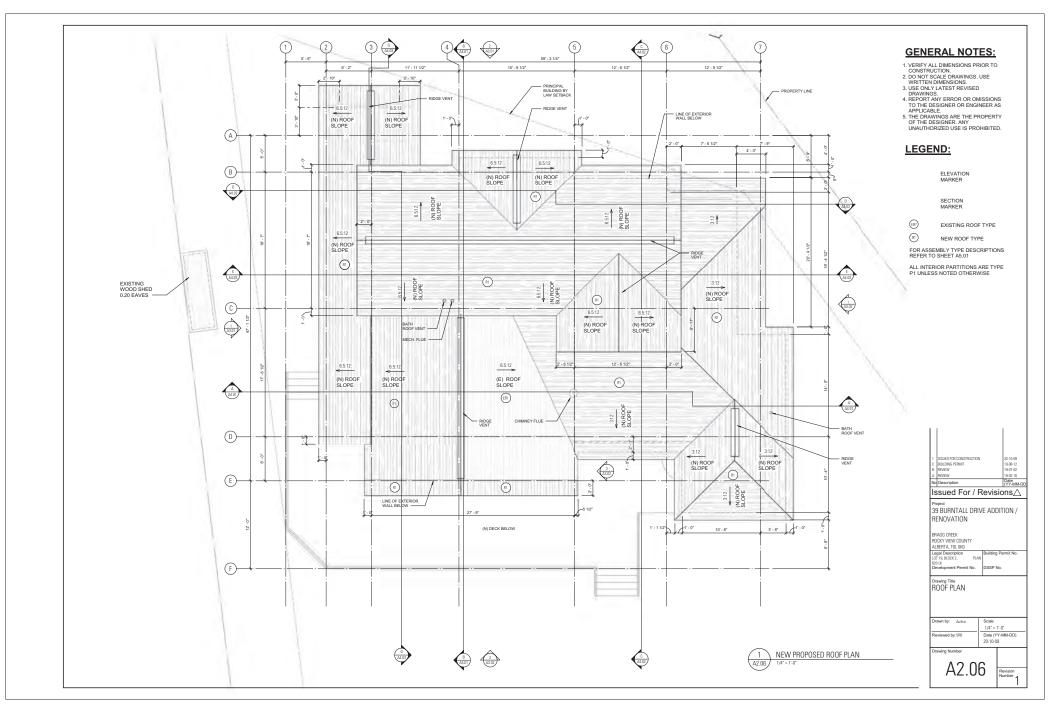


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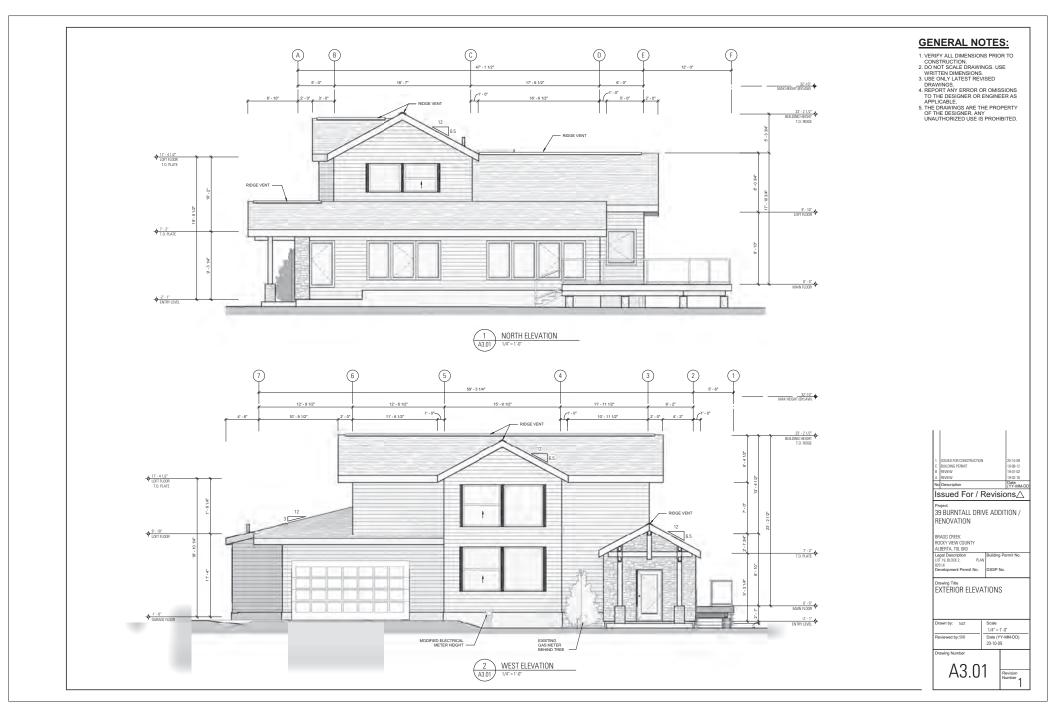


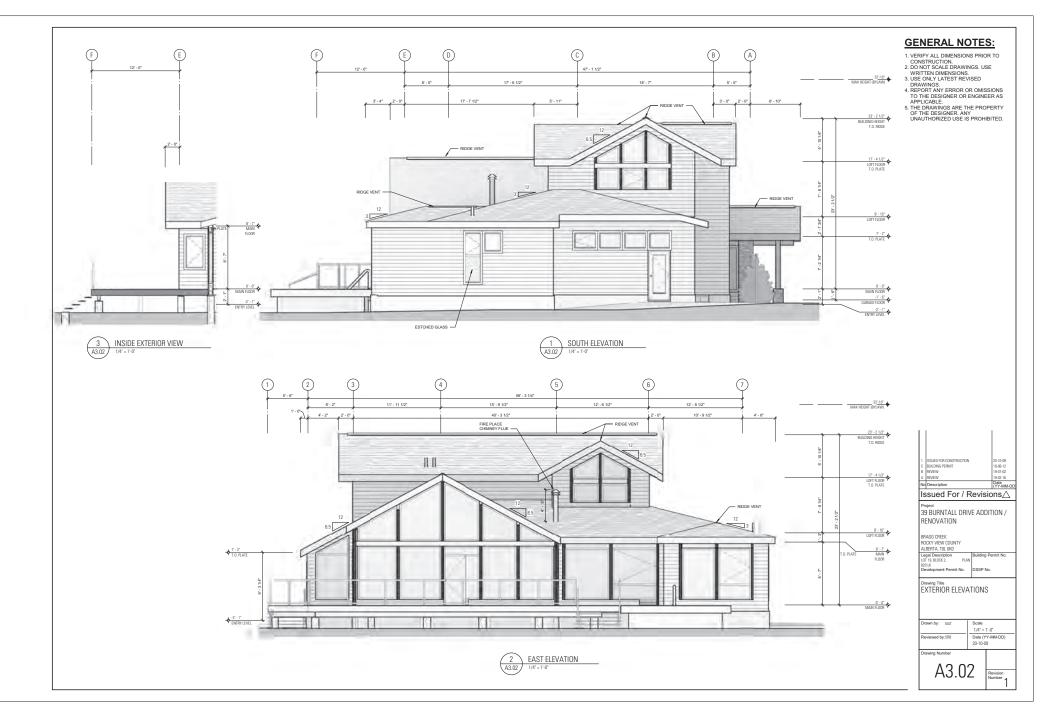


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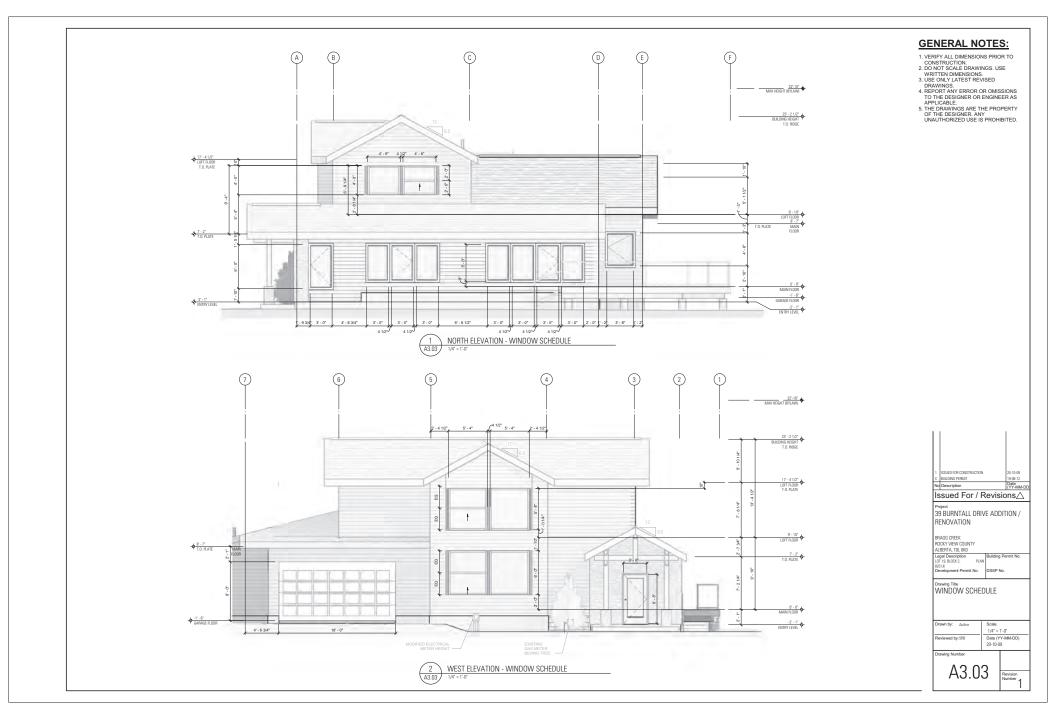


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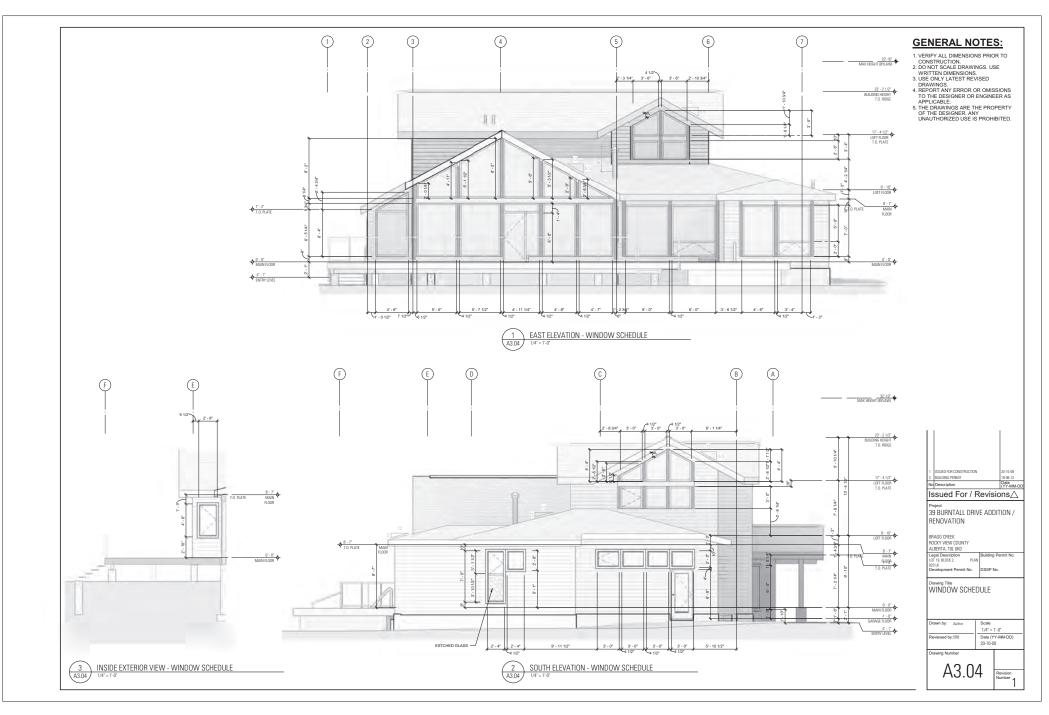




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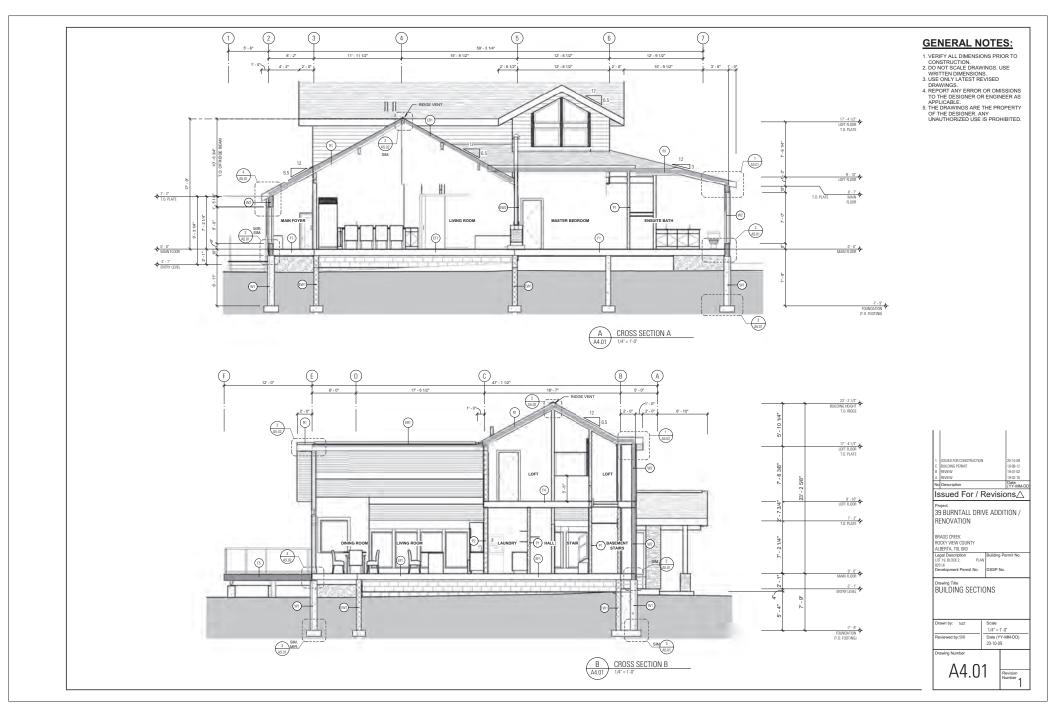


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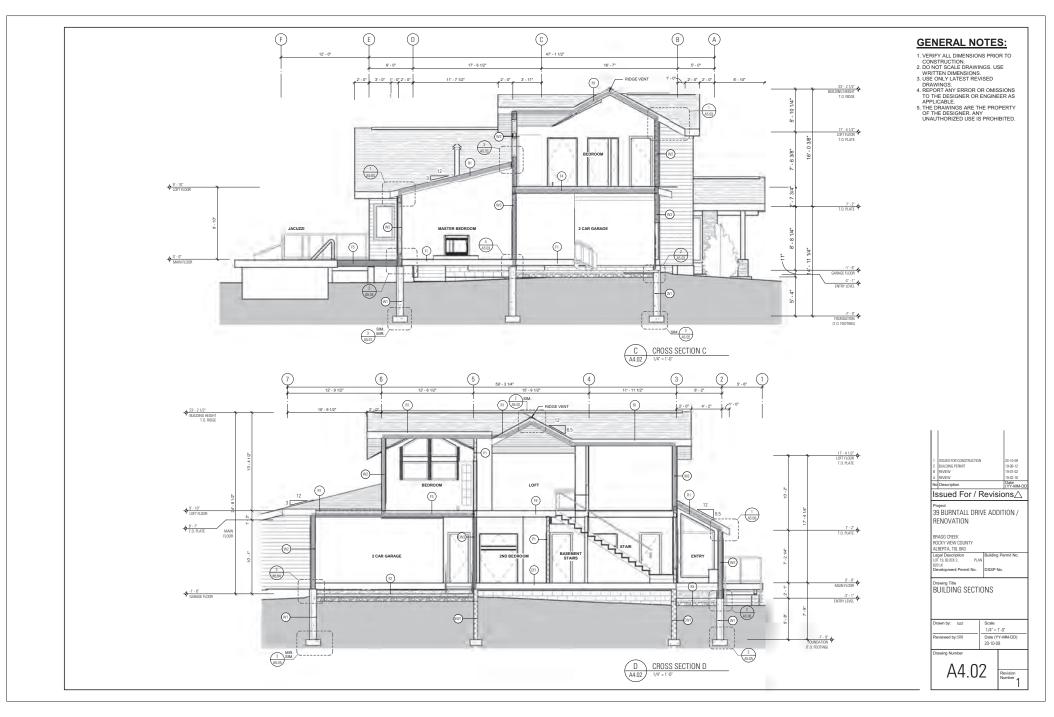




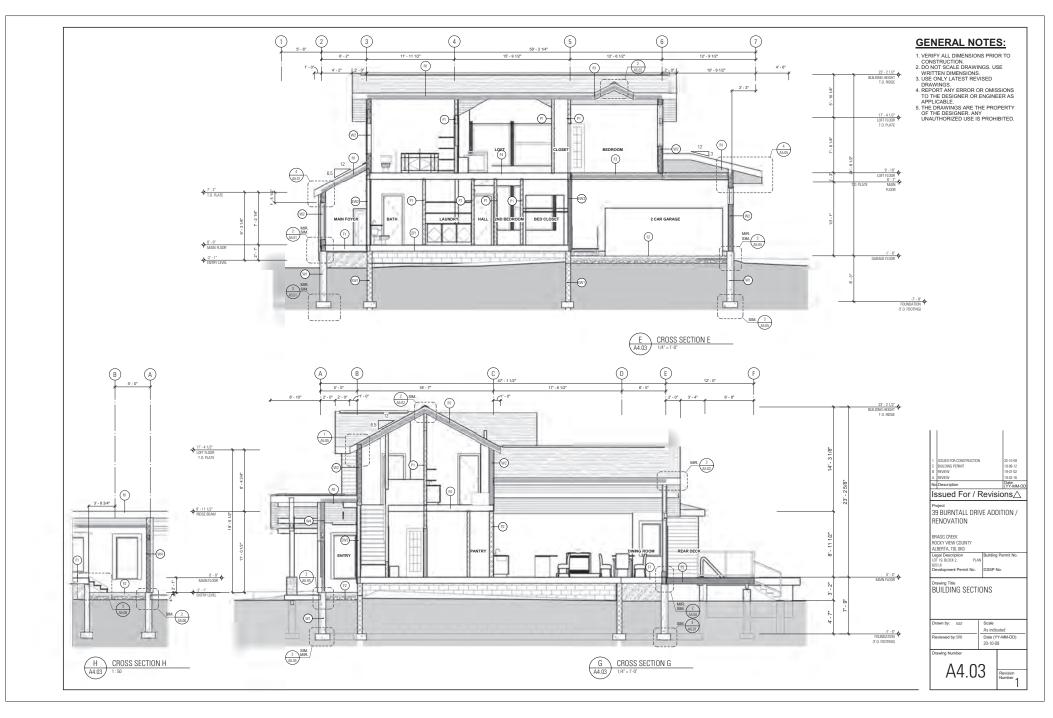
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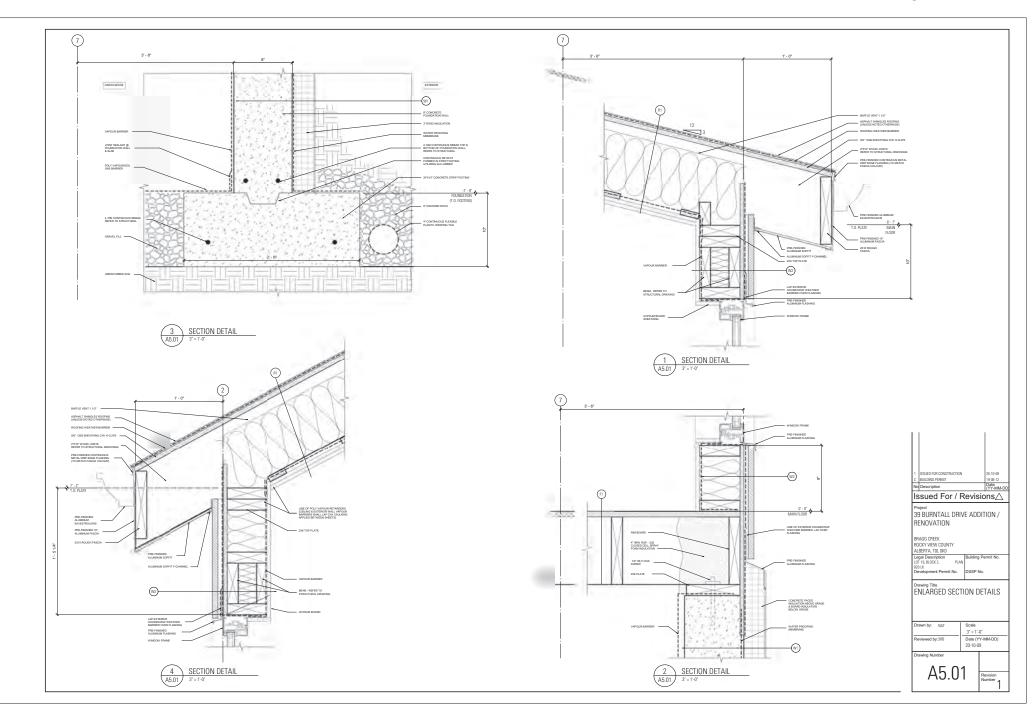


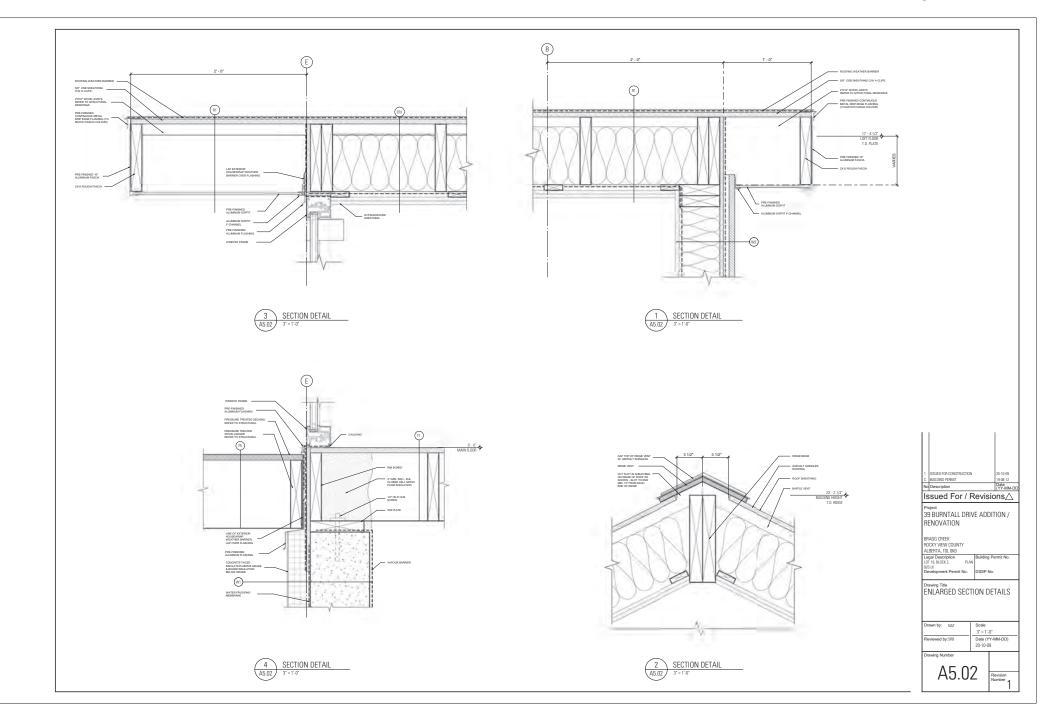
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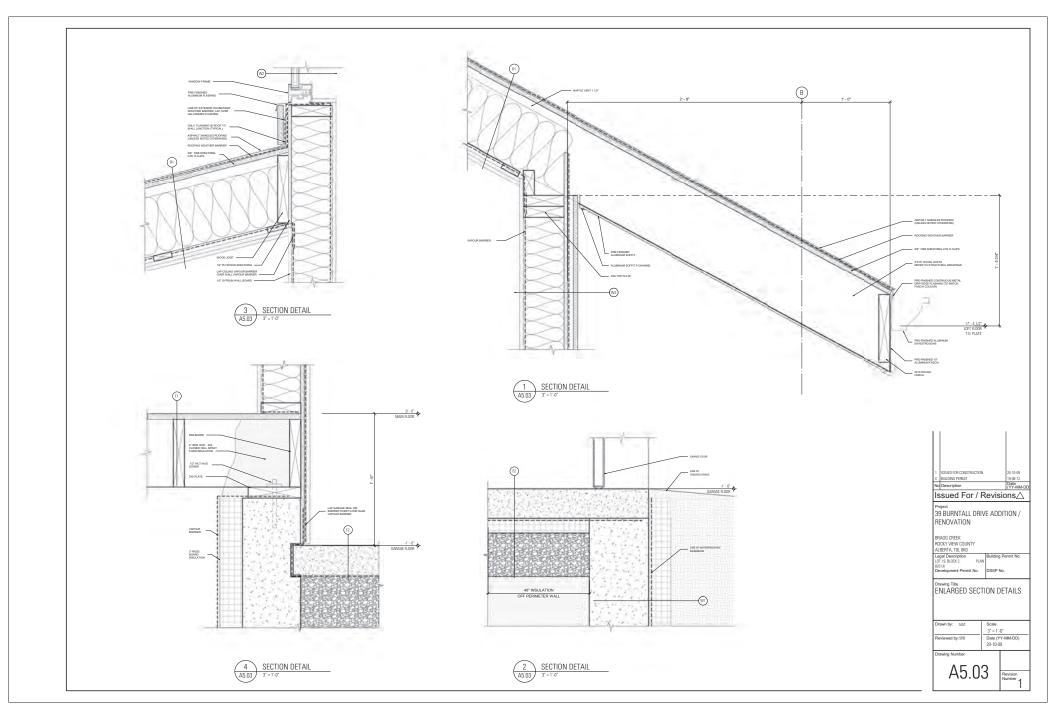


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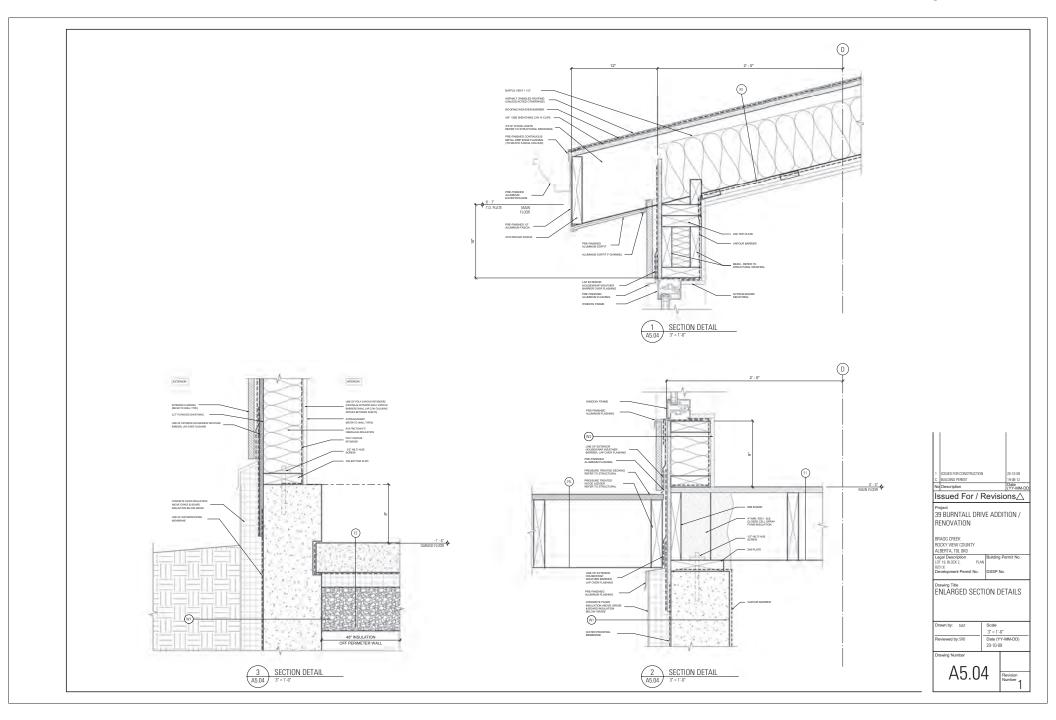


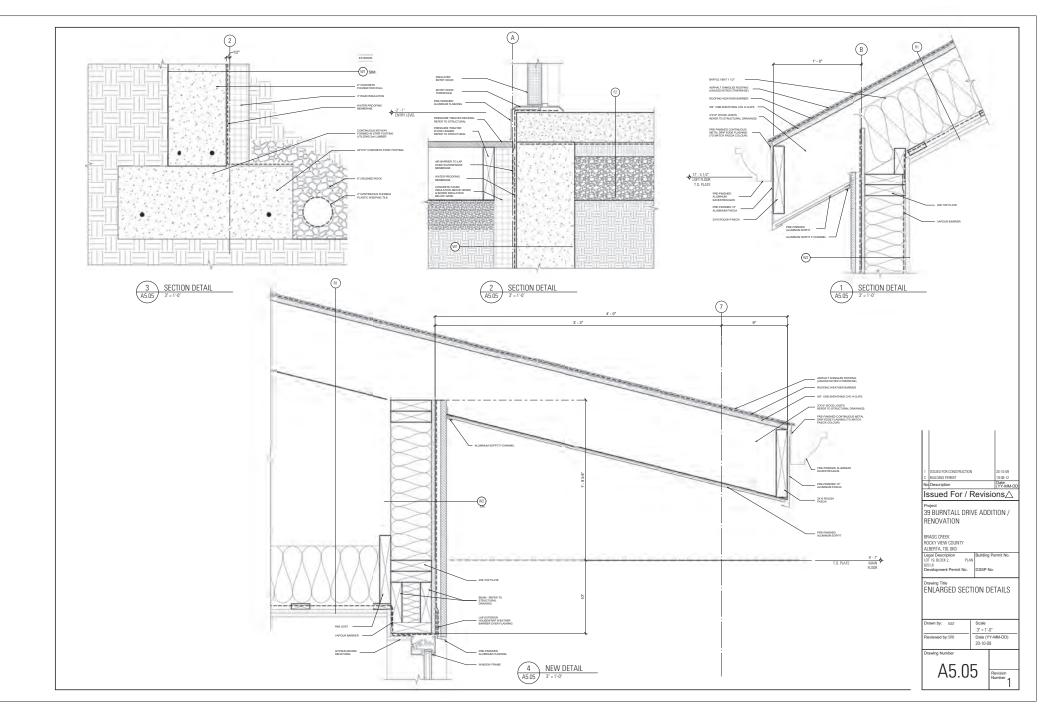


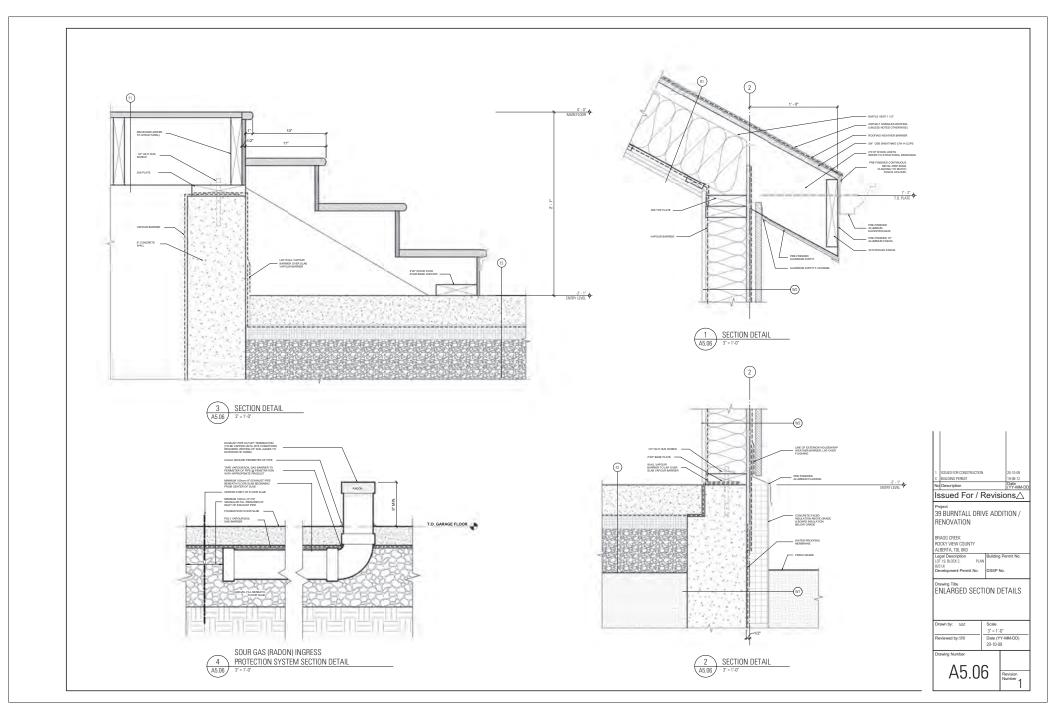


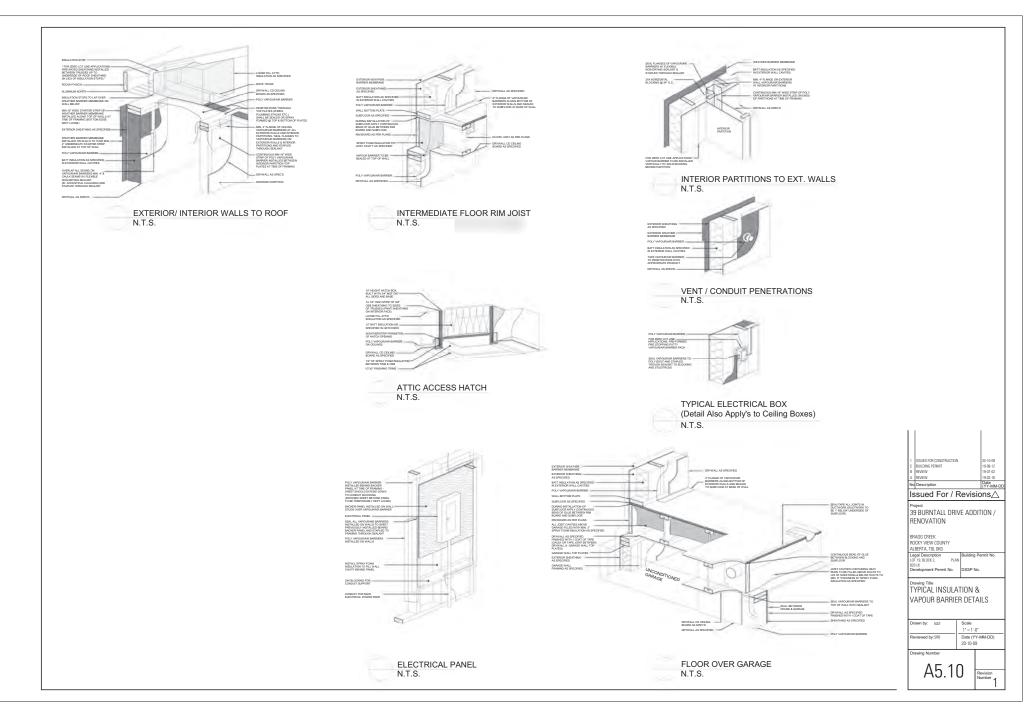


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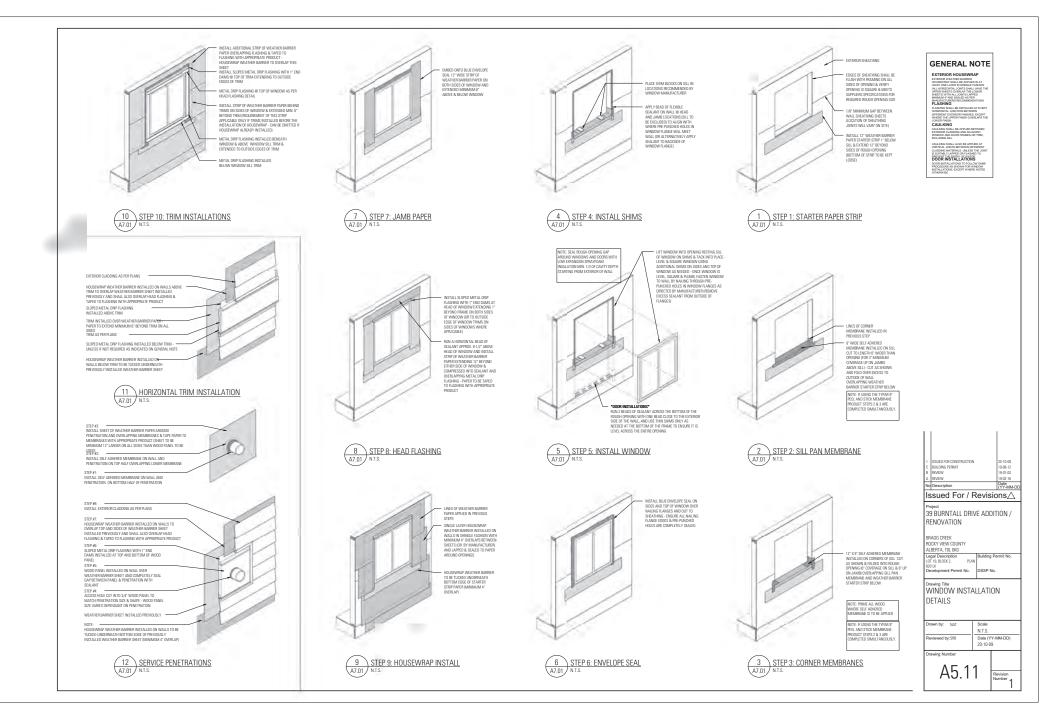


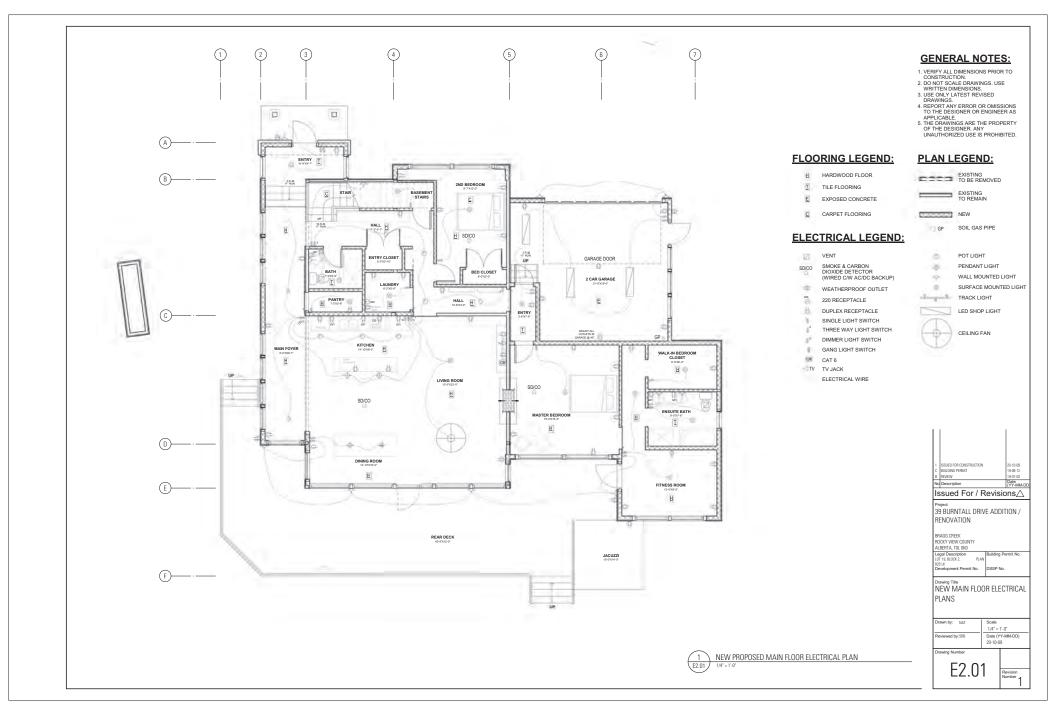




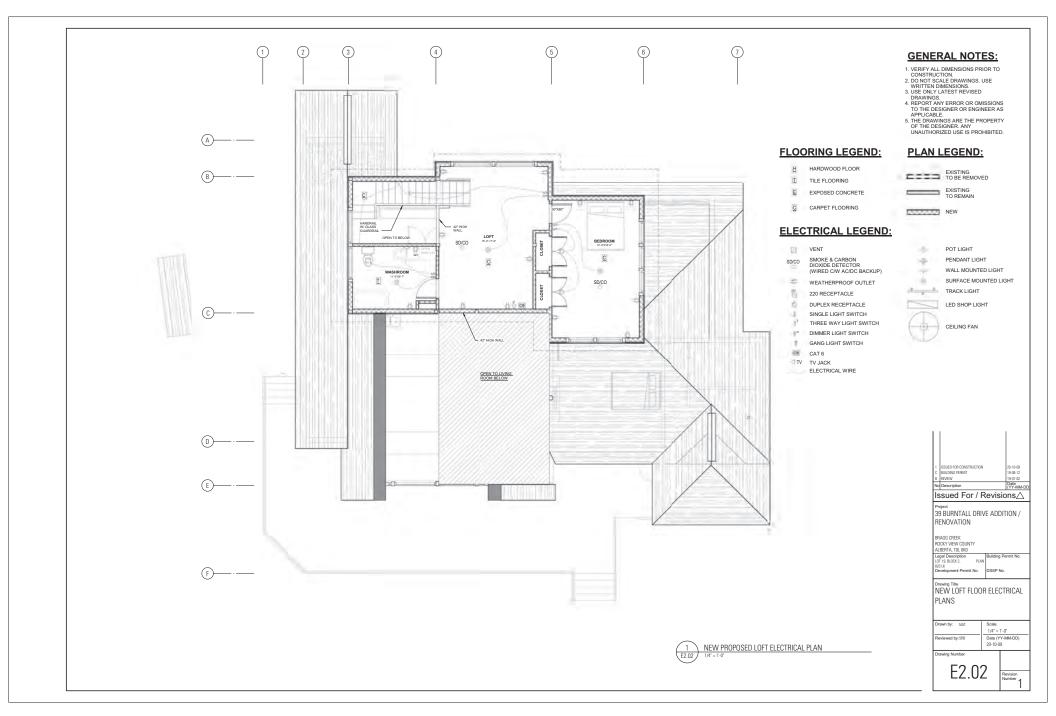


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### E-15 Page 54 of 54





## PLANNING AND DEVELOPMENT SERVICES

TO: Municipal Planning Commission

DIVISION: 5

**SUBJECT:** Development Item: *Stripping and Grading* 

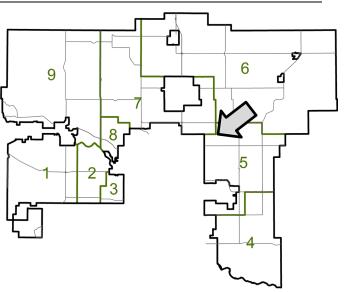
**USE:** Discretionary use, with no Variances

**APPLICATION:** Single-lot regrading, placement of clean fill and excavation, for a proposed road and future dwelling, single detached

**GENERAL LOCATION:** located approximately 1.21 km (3/4 mile) south of Twp. Rd. 260 and on the west side of Rge. Rd. 281

LAND USE DESIGNATION: Agricultural, Small Parcel District (A-SML) under Land Use Bylaw C-8000-2020

**ADMINISTRATION RECOMMENDATION:** Administration recommends Approval in accordance with Option #1



**DATE:** December 10, 2020

**APPLICATION:** PRDP20203253

### **OPTIONS:**

- Option #1: THAT Development Permit Application PRDP20203253 be approved with the conditions noted in the Development Permit Report, attached.
- Option #2: THAT Development Permit Application PRDP20203253 be refused as per the reasons noted.

### AIR PHOTO & DEVELOPMENT CONTEXT:



Administration Resources Bronwyn Culham - Planning and Development Services



## **DEVELOPMENT PERMIT REPORT**

Application Date: October 13, 2020	File: 05335027
Application: PRDP20203253	Applicant/Owner: Sandhu, Kulvir & Rajwant
Legal Description: Lot 4, Block , Plan 7410910, SE-35-25-28-04	<b>General Location:</b> located approximately 1.21 km (3/4 mile) south of Twp. Rd. 260 and on the west side of Rge. Rd. 281
Land Use Designation: Agricultural, Small Parcel District (A-SML) under Land Use Bylaw C-8000- 2020	<b>Gross Area:</b> ± 19.94 acres (± 8.06 hectares)
File Manager: Bronwyn Culham	Division: 5

### **PROPOSAL:**

The proposal is for the single-lot regrading, excavation and placement of clean fill, for a proposed road and future dwelling, single detached.

Site stripping, grading, excavation, or fill is a discretionary use in all land use districts as per section 157 of the Land Use Bylaw.

Driveway construction is a permitted use within Table 2(i) if there is no impact to existing site grades. As the proposal is importing and excavating to level the grades of the site, this section is not applicable as the site grades are being altered.

The application is to level the existing grade by moving fill from the rear of the property and to place clean fill and pit run to create an even path to the rear of the property, to create a new road surface.

Details:

Proposed Filling – New Road Surface:

- Height Change: Not provided;
- Length: 1,468.04 ft. (447.46 m)
- Width: Not provided;
- Area: 48,793.25 sq. ft. (4,533.04 sq. m.)
- Volume: Not provided

Excavation Area:

• 48,901.50 sq. ft. (4,543.09 sq. m.)

### Property History:

Planning Applications, Development Permits:

- 2012-DP-15135 (single lot regrading, to an existing pond)
  - o Expiry date to meet the Prior to Issuance conditions has been extended until May 31, 2014.
  - $_{\odot}$  File closed extension not requested. October 23, 2014



**Building Permits** 

- PRBD20182007 (Farm Building Horse Shelter); Closed Complete: May 30, 2018
- PRBD20182008 (Farm Building Detached wood used to store water tanks); May 30, 2018 Closed - Complete
- 1990-BP-1947 (Garage); Occupancy Granted: Sep 17, 1990

### STATUTORY PLANS:

The subject property does not fall under any Area Structure Plans or Conceptual Schemes. As such, the application was evaluated in accordance with the LUB.

### **INSPECTOR'S COMMENTS:**

No inspection was completed at the time of report preparation.

### CIRCULATIONS:

Alberta Environment and Parks

• No comments received.

### Development Compliance Officer Review (November 09, 2020)

Back in 2019 a complaint was filed against this property for bringing in gravel. At the time of
inspection, it was determined that it was not significant enough to be in violation of the Land Use
Bylaw and the case file was closed.

### Agricultural and Environmental Services Review (November 09, 2020)

• The applicant must ensure compliance with the Alberta Weed Control Act and have a contractor available (or be personally prepared) to control any regulated weeds.

### Planning and Development Services - Engineering Review (November 18, 2020)

### General:

• The review of this file is based upon the application submitted. These conditions/recommendations may be subjected to change to ensure best practices and procedures.

### Geotechnical:

- The proposed application involves excavation for future dwelling and hauling in clean fill and pit run to build a road.
- As a permanent condition, the applicant will be required to provide compaction testing results, prepared and provided by a qualified professional, for any areas of the site filled greater than 1.2m in depth.
- Engineering has no requirements at this time.

### Transportation:

- Access to the parcel is provided off Range Road 281.
- Prior to issuance, the applicant is required to contact County Road Operations to determine if a Road Use Agreement is required for hauling in fill materials to the subject land. Should a Road Use agreement be required by County's Road Operations Department, the applicant shall enter into a Road Use Agreement with the County in accordance with Road Use Agreement Bylaw C-8065-2020 and submit a copy of the executed agreement.



• As the proposed development is unlikely to increase traffic on local road networks, Traffic Impact Assessment and TOL are not required.

### Sanitary/Waste Water:

- No information was provided.
- Engineering has no requirements at this time.

### Water Supply and Waterworks:

- No information was provided.
- Engineering has no requirements at this time.

### Storm Water Management:

- The proposed development involves backfilling depressed areas on site which may potentially be providing storage for stormwater. Also, based on a review of County's GIS system, the proposed development is likely to disturb a wetland on the south side of the lot.
- Prior to issuance, the applicant shall provide a stormwater memo, prepared by a qualified professional, confirming whether the proposed development involving new road and future dwelling conforms with the overall stormwater management strategy for the subject land and check if there are any stormwater implications due to proposed development. Should improvements be necessary, the applicant will be required to provide a site-specific stormwater management report, prepared by a qualified professional, addressing the necessary improvements to be implemented on the subject land to support the proposed development in accordance with CSMI Stormwater Plan and County servicing standards.
- As a permanent condition, the applicant will be required to implement and maintain the approved stormwater management system in perpetuity.

### **Environmental:**

- Based on a review of County's GIS system, wetlands are present on site. The location of a wetland on south side is such that it would impede construction of a future road.
- Prior to issuance, applicant shall provide a Wetland Assessment memo for the County identified wetland on the subject lot to check whether it is actually a wetland or not. If the wetland assessment memo confirms it to be a wetland, the memo will provide recommendations for wetland impact mitigation and applicant/owner will be required to obtain approval from AEP under the *Water Act* for the disturbance of onsite wetland prior to construction of future road.
- As an advisory condition, the applicant shall implement appropriate ESC measures during the construction of the proposed development in accordance with County's servicing standards.
- As a permanent condition, any Alberta environment approval for wetland disturbance is the sole responsibility of applicant/owner.

### **Operations Division Review**

• No comments received.

### **OPTIONS:**

Option #1: (this would allow the proposed development)

APPROVAL, for the following reasons:



### **Description:**

1. That single-lot regrading, placement of clean fill and excavation, for a proposed road and future dwelling, single detached area shall be permitted in general accordance with the drawings submitted with the application, as amended through conditions.

### Prior to Issuance:

- 2. That prior to issuance of this permit, the Applicant/Owner shall submit final details confirming the proposed height change, width and volume of the proposed filled area of the driveway and the height, length, width, and volume of the excavated area, to the satisfaction of the County.
- 3. That prior to issuance of this permit, the Applicant/Owner shall contact County Road Operations with haul details for materials and equipment needed during construction/site development to confirm if Road Use Agreements will be required for any hauling along the County road system and to confirm the presence of County road ban restrictions.
  - i. Written confirmation shall be received from County Road Operations confirming the status of both components of this condition. Any required agreement or permits shall be obtained unless otherwise noted by County Road Operations.
- 4. That prior to issuance of this permit, the Applicant/Owner shall submit a stormwater memo, prepared by a qualified professional, confirming whether the proposed development involving the new road and future dwelling area conforms with the overall stormwater management strategy for the subject land and confirm if there are any stormwater implications due to proposed development.
  - i. Should improvements be necessary, the Applicant/Owner shall submit a site specific stormwater management report, prepared by a qualified professional, addressing the necessary improvements to be implemented on the subject land to support the proposed development in accordance with CSMI Stormwater Plan and County Servicing Standards.

### Site Completion:

- 5. That upon completion of the proposed development and request of the County, the Applicant/Owner shall submit an as-built drawings, stamped by a professional engineer, confirming that the final grades align with the supporting technical submission approvals for the file.
- 6. That upon completion of the proposed development, the Applicant/Owner shall submit compaction test results that demonstrate that any areas of fill greater than 1.20 m (3.93 ft.) in depth.

### Permanent:

- 7. That it shall be the responsibility of the Applicant/Owners to ensure that any fill placed onsite, has been placed in a safe manner that does not cause slope stability issues, slumping, or any other related safety issues.
- 8. That the Applicant/Owners shall ensure no organic material is buried and capped in a manner that will cause methane gas related issues.
- 9. That the Applicant/Owners shall take effective measures to control dust on the parcel so that dust originating therein shall not cause annoyance or become a nuisance to adjoining property owners and others in the vicinity.
- 10. That any material entering to or leaving from the site, shall be hauled on/off in a covered trailer/truck, which will prevent blowing of dust/small rocks onto the road or cause issues with other vehicles on the road.

ROCKY VIEW COUNTY

- i. That the clean-up of any mud tracking and/or dirt that enters onto adjacent Highway and/or County roads during hauling shall be the responsibility and cost of the Applicant/Owner for clean-up.
- 11. That the Applicant/Owners shall be responsible for rectifying any adverse effect on adjacent lands or road infrastructure from drainage alteration.
- 12. That the subject land shall be maintained in a clean and tidy manner at all times, and all waste material shall be deposited and confined in an appropriate enclosure. All waste material shall be regularly removed from the property to prevent any debris from blowing onto adjacent property or roadways.
- 13. That any plan, technical submission, agreement, matter, or understanding submitted and approved as part of the application or in response to a Prior to Issuance or Occupancy condition shall be implemented and adhered to in perpetuity.

### Advisory:

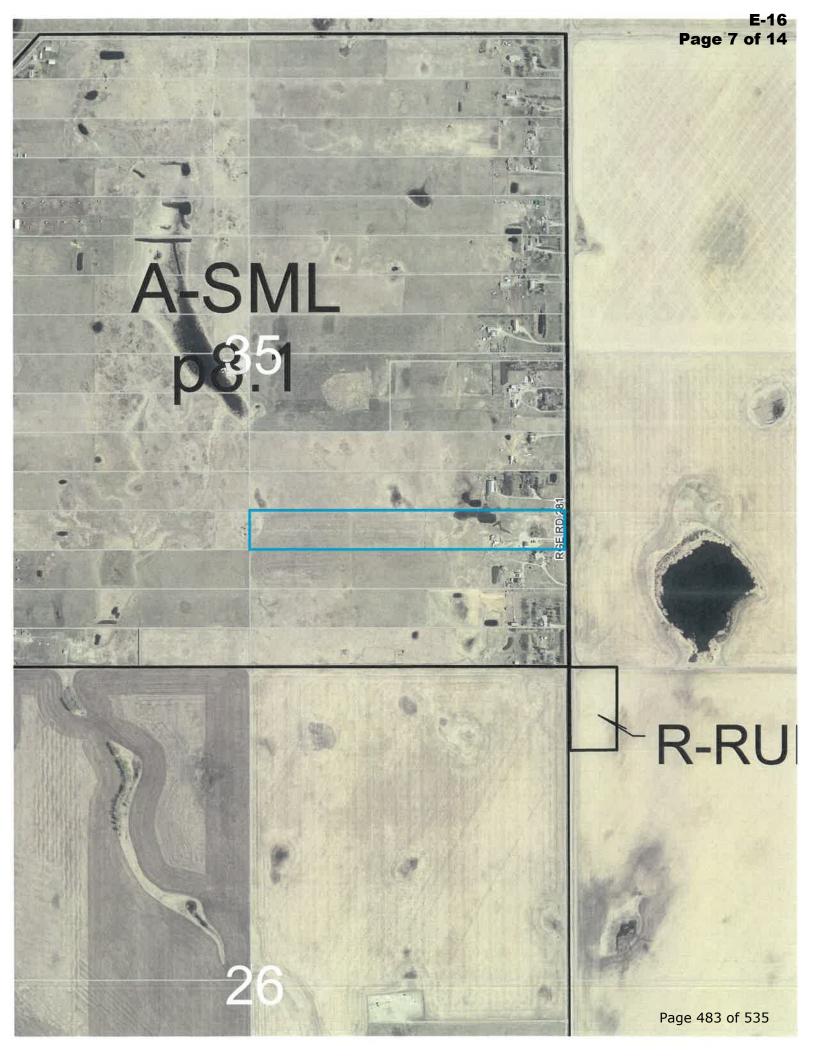
- 14. That the Applicant/Owner shall implement appropriate Erosion and Sediment Control measures during the development of the proposal in accordance with County's Servicing Standards.
- 15. That the subject development shall conform to the County's Noise Bylaw C-5773-2003 in perpetuity.
- 16. That the site shall remain free of restricted and noxious weeds and be maintained in accordance with the Alberta Weed Control Act *[Statutes of Alberta, 2008 Chapter W-5.1; Current as of December 15, 2017].*
- 17. That any other government permits, approvals, or compliances are the sole responsibility of the Applicant/Owner.
- 18. That if the development authorized by this Development Permit is not completed within 12 months of the date of issuance, the permit is deemed to be null and void.
- 19. That if this Development Permit is not issued by **JUNE 30, 2021**, or the approved extension date, then this approval is null and void and the Development Permit shall not be issued.

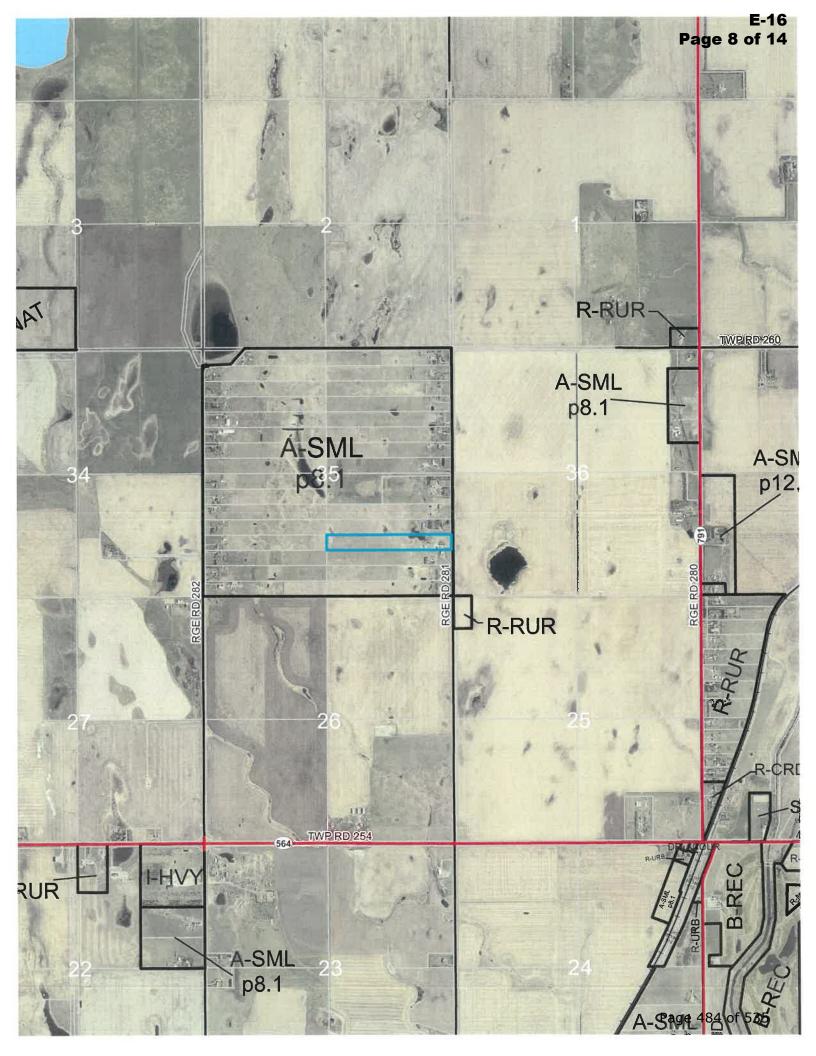
### Note: The Applicant/Owner shall be responsible for all Alberta Environment approvals/compensation if any wetland is impacted by the proposed development.

Option 2: (this would not allow the proposed development)

REFUSAL, for the following reasons:

1. In the opinion of the Municipal Planning Commission, the development unduly interferes with the amenities of the neighbourhood and materially interferes with and affects the use, enjoyment, and value of neighbouring parcels of land.





<b>A</b>			FO	R OFFICE US	EONLY	_
ROCKY VIEW COL	JNTY		APPLICATION NO.	2020	3253	
-			ROLL NO.	05338	5027	
<b>DEVELOPMENT PE</b>	RMIT		RENEWAL OF			
APPLICATION			FEES PAID	\$950	.00	
AITEIOATION			DATE OF RECEIPT	OCTZ	2,2020	
APPLICANT/OWNER		1				
Applicant Name: KULVER	STAUGH S.	andhis	Email:			
Business/Organization Name (if applied	cable):					
Landowner Name(s) per title (if not th	e Applicant): KIN V	RR STAIGA	1 Sandh	11		
Business/Organization Name (if appli	1.00	She	5000	0		
LEGAL LAND DESCRIPTION - Subj	ect site	A Content of the second				
All/part of: 1/4 Section:	Township:	Range:	West of:	Meridian	Division:	
All parts of Lot(s)/Unit(s):	Block:	Plan:		Parcel Siz	e (ac/ha):	
Municipal Address: 25505	hange hor	1281	Land Use Dist	rict:		
APPLICATION FOR - List use and so						
Variance Rationale included:			DP Checkli	ist Included:	YES	-E NO
SITE INFORMATION						
a. Oil or gas wells present on or b. Parcel within 1.5 kilometres of						
<ul> <li>b. Parcel within 1.5 kilometres of c. Abandoned oil or gas well or</li> </ul>			any			
(Well Map Viewer: <u>https://extma</u> d. Subject site has direct access				adway)		NO 🗹
d. Subject site has direct access	s to a developed ind	nicipal Road (acce		auway)		
I, KUTVIT Sight Sandhu (Full name in Block Capitals), hereby certify (initial below):						
					initial belo	w):
That I am the registered owner <b>OR</b> That I am authorized to act <b>on</b> the <b>owner's behalf</b> .						
knowledge, a true statement	of the facts relating	to this application.	-			-
That I provide consent to the submitted/contained within th collected in accordance with	is application as par	t of the review pro	cess. I acknowle	dge that the	informatic	
<b>Right of Entry:</b> I authorize/a purposes of investigation and Municipal Government Act.	cknowledge that Rod I enforcement relate	cky View County n d to this applicatio	nay enter the abo n in accordance	ove parcel(s) with Section	) of land fo 542 of the	e e
Applicant Signature		1 and a	wner Signature	the		
Applicant Signature	pt 2020	Lando		22 50	sta	20
Date 22 56	- LULU		Date	AA 2C	1 h	000



# STRIPPING, GRADING, EXCAVATION AND/OR FILL INFORMATION SHEET

FOR OFFICE USE ONLY			
APPLICATION NO.	20203253		
ROLL NO.	05335027		
DISTRICT	A-SML		

DETAILS			APPLICATION FOR:			
Total area of work	1 acre	(ac / m² )	□ Site Stripping □ Fill			
Length		(m / ft.)	Grading   Re-contouring			
Width		(m / ft.)	☐ Excavation ☐ Excavation (cut-to-fill) (borrow areas)			
Height		(m / ft.)	□ Construction of artificial waterbody			
Volume		$(m^3 / ft^3.)$	(not including dugouts)			
Number of truckloads (approx.)	30 TRUCKS SPUP	still60				
Slope factor (if applicable)			Other:			
DESCRIPTION OF WORK						
Describe the purpose and intent of We are bringing and grading Indicate the timing/duration of work	Cleandfill a	nd Rid I	run Do build a sand			
Indicate the effect(s) on existing drainage patterns or environmentally sensitive areas (i.e. riparian, wetland, other waterbodies etc.) if applicable:						
ADDITIONAL REQUIREMENTS The following must be include Pre-development and Pos Other documents: Stormw	d with the application (set t-development grading pla	elect if provid ns				
Cover letter shall addres	s ALL of the following:					
<ul> <li>when it is in a favoura</li> <li>Traffic control plan</li> <li>Weed Management F</li> <li>Costs (anticipated) to</li> </ul>	able condition (include this Plan	information or	onfirmation that soil will be transported n the Site/Grading Plan as necessary)			
On the Site/Grading Plan         Dimensions and area(s) or         Location of wetlands and         Location where the excav         Proposed access, haul ro	f excavation, fill, and/or gr watercourses and any eco ation, stripping, or grading	logically sensit	tive features g place			
Applicant Signature	1/		Date 22 Sept 2020			

Stripping, Grading, Excavation and/or Fill - Information Sheet

Date 👱

Page 1 of 1 Page 486 of 535

### RANGE ROAD LOT GRADING

### 255051 RANGE ROAD 281

SCOPE OF WORKS:

- 1. CREATION OF EVEN ACCESS PATH TO REAR OF PROPERTY TO ALLOW EASY VEHICULAR TRAVEL BY LEVELLING THE EXISTING GRADE MOVING SOIL FROM THE REAR OF THE PROPERTY TO FORM THE SMOOTH AND EVEN SURFACE.
- 2. THE PURPOSE OF THE ABOVE IS FOR A PROPOSED HOUSE ABOUT TO BE CONSTRUCTED ON THIS PROPERTY.

E-16 Page 12 of 14

TITLE NUMBER 191 074 767

\$640,000



S

LAND TITLE CERTIFICATE

LINC SHORT LEGAL 0013 762 026 7410910;;4

LEGAL DESCRIPTION PLAN 7410910 LOT 4 EXCEPTING THEREOUT ALL MINES AND MINERALS AND THE RIGHT TO WORK THE SAME AREA: 8.07 HECTARES (19.94 ACRES) MORE OR LESS

ESTATE: FEE SIMPLE

MUNICIPALITY: ROCKY VIEW COUNTY

REFERENCE NUMBER: 181 128 548

REGISTERED OWNER (S) REGISTRATION DATE (DMY) DOCUMENT TYPE VALUE CONSIDERATION 

191 074 767 18/04/2019 TRANSFER OF LAND \$640,000

OWNERS

KULVIR SANDHU

AND

RAJWANT SANDHU

ENCUMBRANCES, LIENS & INTERESTS

REGISTRATION NUMBER DATE (D/M/Y)

PARTICULARS the sea on the same and the same and

7605A0

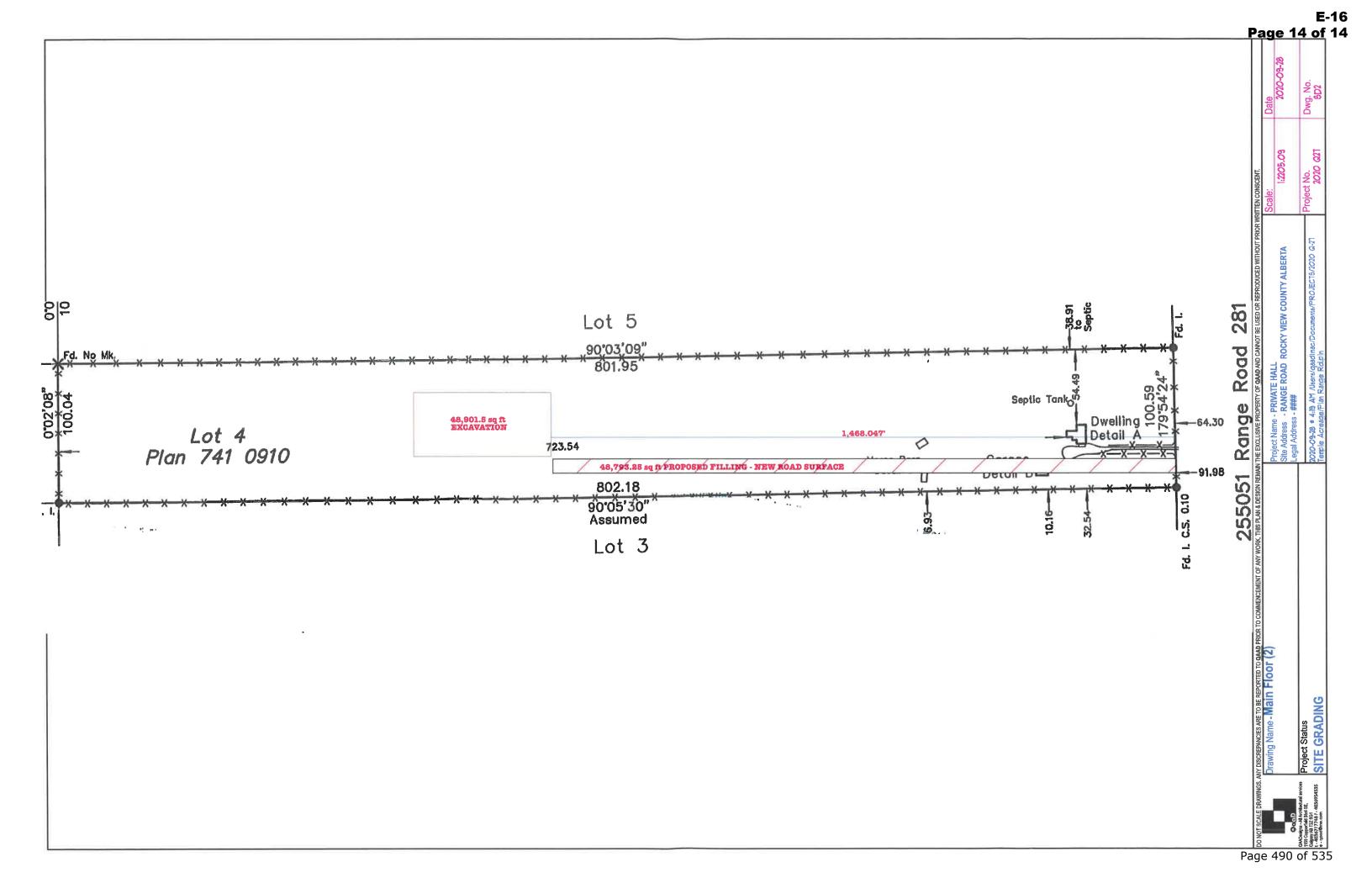
RESTRICTIVE COVENANT "SUBJECT TO THE RIGHTS AND RESERVATIONS CONTAINED IN TRANSFER"

( CONTINUED )

ENCUMBRANCES, LIENS & INTERESTS REGISTRATION PAGE 2 NUMBER DATE (D/M/Y) # 191 074 767 PARTICULARS -----1539IM . 17/05/1972 UTILITY RIGHT OF WAY GRANTEE - CANADIAN WESTERN NATURAL GAS COMPANY 5384LJ . 09/08/1972 UTILITY RIGHT OF WAY GRANTEE - FORTISALBERTA INC. (DATA UPDATED BY: TRANSFER OF UTILITY RIGHT OF WAY 021209442) (DATA UPDATED BY: CHANGE OF ADDRESS 091126018) (DATA UPDATED BY: TRANSFER OF UTILITY RIGHT OF WAY 191010141) 741 098 438 24/10/1974 CAVEAT RE : DEFERRED RESERVE CAVEATOR - THE CALGARY REGIONAL PLANNING COMMISSION. 191 074 768 18/04/2019 MORTGAGE MORTGAGEE - ATB FINANCIAL. 600 100 MARINA DR CHESTERMERE ALBERTA TIXOR9 ORIGINAL PRINCIPAL AMOUNT: \$640,000 TOTAL INSTRUMENTS: 005 THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN ACCURATE REPRODUCTION OF THE CERTIFICATE OF TITLE REPRESENTED HEREIN THIS 6 DAY OF OCTOBER, 2020 AT 12:49 P.M. ORDER NUMBER: 40257352 CUSTOMER FILE NUMBER: Walk in \*END OF CERTIFICATE\* THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED FOR THE SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER,

SUBJECT TO WHAT IS SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION, APPRAISAL OR OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS PART OF THE ORIGINAL PURCHASER APPLYING PROFESSIONAL, CONSULTING OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT(S).





1

## PLANNING AND DEVELOPMENT SERVICES

TO: Municipal Planning Commission

DIVISION:

SUBJECT: Development Item: Dwelling, Single Detached

**USE:** Discretionary use, with no Variances

**APPLICATION:** dwelling, single detached (existing), construction of a sunroom and deck.

**GENERAL LOCATION:** located in the hamlet of Bragg Creek

LAND USE DESIGNATION: Residential, Urban District (R-URB) under Land Use Bylaw C-8000-2020

ADMINISTRATION RECOMMENDATION: Administration recommends Approval in

accordance with Option #1.

### **OPTIONS:**

sidential, Urban Bylaw NDATION: roval in nt Permit

9

**DATE:** December 10, 2020

APPLICATION: PRDP20203251

6

- Option #1: THAT Development Permit Application PRDP20203251 be approved with the conditions noted in the Development Permit Report, attached.
- Option #2: THAT Development Permit Application PRDP20203251 be refused as per the reasons noted.

### AIR PHOTO & DEVELOPMENT CONTEXT:





### **DEVELOPMENT PERMIT REPORT**

Application Date: October 22, 2020	File: 03912144
Application: PRDP20203251	Applicant: Blue Flower Sunrooms (Brad Mitchell) Owner: Kym & Mel Lomenda
Legal Description: Lot 14, Block 2, Plan 820 LK, NE-12-23-05-05	<b>General Location:</b> located in the hamlet of Bragg Creek
<b>Land Use Designation:</b> Residential, Urban District (R-URB) under Land Use Bylaw C-8000-2020	<b>Gross Area:</b> ± 0.18 hectares (± 0.46 acres)
File Manager: Bronwyn Culham	Division: 1

### PROPOSAL:

The proposal is for a dwelling, single detached (existing), construction of a sunroom and deck.

- The property is located in the flood fringe area within the hamlet of Bragg Creek. The property is accessed by the existing approach off Burntall Drive.
- The existing single detached dwelling was built in 1977 and renovated in 1999. There are two existing accessory buildings, a garage and shed, and they are compliant with the Residential, Urban District (R-URB) regulations
- The Applicant proposes to construct a 14.54 sq. m (156.56 sq. ft.) addition and deck to the dwelling.
- All habitable areas of the addition, including any mechanical parts will have to comply with 1-100 flood elevation level currently in place by the province. The elevation level appears to be 1,299.45 m above sea level.

### Additional Information:

### Planning Application:

• There are no related planning applications

### Development Permit:

• There is no history for development permit applications

### Building Permit History:

- 2004-BP-17207 Accessory Building (Shed), Occupancy Granted, Mar 18, 2004
- 2004-BP-17208 Deck Addition Occupancy Granted, Mar 18, 2004
- 1999-BP-13394 Addition and Renovation to the Single Family Dwelling, Occupancy Granted, Oct 1, 1999
- 1993-BP-3619 Accessory Building (Garage). Occupancy Granted, Aug 31, 1993
- PRBD20203176 Residential Addition, Waiting for Applicant Information



### Land Use Bylaw (C-8000-2020):

- 201 In a flood fringe area, mechanical and electrical equipment within a building shall be located at or above the designated flood level. The minimum ground floor elevation should be above the designated flood level when possible.
  - Noted and conditioned as a requirement
- 202 If development is approved within the flood fringe area, the first floor of all buildings shall be located at or above the 1:100 year flood level plus 0.5 m (1.64 ft.) freeboard. The Development Authority may allow for variances on the freeboard requirement depending on the site specific conditions.
  - Noted and conditioned as a requirement
- 203 When a Development Permit is made for any building on an existing lot which is or may be affected by a Floodway or Flood Fringe area, the Development Authority shall require the applicant to submit a geotechnical report or a flood plain/flood hazard mapping study or both, prepared by a qualified professional in accordance with County requirements. These studies shall confirm that there is minimum contiguous developable area suitable for the building and related land on the subject lot and specify any flood mitigation measures to reduce potential damage from a flood event.
  - The subject parcel is located within the Flood Fringe Area however a geotechnical report was not considered essential to this application and was not requested by Engineering Services. AS the addition is for a sunroom addition only, Administration supports the waiver of this regulation.

Residential, Urban District (R-URB)

Section 340 Exceptions

*In the Hamlet of Bragg Creek, Dwellings and Accessory Buildings shall be Discretionary Uses* 

• The dwelling is a discretionary use, due to is location in the County, therefore, a Development Permit is required

Section 336 Maximum Parcel Coverage

- **Permitted:** 25% for principal building and 10% for total of Accessory building
- Proposed:
  - Principal Dwelling: ~7.48%
  - Accessory buildings: ~3.54%

Section 337 Maximum Building Height

- Permitted: 12.00 m (39.37 ft.);
- **Proposed:** 2.60 m (8.53 ft.), which meets the requirement

Section 338 Minimum Setbacks (Principal Building):

Front Yard

- **Permitted:** 6.00 m (19.69 ft.);
- **Proposed:** 29.37 m (96.35 ft.), which meets the requirement.



Side Yard (one side without lane)

- Permitted: 3.00 m (9.84 ft.);
- Proposed: 9.90 m (32.48 ft.) (west) / 10.13 m (33.23 ft.) + ~7.80 m (25.59 ft.) (deck), (east), which meets the requirement.

Rear Yard

- **Permitted:** 8.00 m (26.25 ft.);
- Proposed: ~10.60 m (34.77 ft. )which meets the requirement

### STATUTORY PLANS:

This property falls within Greater Bragg Creek Area Structure Plan however, this plan does not provide guidance for applications of this nature. The plan does support the development of residential uses within the hamlet plan area. As such, the application was evaluated in accordance with the Land Use Bylaw C-8000-2020.

### **INSPECTOR'S COMMENTS:**

• An inspection was not completed at the time of report preparation

### **CIRCULATIONS:**

Alberta Transportation

• Regarding application for the following municipal approvals:

Referral / File Number	Description	Location
RSDP032987-1	DEVELOPMENT REFERRAL - PRDP20203251	Highway 22, 758 NE-12-23-5-5 Lot 14 Block 2 Plan 820 LK
	Dwelling, single detached (existing), construction of a sunroom and deck	

- In reviewing the application, the proposed development falls within the control distance of a
  provincial highway as outlined in the Highways Development and Protection Act / Regulation.
  The proposed development, however, will not cause any concern for ongoing highway operation
  or future highway expansion.
- Pursuant to Section 25(3)(c) of the Highways Development and Protection Regulation, Alberta Transportation issues an exemption from the permit requirements to Kym & Mel Lomenda for the development listed above.

**Building Services Review** 

- Advisory Condition Ensure the spatial separation for the entire house with the sunroom is compliant with 9.10.15.
- Take note that translucent cladding material including plastic panels will also be considered glazing for the purposes of calculating the maximum amount of glazing permitted.



### ABC articles for applicant/designer information

- 9.10.15.4. Glazed Openings in Exposing Building Face
- 1) Except as provided in Sentence (6), the maximum aggregate area of glazed openings in an *exposing building face* shall
  - a) conform to Table 9.10.15.4.,
  - b) conform to Subsection 3.2.3., or
  - c) where the *limiting distance* is not less than 1.2 m, be equal to or less than the *limiting distance* squared.

### **Development Compliance Officer Review**

No comments received

### Planning and Development - Engineering Services Review (November 13, 2020)

### General:

• The review of this file is based upon the application submitted. Should the submission material be altered or revised at subsequent development stages these conditions/recommendations may be subject to change to ensure best practices and procedure.

### Geotechnical:

- Engineering has no requirements at this time.
- There appears to be no steep slopes on the subject land.

### Transportation:

- Engineering has no requirements at this time.
- There appears to be an existing road approach off of Burntall Drive providing access to the subject land.
- The applicant/owner will not be required to pay the transportation offsite levy, as per the applicable TOL bylaw at time of DP issuance, as the development is directly associated with the construction of a dwelling.

### Sanitary/Waste Water:

• Engineering has no requirements at this time.

### Water Supply And Waterworks:

• Engineering has no requirements at this time.

### **Storm Water Management:**

- Engineering has no requirements at this time.
- It appears that the addition would have minimal impacts to existing drainage conditions. The development will also be maintaining the natural area as much as possible, which is in accordance with recommended LID measures for minor developments in the Bragg Creek Master Drainage Plan.



### **Environmental:**

• <u>As an advisory condition</u>, the applicant/owner will be required to obtain all applicable AEP approvals should the development directly impact any wetlands.

**Operations Division Review** 

• No comments received

### **OPTIONS:**

Option #1: (this would allow the development to proceed)

APPROVAL, subject to the following conditions:

### Description:

1) That construction of an addition to the existing dwelling, single detached may take place on the subject land, in accordance with the approved site plan and conditions of this permit.

### Permanent:

- 2) That any plan, technical submission, agreement, matter, or understanding submitted and approved as part of the application or in response to a Prior to Issuance condition shall be implemented and adhered to in perpetuity.
- 3) That Applicant/Owner shall connect the proposed development to the Bragg Creek water distribution and sewer system, if not connected and required.
  - That water and wastewater volumes used by the development shall be within the amounts allocated to the subject lands, and all overages shall be billed in accordance with the Master Rates Bylaw and the Water & Wastewater Utilities Bylaw (C-7662-2017).
  - ii) That the Applicant/Owner shall contact County Utility Operations for the installation or relocation of any required water meter. The installation or relocation of the water meter by County Utility Operations shall be at the Applicant/Owner's expense.
- 4) That any flood proofing measures shall be followed in accordance with the Alberta Building Code, good engineering practice and recommendations stated in the Greater Bragg Creek Area Structure Plan.
- 5) That the Applicant/Owner shall ensure that all habitable floor levels are flood-proofed at or above the 1 in 100 flood elevation level. Any construction below this flood level will require engineered flood proofing measures before acceptance by the County.

Note: The required flood elevation level is 1,299.45 m (as per Alberta Environment & Parks)

- 6) That there shall be no more than 1.00 m (3.28 ft.) of fill/topsoil placed adjacent to or within 15.00 m (49.21 ft.) of the proposed addition under construction that is used to establish approved final grades unless a Development Permit has been issued for additional fill and topsoil.
- 7) That it is the Applicant/Owner's responsibility to obtain and display a distinct municipal address, in accordance with the County Municipal Addressing Bylaw (Bylaw C-7562-2016), for the dwelling unit located on the subject site to facilitate accurate emergency response.

### Advisory:

8) That during construction, the County's Noise Control Bylaw C-5772-2003 shall be adhered to at all times.

**ROCKY VIEW COUNTY** 

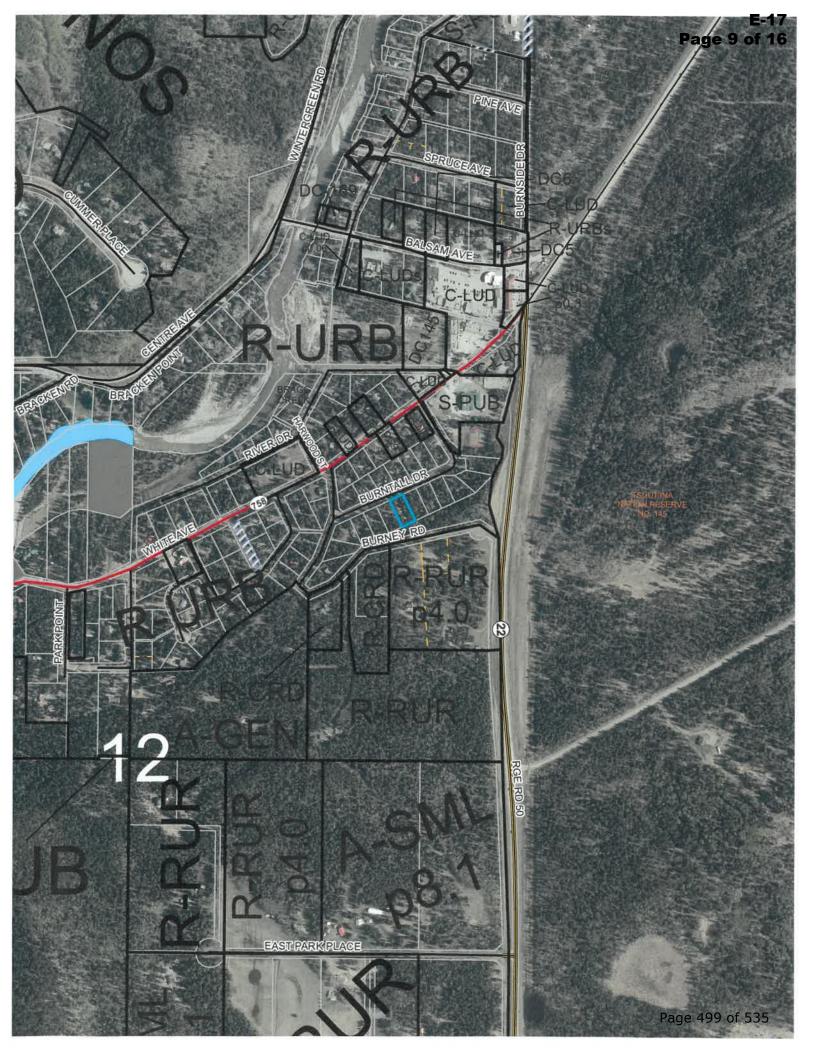
- 9) That during construction, all construction and building materials shall be maintained onsite in a neat and orderly manner. Any debris or garbage shall be stored/placed in garbage bins and disposed of at an approved disposal facility.
- 10) That a Building Permit shall be obtained, through Building Services prior to any construction taking place, using the Addition checklist.
- 11) That any other government permits, approvals, or compliances are the sole responsibility of the Applicant/Owner.
- 12) That if the development authorized by this Development Permit is not commenced with reasonable diligence within 12 months from the date of issue, and completed within 24 months of the issue, the permit is deemed to be null and void, unless an extension to this permit shall first have been granted by the Development Authority.

Option #2: (this would not allow the development to proceed)

REFUSAL, for the following reasons:

1. That in the opinion of the Municipal Planning Commission, the development unduly interferes with the amenities of the neighbourhood and materially interferes with and affects the use, enjoyment, and value of neighbouring parcels of land.





# DEVELOPMENT PERMIT APPLICATION

	E-1				
Page 10 of 16 FOR OFFICE USE ONLY					
APPLICATION NO.	20203251				
ROLL NO.	03912144				
RENEWAL OF					
FEES PAID	\$3/5.00				
DATE OF RECEIPT	act 22, 2020				

APPLICANT/OWNER					5.5	
Applicant Name: BRHD M17	zten					
Business/Organization Name (if appl		ower sur	ROOMS			
Landowner Name(s) per title (if not th	e Applicant): KYN	( & NEL LO	MENDA			
Business/Organization Name (if appli						
LEGAL LAND DESCRIPTION - Sub	ject site					
All/part of: 1/4 Section:	Township:	Range:	West of:	Meridian	Division:	
All parts of Lot(s)/Unit(s): /4	Block: Z	Plan: 820	LK	Parcel Siz	e (ac/ha):	
Municipal Address: 19 BURNT	ALL DR. BR	the CREEK	Land Use Dis	strict:		
APPLICATION FOR - List use and se	cope of work				125.2	
NEW DECK AND	SUNROOM					
Variance Rationale included:	es 🗆 no 🗆 n/a		DP Check	list Included:		
SITE INFORMATION				list Included:		
a. Oil or gas wells present on or	r within 100 metres o		erty(s)	list Included:	□ YES	NO NO
a. Oil or gas wells present on or b. Parcel within 1.5 kilometres of	r within 100 metres o of a sour gas facility (	well, pipeline or pla	erty(s)	list Included:	□ YES □ YES	NO NO
a. Oil or gas wells present on or b. Parcel within 1.5 kilometres of c. Abandoned oil or gas well or (Well Map Viewer: https://extma	r within 100 metres o of a sour gas facility ( pipeline present on t apviewer.aer.ca/AER4	well, pipeline or pla the property AbandonedWells/Inc	erty(s) ant) lex.html)		□ YES □ YES □ YES	NO NO NO
SITE INFORMATION         a.       Oil or gas wells present on or         b.       Parcel within 1.5 kilometres of         c.       Abandoned oil or gas well or         (Well Map Viewer: https://extmated.       Subject site has direct access	r within 100 metres o of a sour gas facility ( pipeline present on t apviewer.aer.ca/AER4	well, pipeline or pla the property AbandonedWells/Inc	erty(s) ant) lex.html)		□ YES □ YES	NO NO NO
SITE INFORMATION         a.       Oil or gas wells present on or         b.       Parcel within 1.5 kilometres or         c.       Abandoned oil or gas well or         (Well Map Viewer: https://extmat         d.       Subject site has direct access	r within 100 metres o of a sour gas facility ( pipeline present on t apviewer.aer.ca/AER4 s to a developed Mut	well, pipeline or pla the property <u>AbandonedWells/Inc</u> nicipal Road (acce	erty(s) ant) <u>lex.html)</u> ssible public ro	badway)	<ul> <li>YES</li> <li>YES</li> <li>YES</li> <li>YES</li> </ul>	NO NO NO NO
SITE INFORMATION         a.       Oil or gas wells present on or         b.       Parcel within 1.5 kilometres of         c.       Abandoned oil or gas well or         (Well Map Viewer: https://extma         d.       Subject site has direct access         AUTHORIZATION         I,       BAM MITCHEW	r within 100 metres o of a sour gas facility ( pipeline present on t apviewer.aer.ca/AERA s to a developed Mut	well, pipeline or pla the property <u>AbandonedWells/Inc</u> nicipal Road (acce (Full name in Bloc	erty(s) ant) <u>lex.html</u> ) ssible public ro k Capitals) <b>, he</b>	oadway) reby certify (i	<ul> <li>YES</li> <li>YES</li> <li>YES</li> <li>YES</li> </ul>	NO NO NO NO
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Blueflower Sunrooms Bay 9- 41070 cook Rd Rockyview County T4C 3A2

To whom it may concern,

Blueflower Sunrooms is asking for a development permit for 19 Burntall Drive in Bragg Creek.

We are proposing to remove the existing deck and install a SIP (structural insulated panel) system which will support and insulate a new Sunroom. The project is 11' 3" wide by 13' 10" wide (157 sq ft), glass paneling on 3 sides with a glass roof. The attached documents have elevations of the SIP panel deck and Sunroom for your discretion.

Thank you,

Brad Mitchell Blueflower Sunrooms 403-851-2089



LAND TITLE CERTIFICATE

S					
LINC 0015 954 837					TITLE NUMBER
0015 954 657	020LK;2;1	.*2			101 091 556
LEGAL DESCRIPTI	ION				
PLAN 820LK					
BLOCK 2 Lot 14					
EXCEPTING THERE	TM AT.T. MT	NES AND M	TNERALS		
ESTATE: FEE SIN	1PLE				
ATS REFERENCE:	5;5;23;12;	NE			
MUNICIPALITY: R	OCKY VIEW	COUNTY			
REFERENCE NUMBE	ER: 041 167	437			
DECTORDERTON		EGISTERED			
				VALUE	CONSIDERATION
101 091 556 3	30/03/2010	TRANSFER	OF LAND	\$650,000	\$650,000
OWNERS					
MELVIN GEORGE I	lomenda				
AND					
KYMBERLIN BINNS	5				
BOTH OF:					
	ENC	CUMBRANCES	, LIENS &	INTERESTS	
REGISTRATION					
NUMBER DA	TE (D/M/Y)	PAI	RTICULARS		
101 091 557 3	80/03/2010	Mortgage			
				ORTGAGES INC.	
		FIRSTLINE			
		33 YONGE	ST, SUITE	700	

ENCUMBRANCES, LIENS & INTERESTS

PAGE 2 # 101 091 556

REGISTRATION

\_\_\_\_\_

NUMBER DATE (D/M/Y) PARTICULARS 

\_\_\_\_\_

TORONTO ONTARIO M5E1G4

ORIGINAL PRINCIPAL AMOUNT: \$385,000

101 136 602 12/05/2010 CAVEAT **RE : ENCROACHMENT AGREEMENT** 

TOTAL INSTRUMENTS: 002

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN ACCURATE REPRODUCTION OF THE CERTIFICATE OF TITLE REPRESENTED HEREIN THIS 2 DAY OF OCTOBER, 2020 AT 02:19 P.M.

ORDER NUMBER: 40237806

CUSTOMER FILE NUMBER:



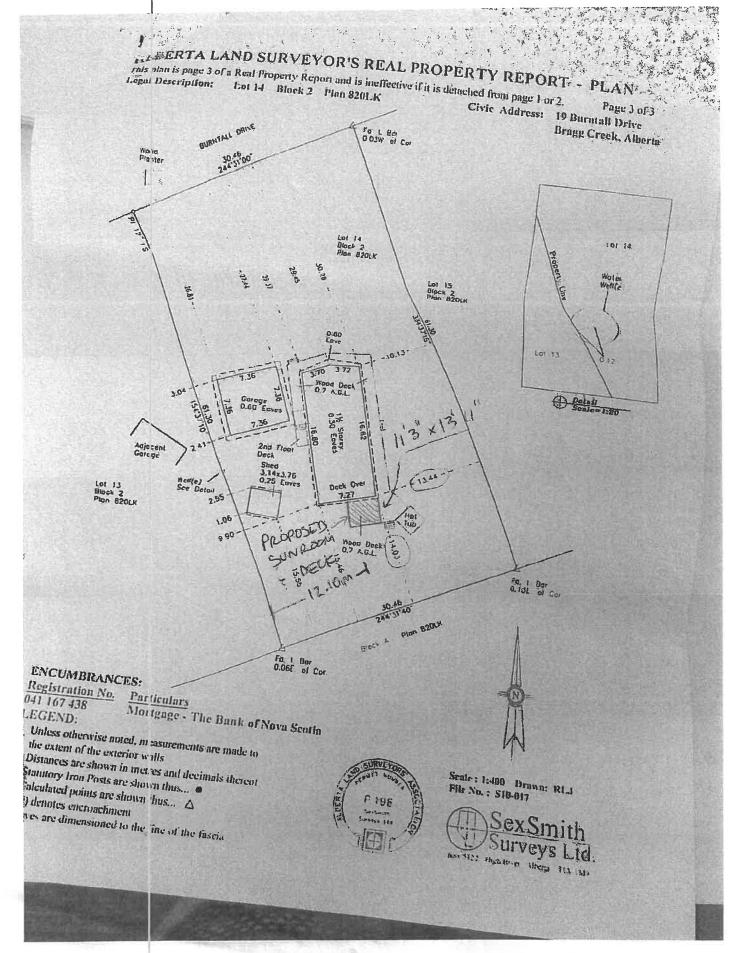
\*END OF CERTIFICATE\*

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED FOR THE SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER, SUBJECT TO WHAT IS SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION, APPRAISAL OR OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS PART OF THE ORIGINAL PURCHASER APPLYING PROFESSIONAL, CONSULTING OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT (S).

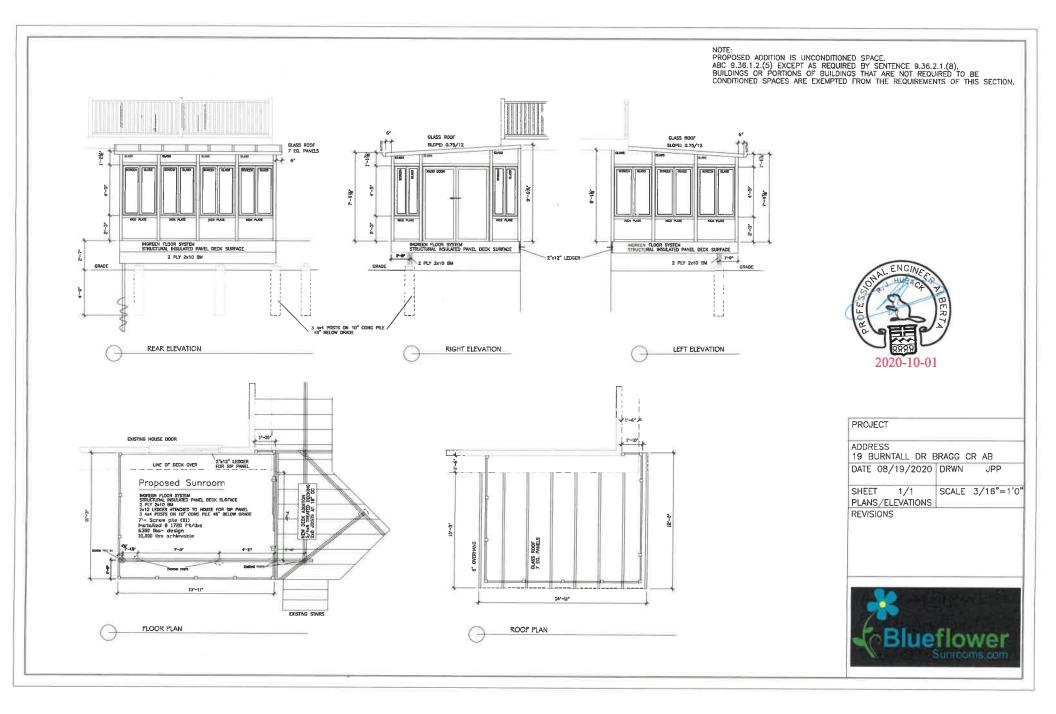


10/2/2020



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Page 505 of 5/35





# PLANNING AND DEVELOPMENT SERVICES

TO: Municipal Planning Commission

DIVISION: 8

SUBJECT: Development Item: Accessory Dwelling Unit

**USE:** Discretionary Use, with no Variances

**APPLICATION:** Dwelling, single detached (existing), construction of an addition including an accessory dwelling unit.

**GENERAL LOCATION:** located approximately 0.50 km (1/3 mile) south of Twp. Rd. 254 and on the west side of Hwy 1.

LAND USE DESIGNATION: Residential, Country Residential District (R-CRD) under Land Use Bylaw C-8000-2020

**ADMINISTRATION RECOMMENDATION:** Administration recommends Approval in accordance with Option #1.

## **OPTIONS:**

- Option #1: THAT Development Permit Application PRDP20203462 be approved with the conditions noted in the Development Permit Report, attached.
- Option #2: THAT Development Permit Application PRDP20203462 be refused as per the reasons noted.

## AIR PHOTO & DEVELOPMENT CONTEXT:



**DATE:** December 10, 2020

**APPLICATION:** PRDP20203462



# **DEVELOPMENT PERMIT REPORT**

Application Date: October 22, 2020	File: 05619060
Application: PRDP20203462	Applicant/Owner: Nguyen, Andrew & Erin
Legal Description: Lot 2, Block 9, Plan 9912049, NW-19-25-02-05	<b>General Location:</b> located approximately 0.50 km (1/3 mile) south of Twp. Rd. 254 and on the west side of Hwy 1.
Land Use Designation: Residential, Country Residential District (R-CRD) and Land Use Bylaw C-8000-2020	Gross Area: ± 0.82 hectares (± 2.04 acres)
File Manager: Bronwyn Culham	Division: 8

## PROPOSAL:

The proposal is for a dwelling, single detached (existing), construction of an addition including an accessory dwelling unit (ADU). The ADU will be constructed on top of the existing attached garage within the principal dwelling. The total floor area of the ADU is approximately 80.26 sq. m (864.00 sq. ft.). The existing rear entrance of the house would be relocated for more accessibility to the proposed ADU. The garage would be extended and an extension would be constructed between the house and garage to connect both spaces.

The ADU would be serviced through an existing connection from the communal pipe system from Blazer Water Systems Ltd, and the onsite private sewage treatment system.

## Property History:

Development Permit History:

- PRDP20190508 Accessory building (existing), relaxation of total number of accessory building; Closed-Approved April 24, 2019
- 2002-DP-10108 Dwelling and accessory building (garage), moved-in, and relaxation of the maximum building area (garage); Closed-Complete December 12, 2002

## Building Permit History:

- 2003-BP-16141 Single family dwelling; occupancy granted Jan 20, 2003
- 2003-BP-16143 Accessory Building (garage); Open Application Jan 20, 2003
- PRBD20203633 Residential Renovation; Waiting for Applicant Information

## Land Use Bylaw Requirements:

## Section 8 Definitions

ACCESSORY DWELLING UNIT (ADU) means a subordinate Dwelling Unit that may be located within a principal building or an accessory building. An Accessory Dwelling Unit that is external to the principal building shall be on a permanent foundation and has a minimum gross floor area (GFA) of 37.1 m2 (399.34 ft2).



DWELLING or DWELLING UNIT means a building or portion of a building consisting of one or more rooms operated or intended to be operated as a permanent residence for a household, containing cooking, sleeping and sanitary facilities only for that unit. All Dwellings or Dwelling Units shall have a permanent foundation.

#### Accessory Dwelling Unit

Section 122 Accessory Dwelling Unit General Requirements:

- a) Where an Accessory Dwelling Unit is not located within another Dwelling Unit, it shall be considered part of the total building area of an accessory building,
  - The proposed ADU is located within the principal dwelling unit
- b) Accessory Dwelling Units shall:
  - *i.* Be constructed on a permanent foundation,
    - The proposed ADU is located within the existing dwelling (garage), which is on a permanent foundation.
  - ii. Comply with the regulations in the applicable District,
    - The proposed ADU complies with the regulations in the R-CRD District.
  - iii. Not exceed a gross floor area of 150 sq. m (1614.59 sq. ft.),
    - The gross floor area of the ADU is 80.26 sq. m (864.00 sq. ft.).
  - iv. Include sleeping, sanitary, and cooking facilities,
    - As per the floor plans provided with the application, the ADU contains a kitchen, bedroom, washroom, laundry, sitting room, and two reading rooms.
  - v. Provide a minimum of one dedicated on-site parking stall, and
    - There is one parking spot available for the ADU within the existing garage.
  - vi. Have a distinct County address to facilitate accurate emergency response;
    - The municipal address for the ADU is A 78 CAMPBELL DRIVE.

Section 123 Accessory Dwelling Unit Site Requirements:

- a) A parcel shall be limited to one Accessory Dwelling Unit, unless otherwise stated in a given District.
  - The property contains one proposed ADU

Section 124 Accessory Dwelling Unit Site Requirements:

- a) A Development Permit application will respond to Section 122 and 123 and further set out:
  - *i.* The architectural character of the Accessory Dwelling Unit,
    - The applicant has indicated that the exterior dwelling is being renovated and that the exterior features of the ADU will be in keeping with the style of the renovations on the dwelling



- ii. The location and setbacks of the Accessory Dwelling Unit,
  - Front Yard
    - **Permitted:** 15.00 m (49.21 ft.)
    - **Proposed**: 96.81 m (317.61 ft.)
  - Side Yard
    - o Permitted: 3.00 m (9.84 ft.)
    - o Proposed: 6.03 m (19.78 ft.) / 19.14 m (62.79 ft.)
  - Rear Yard
    - **Permitted:** 6.00 m (19.69 ft.)
    - **Proposed:** 15.04 m (49.34 ft.)
- iii. Amenity space for the Accessory Dwelling Unit, and
  - The ADU shares access to all land and amenity space on the property
- *iv.* Any landscaping or screening.
  - The ADU will be part of the principal dwelling with the construction of an additional storey. No landscaping was indicated as part of the application.

Residential, Country Residential District (R-CRD)

Section 325 Discretionary Uses

Accessory Dwelling Unit

- Section 327 Maximum Density is 2 Dwelling Units per parcel (1 Dwelling, Single detached and 1 other Dwelling Unit)
  - The property contains one dwelling, single detached plus the proposed ADU

Section 329 Maximum Dwelling Height

- **Permitted:** 12.00 m (30.37 ft.)
- **Proposed:** ~9.44 m (31.00 ft.)

## STATUTORY PLANS:

The subject property is located within the City of Calgary / Rocky View County Intermunicipal Development Plan (IDP). The application was circulated in accordance with the policies in the IDP; however, the City did not provide any comments.

## **INSPECTOR'S COMMENTS:**

Inspection: November 24, 2020

- Construction on dwelling has begun, no construction on Accessory Dwelling Unit
- Some screening via shrubs
- Ample parking in garage
- Access to amenity space



## CIRCULATIONS:

Alberta Transportation

• Regarding application for the following municipal approval: Addition (ADU) to existing home

Referral/File Number	Description	Location
RSDP033136-1	DEVELOPMENT REFERRAL – PRDP20203462	Highway 1A
	Dwelling, single detached (existing), construction	NW-19-25-02-05
	of an addition including an accessory dwelling unit	Lot 2 Block 9 Plan 9912049,

- In reviewing the application, the proposed development falls within the control distance of a provincial highway as outline in the Highways Development and Protection Act/ Regulation. The proposed development, however, will not cause any concern for ongoing highway operation or future highway expansion.
- Pursuant to Section 25(3)(c) of the *Highways Development and Protection Regulation*, Alberta Transportation issues an exemption from the permit requirements to Andrew and Erin Nguyen for the development listed above.

#### City of Calgary

• No comments received.

#### **Building Services Review**

- Advisory Condition The tapered tread in the new stairs for the ADU must match the run dimension for the other treads in the flight.
- Advisory Condition Furnace and water heater for ADU must be located in an insulated space
- Advisory Condition Mechanical room for ADU walls must be drywalled.
- Advisory Condition doorway between main house and foyer requires a self-closing door
- Advisory Condition Reading room must be separated from the stairs
- Advisory Condition Foyer cannot be ducted by the ADU mechanical room nor the main house mechanical room
- Advisory Condition Foyer must be heated with a separate heating system like electric baseboard heat.
- Advisory Condition If the garage is to be shared then a wall must be installed to separate the two sides.

#### **Development Compliance Officer Review**

• Development Compliance has no comments or concerns related to the attached application.

#### Planning and Development - Engineering Services Review

• No requirements at this time.

## **OPTIONS:**

Option #1: (this would allow the proposed development)

APPROVAL, subject to the following conditions:



## **Description:**

1) That an addition including an Accessory Dwelling Unit, approximately (80.26 sq. m (864.00 sq. ft.) in gross floor area, may be constructed on the subject parcel, in general accordance with the submitted application and design drawings, dated October 23, 2020, titled *Extension of Residence* and Site Survey, as prepared by Global Raymac Surveys, dated August 20, 2020; File 20CR0850.

## Prior to Issuance:

2) That prior to issuance of this permit the Applicant shall confirm acceptance of or refusal to participate in the Voluntary Recreation Contribution for Community Recreation Funding on the form provided by the County and that the contribution, if accepted, is \$800, calculated at \$800.00 for each new residential unit.

#### Permanent:

- 3) That any plan, technical submission, agreement, matter or understanding submitted and approved as part of the application, in response to a Prior to Issuance or Occupancy condition, shall be implemented and adhered to in perpetuity.
- 4) That there shall be a minimum of one (1) parking stall maintained on-site at all times dedicated to the Accessory Dwelling Unit.
- 5) That the Accessory Dwelling Unit shall be subordinate to the dwelling, single detached.
- 6) That there shall be a distinct municipal address created for each dwelling unit (the dwelling, single detached and the ADU located on the subject site, to facilitate accurate emergency response. *Note, the municipal address for the* Accessory Dwelling Unit *is A 78 CAMPBELL DRIVE.*
- 7) That there shall be adequate water servicing provided for the Accessory Dwelling Unit and it is the Applicant/Owner's responsibility to provide water quantity in accordance with the recommendations found in Module 2 of the document "Water Wells That Last for Generations" published by Agriculture and Agri-Food Canada, Alberta Environment, Alberta Agriculture and Food.
- 8) That there shall be adequate sanitary sewer servicing provided for the Accessory Dwelling Unit.

#### Advisory:

- 9) That the site shall conform to the County's Noise Bylaw C-5773-2003 in perpetuity.
- 10) That the site shall remain free of restricted and noxious weeds and be maintained in accordance with the Alberta Weed Control Act *[Statutes of Alberta, 2008 Chapter W-5.1; Current as of December 15, 2017].*
- 11) That during construction, all construction and building materials shall be maintained onsite, in a neat and orderly manner. Any debris or garbage shall be stored/placed in garbage bins and disposed of at an approved disposal facility.
- 12) That a Building Permit and applicable sub trades for the addition and for the Accessory Dwelling Unit shall be obtained through Building Services prior to any construction taking place.
- 13) That water conservation measures shall be implemented in the Accessory Dwelling Unit, such as low-flow toilets, shower heads and other water conserving devices.
- 14) That if the development authorized by this Development Permit is not commenced with reasonable diligence within 12 months from the date of issue, and completed within 24 months



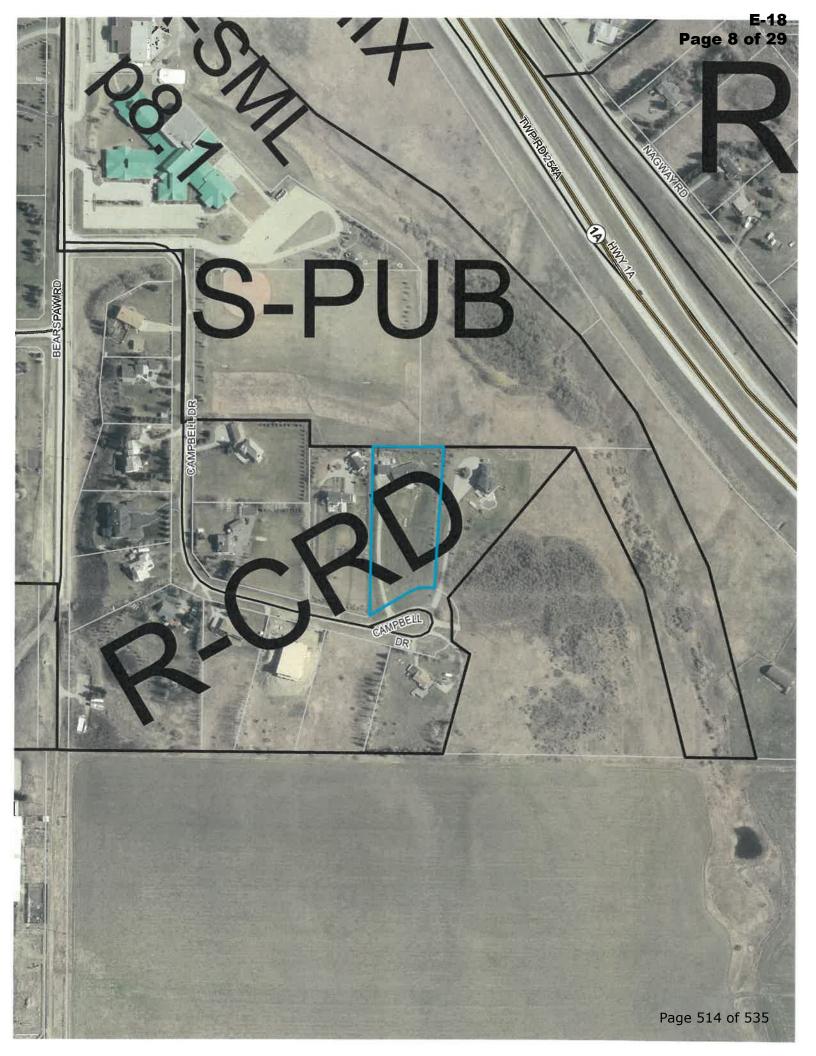
of the issue, the permit is deemed to be null and void, unless an extension to this permit shall first have been granted by the Development Officer.

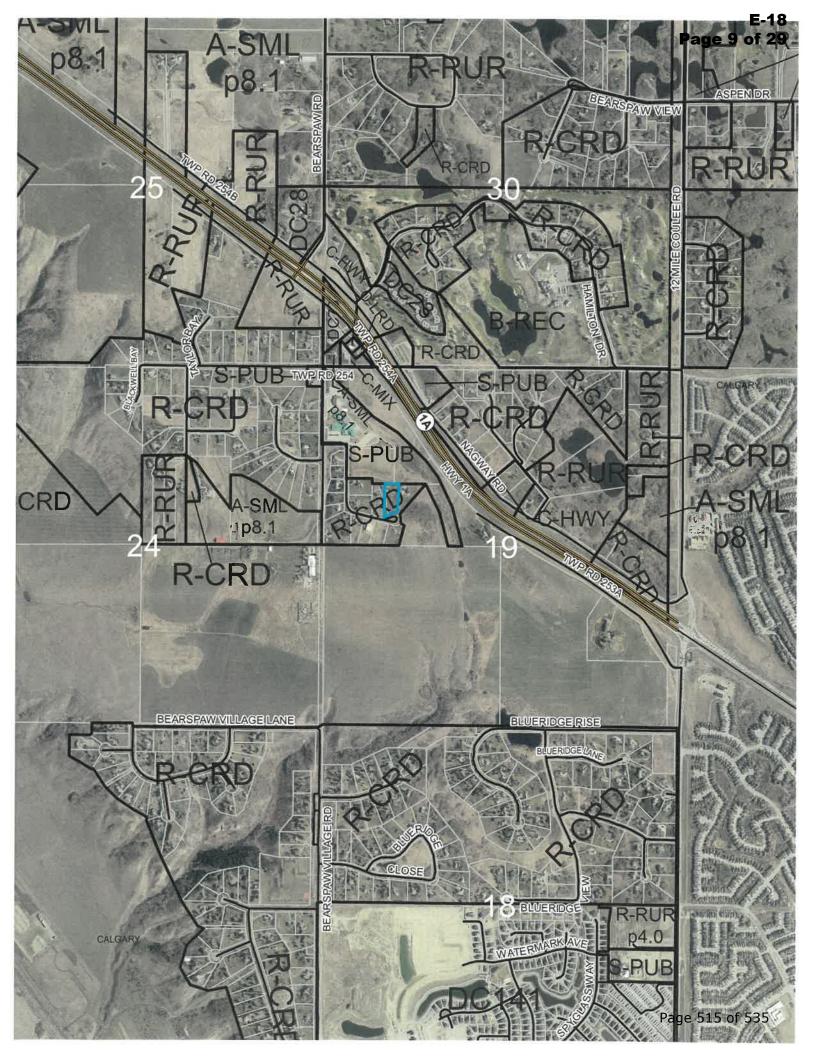
- 15) That any other government permits, approvals, or compliances are the sole responsibility of the Owner/Applicant.
- 16) That if this Development Permit is not issued by **June 30**, **2021**, or the approved extension date, then this approval is null and void and the Development Permit shall not be issued.

Option #2: (this would not allow the development to proceed)

REFUSAL, for the following reasons:

1. That in the opinion of the Municipal Planning Commission, the development unduly interferes with the amenities of the neighbourhood and materially interferes with and affects the use, enjoyment, and value of neighbouring parcels of land.

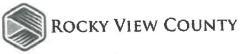




					P	age 1
ROCKY VIEW COUNTY			FOR OFFICE USE ONLY			
			APPLICATION NO.	2020	034	62
			ROLL NO.	05619(	260	
<b>DEVELOPMENT PE</b>	RMIT		RENEWAL OF	-		
APPLICATION			FEES PAID			
			DATE OF RECEIPT	10/22	12020	5
APPLICANT/OWNER						
Applicant Name: Andrew N	guyen   Erin	Negayen	_			
Business/Organization Name (if appli	cable):	7		6		
Landowner Name(s) per title (if not th	e Applicant):					
Business/Organization Name (if appli	cable):					
Mailing Address:				Postal Cod	le:	
Telephone (Primary):		Email:		•		
LEGAL LAND DESCRIPTION - Subj	ect site			THE SHOP		
All/part of: NW14 Section: 19	Township: 25	Range: 2	West of: 5	Meridian	Division:	
All parts of Lot(s)/Unit(s):	Block: 9	Plan: 991;	2049	Parcel Size	e (ac/ha):	2.04
	pbell Drive		Land Use Dist	-		
APPLICATION FOR - List use and se						institut.
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withus. We will connect						
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Variance Rationale included:			DP Checkli	st included:	YES	
SITE INFORMATION				127	-1-1-5A M	199
a. Oil or gas wells present on or					C YES	
b.       Parcel within 1.5 kilometres of a sour gas facility (well, pipeline or plant)       □ YES □         c.       Abandoned oil or gas well or pipeline present on the property       □ YES □						
(Well Map Viewer: https://extm	apviewer.aer.ca/AER/	AbandonedWells/Ir				
d. Subject site has direct acces	s to a developed Mu	nicipal Road (acc	essible public roa	adway)	VYES	
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submitted/contained within th	is application as par	t of the review pro	ocess. I acknowle	dge that the i	information	
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Municipal Government Act.						
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Applicant Signature	2	Lando	wner Signature	Oct 26	1845	2

262075 Rocky View Point, Rocky View County, AB, T4A 0X2

Development Permit Application - Updated August 2020



# ACCES INFORMATIO

ROCKY VIEW COUNTY			FU	R OFFICE USE ONLY	
9			APPLICATION NO.		
ACCESSORY DWELLING UNIT (ADU)			ROLL NO.	00619060	
			DISTRICT		
ETAILS/DESCRIPTON			BUILDING T	YPE/LOCATION	
Gross floor area of ADU	864	(m² (ft.2)	D Existing OR New Building		
leight of building (if applicable)	25'4"	(m (ft.))	Located within		
Age of building (if existing)	new		Principal Dwelling		
Contains sleeping, cooking, and sanitary facilities?	ng, cooking, and IPYES, shown on plan		Accessory Building     Manufactured Home		
Number of bedrooms	1		Tiny Hom Other (sp		
Number of parking spaces allotted Location of parking area: <u>one</u> ら	1		Other (specify):		
Describe how the ADU complement windows, etc.): <u>Externor</u> and <u>all styles</u> <u>Ingether</u> . Describe how the ADU minimizes in building, screening/landscaping ele <u>Mother</u> and with <u>dwelling</u> from the NOTE: Submission to include ph Development Permit Checklist for	npact on neighboring p ments etc.): <u>H</u> is <u>he outside</u> . otographs of the exis	properties (i.e.	location of AD of our	U on parcel, design of home, for our our principal	
WATER SOURCE					
Connection to Communal W Connection to Communal W Share Existing Groundwater New Well NOTE: The location of new or existing are 6 or more parcels on a quarter-sec	Well wells is to be shown on			house	
SEWAGE TREATMENT AND DIS					
Connection to Communal Se	ewage Collection Syste te Sewage Treatment	System (show	location on Si	nation from system operator) te Plan) Going through existing e Plan)	

Construction of New Private Sewage Treatment System (show location on Site Plan)

Applicant Signature

N

Date OCT 26 2020

Accessory Dwelling Unit (ADU) - Information Sheet

Page 1 of 1

October 22, 2020

Attn: Rocky View County

File #:

RE: **78 Campbell Drive, Bearspaw, Alberta T3L 2P5** Lot 2, Block 9, Plan 991 2049 within NW 1/4 Sec 19 TWP 25 RGE 2 W5W

Owners: Andrew and Erin Nguyen

Introduction:

We are requesting permission for an accessory dwelling unit (ADU) on our existing residential property in a proposed newly built second floor over the garage. The intended use of the ADU is a 'mother-in-law' suite, for my mother who currently resides in the home.

Scope of work:

-Construct additional floor above existing garage space.

-Extend existing garage.

-Relocate existing entrance at the rear to the side of the house for more accessibility.

-Construct an extension between existing house and garage to connect both spaces.



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LAND TITLE CERTIFICATE

LINC SHORT LEGAL TITLE NUMBER 0027 999 440 9912049;9;2 181 246 374 LEGAL DESCRIPTION PLAN 9912049 BLOCK 9 LOT 2 EXCEPTING THEREOUT ALL MINES AND MINERALS AREA: 0.825 HECTARES (2.04 ACRES) MORE OR LESS ESTATE: FEE SIMPLE ATS REFERENCE: 5;2;25;19;NW MUNICIPALITY: ROCKY VIEW COUNTY REFERENCE NUMBER: 041 160 405 REGISTERED OWNER(S) REGISTRATION DATE (DMY) DOCUMENT TYPE VALUE CONSIDERATION 181 246 374 15/11/2018 TRANSFER OF LAND \$820,000 \$820,000 OWNERS ANDREW MINH NGUYEN AND ERIN MADELINE NGUYEN BOTH OF: ENCUMBRANCES, LIENS & INTERESTS REGISTRATION

981 083 830 23/03/1998 UTILITY RIGHT OF WAY GRANTEE - CANADIAN WESTERN NATURAL GAS COMPANY LIMITED.

PARTICULARS

NUMBER DATE (D/M/Y)

( CONTINUED )

ENCUMBRANCES, LIENS & INTERESTS PAGE 2 # 181 246 374 REGISTRATION DATE (D/M/Y) PARTICULARS NUMBER \_\_\_\_\_\_ 991 191 499 07/07/1999 UTILITY RIGHT OF WAY GRANTEE - THE MUNICIPAL DISTRICT OF ROCKY VIEW NO. 44. AS TO PORTION OR PLAN: 9912050 021 207 012 14/06/2002 RESTRICTIVE COVENANT 181 246 375 15/11/2018 MORTGAGE MORTGAGEE - THE TORONTO DOMINION BANK. 500 EDMONTON CITY CENTRE EAST EDMONTON ALBERTA T5J5E8 ORIGINAL PRINCIPAL AMOUNT: \$820,000

TOTAL INSTRUMENTS: 004

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN ACCURATE REPRODUCTION OF THE CERTIFICATE OF TITLE REPRESENTED HEREIN THIS 26 DAY OF OCTOBER, 2020 AT 02:54 P.M.

ORDER NUMBER: 40386462

CUSTOMER FILE NUMBER:



\*END OF CERTIFICATE\*

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED FOR THE SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER, SUBJECT TO WHAT IS SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION, APPRAISAL OR OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS PART OF THE ORIGINAL PURCHASER APPLYING PROFESSIONAL, CONSULTING OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT(S).

E-18 Inspection Photos Page 15 of 29 Date: November 24, 2020

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And topood LICOM BUILDERS AND 437-1527

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E-18 Inspection Photos Page 17 of 29 Date: November 24, 2020

E-18 Inspection Photos Page 18 of 29 Date: November 24, 2020

WASTE 403.630.9358

**油和安全会**目出

Crestwood

CUSTOM BUILDERS

(587) 437-1527

into

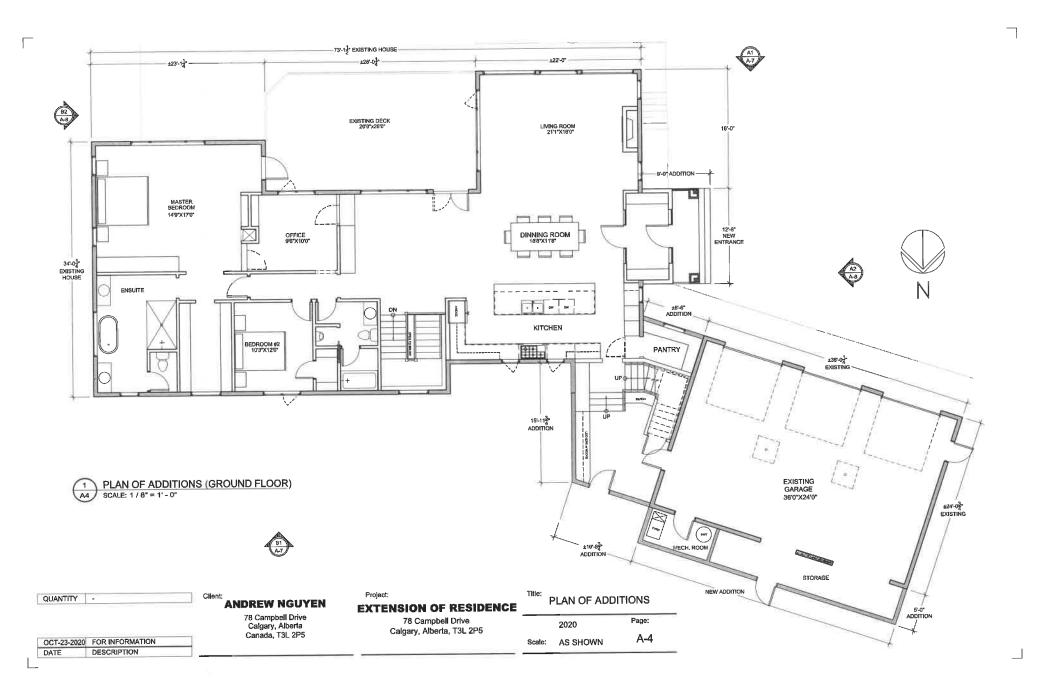
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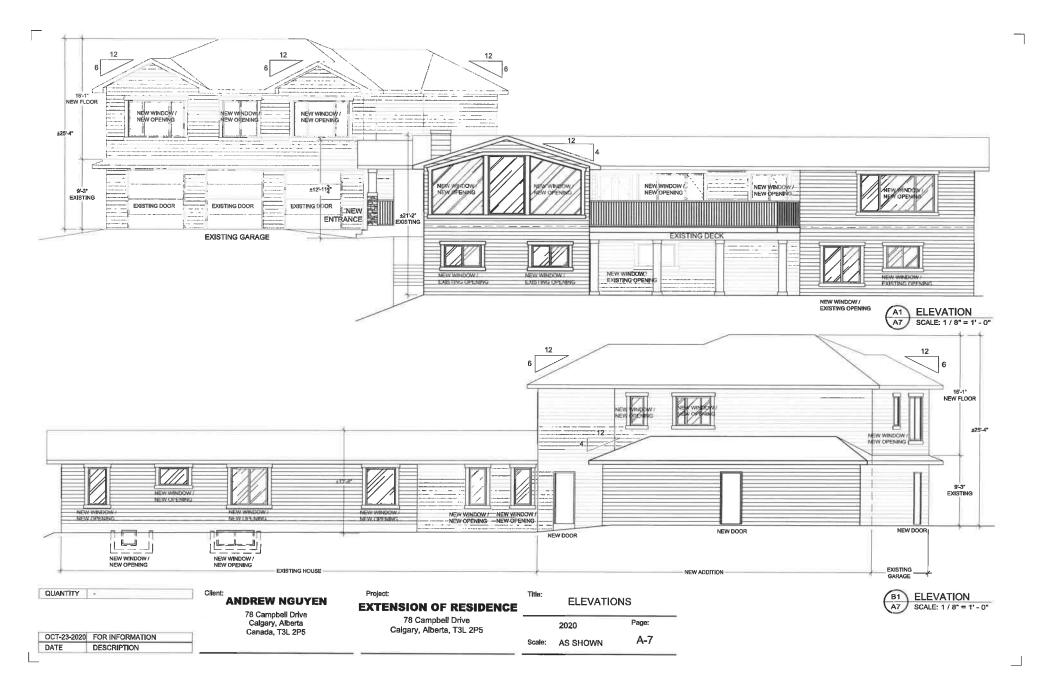
E-18 Inspection Photos Page 19 of 29 Date: November 24, 2020



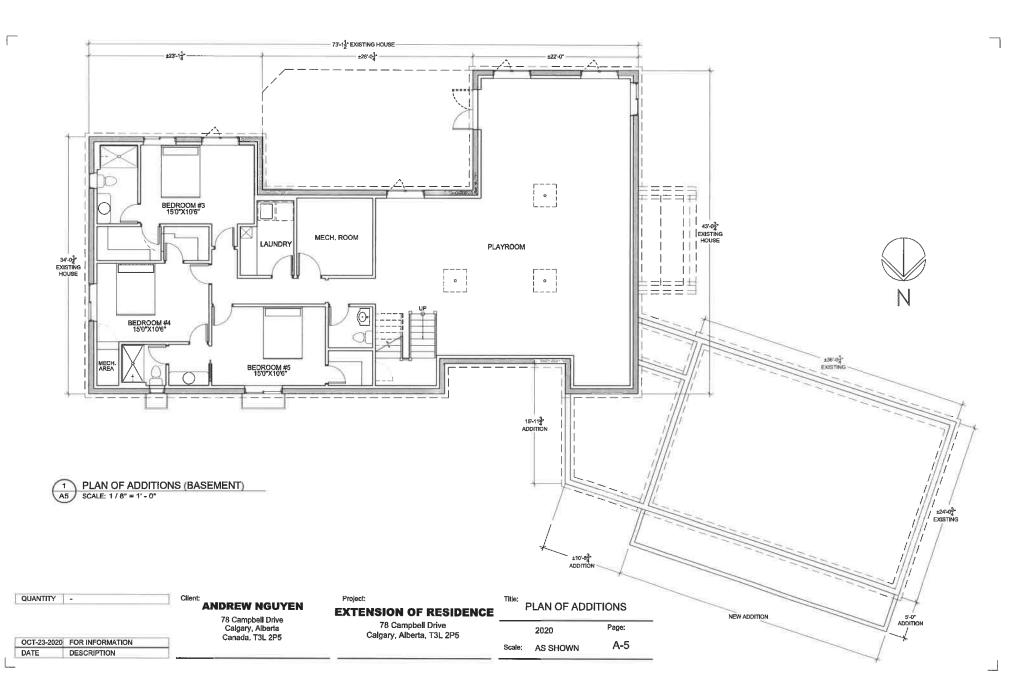
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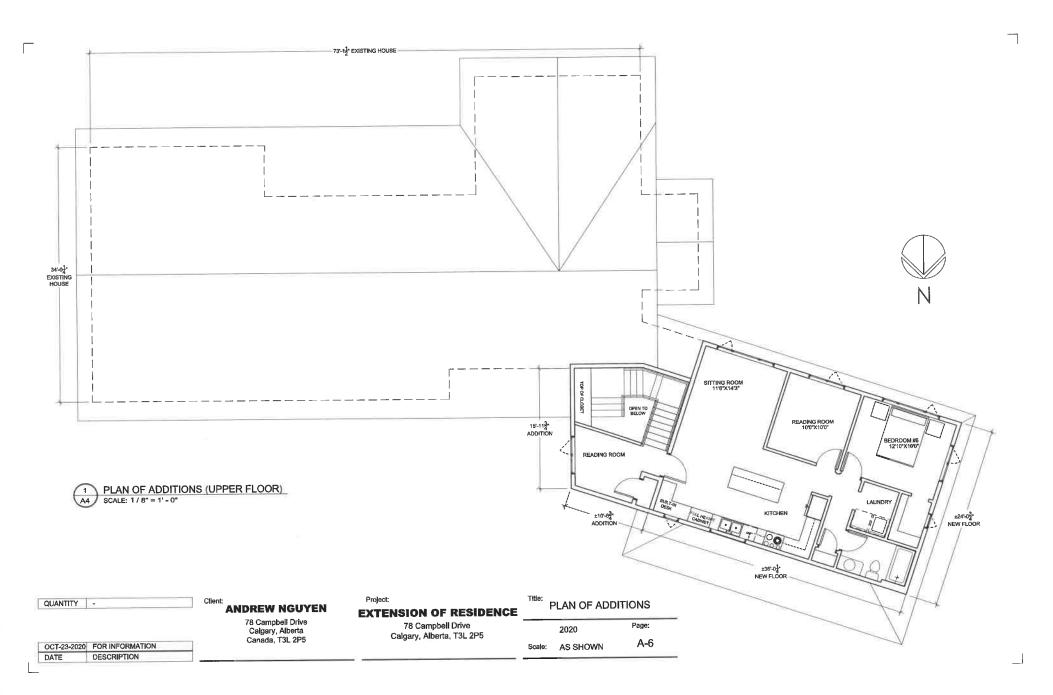
## E-18 Page 21 of 29

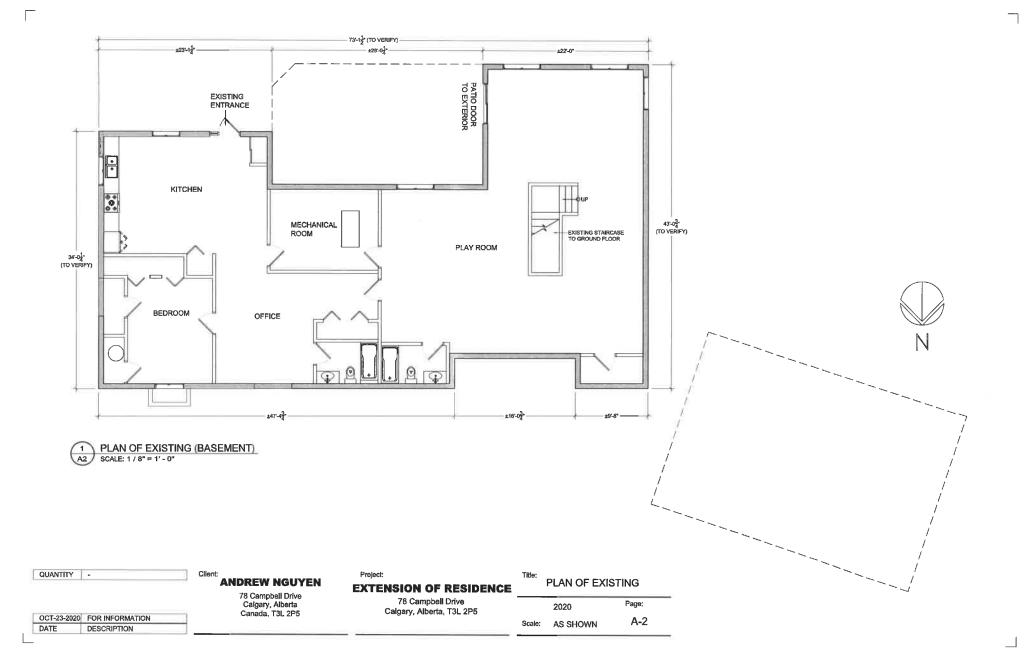








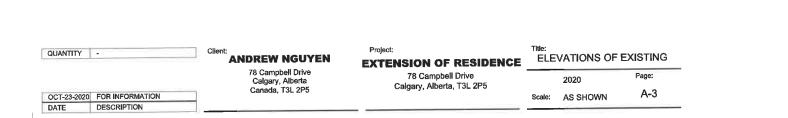






EXISTING DECK

EXISTING ENTRANCE EXISTING GARAGE



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B ELEVATION A3 SCALE: 1 / 8" = 1' - 0"

