

**SUBDIVISION AND DEVELOPMENT APPEAL BOARD
FOR ROCKY VIEW COUNTY AGENDA**

Date: July 29, 2021
Time: 9:00 AM
Location: <https://www.rockyview.ca/>

Pages

A. CALL MEETING TO ORDER

B. DEVELOPMENT APPEALS

9:00 AM APPOINTMENT

1. Division 5 File: 03330006; PRDP20211477

2

An appeal against the Development Authority's decision to approve a development permit application for Industrial (Light), construction of four (4) multi-bay commercial buildings, tenancy, and signage, and relaxation of the minimum tree/shrub requirement at 101 81 Prairie Place Block 13, Plan 1820 AM; SW-30-23-28-W04M and located approximately 0.41 kilometre (1/4 mile) north of Hwy 560 and 1.21 kilometres (3/4 mile) west of Range Road 285.

Appellant: Robert Mudd

Applicant: Lee Snowden

Owners: Sheila & Robert Mudd

10:30 AM APPOINTMENT

2. Division 8 File: 05607200; PRDP20212040

33

An affected party appeal against the Development Authority's decision to approve a development permit application for construction of a dwelling, single detached, relaxation of the maximum height requirement at 24 Bearspaw Terrace Lot 4 Block 2 Plan 1811748, NW-07-25-02-W05M and I located approximately 0.20 km (1/8 mile) south of Township Road 252 and on the west side of Bearspaw Village Road.

Appellants: Colin and Marilyn Outtrim

Applicant: Tricor Design Inc

Owner: Robert P. Petryk

C. ADJOURN THE MEETING

D. NEXT MEETING

August 19, 2021

**PLANNING AND DEVELOPMENT SERVICES**

TO: Subdivision and Development Appeal Board
DATE: July 29, 2021 **DIVISION:** 5
FILE: 03330006 **APPLICATION:** PRDP20211477
SUBJECT: Development Item: Industrial (Light) / Discretionary Use, with Variances

APPLICATION: Industrial (Light), construction of four (4) multi-bay commercial buildings, tenancy, and signage, and relaxation of the minimum tree/shrub requirement.

GENERAL LOCATION: Located approximately 0.41 kilometre (1/4 mile) north of Hwy 560 and 1.21 kilometres (3/4 mile) west of Range Road 285.

LAND USE DESIGNATION: Commercial, Local Rural District (C-LRDs h18)

EXECUTIVE SUMMARY: The application was presented to the Municipal Planning Commission (MPC) on June 23, 2021 and was conditionally approved.

This proposal is for the construction of four (4) multi-bay commercial buildings. Each bay contains warehouse space in the front and office space in the rear. The site is currently developed with multiple commercial buildings and an ancillary dwelling unit, most recently permitted for a landscaping company. The entire site will be demolished and redeveloped.

The Applicant requested a 52% variance to the minimum tree/shrub requirement due to a utility right-of-way along the west property line. Administration was of the opinion that there is sufficient room on-site for the required number of trees/shrubs outside of the right-of-way. As such, Administration recommended approval without the variance. MPC agreed with the recommendation and approved the application without the landscaping variance.

On July 15, 2021, the Applicant appealed the decision of the Municipal Planning Commission for several reasons, which are noted within the agenda package.

DECISION: Conditionally Approved

DEVELOPMENT / SUBDIVISION AUTHORITY: Municipal Planning Commission

DECISION DATE:
June 23, 2021

APPEAL DATE:
July 15, 2021

ADVERTISED DATE:
June 29, 2021

Administration Resources

Sandra Khouri, Planning & Development Services

AIR PHOTO & DEVELOPMENT CONTEXT:**VARIANCE SUMMARY:**

Regulation	Requirement	Proposed	Variance
Minimum number of trees	50	24	52.00%
Minimum number of shrubs	33	16	52.00%

APPLICATION EVALUATION:

The application was evaluated based on the technical reports submitted with the application and the applicable policies and regulations.

APPLICABLE POLICY AND REGULATIONS: <ul style="list-style-type: none"> • <i>Municipal Government Act;</i> • Subdivision and Development Regulations; • Municipal Development Plan; • Janet Area Structure Plan; • Land Use Bylaw; and • County Servicing Standards. 	DISCRETIONARY USE: <ul style="list-style-type: none"> • Industrial (Light)
	DEVELOPMENT VARIANCE AUTHORITY: <ul style="list-style-type: none"> • Subdivision and Development Appeal Board



APPEAL:

See attached report and exhibits.

Respectfully submitted,

“Heather McInnes”

Supervisor
Planning and Development Services

SK/sl



ATTACHMENT 'A': APPLICATION INFORMATION

APPLICANT: Lee Snowden	OWNER: Mudd, Sheila & Robert
DATE APPLICATION RECEIVED: April 7, 2021	DATE DEEMED COMPLETE: April 15, 2021
MUNICIPAL PLANNING COMMISSION DECISION DATE: June 23, 2021	
APPELLANT: 946992 Alberta LTD (Robert Mudd)	
GROSS AREA: ± 2.02 hectares (± 5.00 acres)	LEGAL DESCRIPTION: Block 13, Plan 1820 AM; SW-30-23-28-W04M
APPEAL BOARD: Subdivision and Development Appeal Board	
HISTORY: <p>November 9, 2011: development permit approval for a storage area, tenancy for storage of steel racking and shelving, and construction of a storage building</p> <p>August 25, 2009: development permit approval for General Industry Type II, for a landscape supply company and dwelling unit accessory to the use (existing dwelling)</p> <p>February 4, 2009: development permit approval for placement of clean fill, construction of a berm and a stormwater pond (placed without permits)</p> <p>June 12, 2007: Council approved an application to redesignate the subject lands from Residential Three District to General Business District (B-2).</p> <p>February 15, 2007: building permit approval for an existing office building</p> <p>December 17, 2006: building permit approval for a workshop</p> <p>August 15, 2003: development permit approval for the construction of a Quonset, relaxation of the maximum building area, relaxation of the total building area for all accessory buildings, relaxation of the maximum height requirement and relaxation of the total number of accessory buildings, and relaxation of the minimum side yard setback requirement on two (2) existing accessory buildings (small garage and shed)</p> <p>July 15, 1988: building permit approval for a dwelling, single detached</p>	
PUBLIC & AGENCY SUBMISSIONS: <p>The application was circulated to 13 adjacent landowners. At the time this report was prepared, no letters were received in support or objection to the application, excepting the appeal.</p>	



PLANNING AND DEVELOPMENT SERVICES

TO:	Municipal Planning Commission Development Authority	DIVISION: 5
DATE:	June 23, 2021	APPLICATION: PRDP20211477
FILE:	03330006	
SUBJECT:	Industrial (Light) / Discretionary use, with Variances	

APPLICATION: Industrial (Light), construction of four (4) multi-bay commercial buildings, tenancy, and signage, and relaxation of the minimum tree/shrub requirement

GENERAL LOCATION: Located approximately 0.41 kilometre (1/4 mile) north of Hwy 560 and 1.21 kilometres (3/4 mile) west of Range Road 285.

LAND USE DESIGNATION: Commercial, Local Rural District (C-LRDs h18)

EXECUTIVE SUMMARY: This proposal is for the construction of four (4) multi-bay commercial buildings. Each bay contains warehouse space and an overhead door in the front and office space in the rear. The site is currently developed with multiple commercial buildings and an ancillary dwelling unit, most recently permitted for a landscaping company. The entire site would be demolished and redeveloped.

A summary of the proposal is as follows:

- Building #1 (farthest west) has nine (9) bays and is approximately 1,153.86 sq. m (16,080.00 sq. ft.) in size.
 - Each bay is 128.21 sq. m (1,380.00 sq. ft.) in size, with warehouse space in the front, office space in the rear, and a mezzanine.
 - The total warehouse space is 769.24 sq. m (8,280.00 sq. ft.).
 - The total office space is 384.62 sq. m (4,140.00 sq. ft.).
 - The total mezzanine space is 384.62 sq. m (4,140.00 sq. ft.).
- Buildings #2, #3, and #4 (from west to east) are the same layout. Each has eight (8) bays and is approximately 1,070.24 sq. m (11,520.00 sq. ft.) in size.
 - Each bay is 133.78 sq. m (1,440.00 sq. ft.) in size, with warehouse space in the front, office space in the rear, and a mezzanine.
 - The total warehouse space is 713.50 sq. m (7,680.00 sq. ft.).
 - The total office space is 356.75 sq. m (3,840.00 sq. ft.).
 - The total mezzanine space is 356.75 sq. m (3,840.00 sq. ft.).

The Applicant intends to phase the development, with buildings #1 and #2 scheduled for the fall/winter of 2021. Construction dates for buildings #3 and #4 are unknown at this time; however, if not commenced within twelve months of the date of issue, a time extension will be required.

The Applicant has requested a 52% variance to the minimum tree/shrub requirement due to a utility right-of-way along the west property line. The development meet all other regulations of the Land Use Bylaw. Administration is of the opinion that there is sufficient room on-site for the required number of trees/shrubs outside of the right-of-way. As such, Administration recommends approval without a variance, in accordance with Option #1. If the Municipal Planning Commission (MPC) wishes to



approve the variance, it is recommended that Condition #2(i) be removed, in accordance with Option #2.

ADMINISTRATION RECOMMENDATION: Administration recommends approval in accordance with Option #1.

OPTIONS:

- Option #1: THAT Development Permit Application PRDP20211477 be approved with the conditions noted in Attachment 'A'.
- Option #2: THAT Development Permit Application PRDP20211477 be approved with the amended conditions noted in Attachment 'A', including the removal of Condition #2(i).
- Option #3: THAT Development Permit Application PRDP20211477 be refused.

AIR PHOTO & DEVELOPMENT CONTEXT:



VARIANCE SUMMARY:

Variance	Requirement	Proposed	Percentage (%)
Minimum number of trees	50	24	52.00%
Minimum number of shrubs	33	16	52.00%

APPLICATION EVALUATION:

The application was evaluated based on the technical reports submitted with the application and the applicable policies and regulations.

APPLICABLE POLICY AND REGULATIONS: <ul style="list-style-type: none"> • <i>Municipal Government Act;</i> • Subdivision and Development Regulations; • Municipal Development Plan; • Land Use Bylaw C-8000-2020 (LUB); • Janet Area Structure Plan; and • County Servicing Standards. 	TECHNICAL REPORTS SUBMITTED: <ul style="list-style-type: none"> • N/A
PERMITTED USE: <i>Industrial (Light)</i> is a discretionary use in C-LRD	DEVELOPMENT VARIANCE AUTHORITY: Municipal Planning Commission

Additional Review Considerations

Conditions were set based on the following items:

Parking

- *The minimum number of parking stalls required is as per table 5 (LUB).*
 - **Required: Office:** 3.0 stalls per 100 sq. m of gross floor area
 - Office space (building #1): 384.62 sq. m / 100 * 3 = **11 stalls**
 - Office space (building #2, #3, #4): 356.75 sq. m * 3 / 100 * 3 = **32 stalls**
 - **Required: Industrial (Light):** 1 stall per 100 sq. m of gross floor area
 - Warehouse/Mezzanine space (building #1): 769.24 sq. m (main floor) + 384.62 sq. m (mezzanine) / 100 * 1 = **11 stalls**
 - Warehouse/Mezzanine space (building #2, #3, #4): 713.50 sq. m (main floor) + 356.75 sq. m (mezzanine) * 3 / 100 * 1 = **32 stalls**
 - Total stalls required: **86 stalls, 4 barrier free**
 - **Proposed:** 60 stalls, 4 barrier free stalls
 - Applicant used Industrial (light) parking count for the entire building; revisions required
 - **Prior to Release:** revised parking plan with 86 stalls or appropriate Parking Assessment
- *The minimum parking stall dimensions are as per table 6 (LUB).*
- *Width:*
 - **Required:** 2.60 m (8.53 ft.)
 - **Proposed:** not provided
 - **Prior to Release:** revised parking plan with parking stall width

Accessible Parking Stall Dimensions:

- *Stall Width (in accordance with Alberta Building Code):*
 - **Required:** 2.40 m stall; 2.40 m access aisle
 - **Proposed:** unknown stall width; 2.40 m access aisle



- **Prior to Release:** revised parking plan with parking stall width of barrier-free stalls

Landscaping

- *One tree for every 40.0 m² (430.56 ft²) of the required landscaped area, to a minimum of four trees. One shrub for every 60.0 m² (645.83 ft²) of landscaped area shall be provided, to a minimum of six shrubs.*
 - **Required:** 50 trees, 33 shrubs
 - **Proposed:** 24 trees, 16 shrubs
 - The Applicant has requested a 52% variance to tree/shrub requirement due to an easement along the west property line. Administration is of the opinion that there is sufficient room on-site for the required amount of landscaping.

CONCLUSION:

Subject to the proposed conditions of approval, the application is recommended for approval.

Respectfully submitted,

Concurrence,

“Brock Beach”

“Kent Robinson”

Acting Executive Director
Community Development Services

Interim Chief Administrative Officer

SK/lt

ATTACHMENTS:

ATTACHMENT ‘A’: Development Permit Report Conditions

ATTACHMENT ‘B’: Maps and Other Information



ATTACHMENT 'A': DEVELOPMENT PERMIT REPORT CONDITIONS

Description:

1. That Industrial (Light), construction of four (4) multi-bay office/shop buildings may take place on the subject land in accordance with the approved site plan and drawings prepared by Ironwood Building Corp. dated April 7, 2021 (File no. 21187C), as amended, and conditions of this permit. The approval includes:
 - i. Demolition of all existing buildings;
 - ii. Construction of one (1) office/shop building with 9 bays, approximately $\pm 1,153.86$ sq. m (16,080.00 sq. ft.) in size, including 384.62 sq. m (4,140.00 sq. ft.) of developed mezzanine space;
 - iii. Construction of three (3) office/shop buildings with eight (8) bays each, approximately $\pm 1,070.24$ sq. m (11,520.00 sq. ft.) in size, including 356.75 sq. m (3,840.00 sq. ft.) of developed mezzanine space; and
 - iv. Signage includes the placement of 33 tenant façade signs, details in accordance with the revised signage plan.

Prior to Release:

2. That prior to release of this permit, the Applicant/Owner shall submit a revised landscape plan, to the satisfaction of the County, that includes the following:
 - i. The minimum number of trees and shrubs shall be provided (50 trees and 33 shrubs), in accordance with Section 259 of the Land Use Bylaw C-8000-2020 (LUB);
 - ii. A minimum 3.00 m wide landscaped area shall be provided between the front of all buildings and the adjoining parking area, in accordance with Appendix B of the Janet Area Structure Plan (ASP).
3. That prior to release of this permit, the Applicant/Owner shall submit a revised parking plan, to the satisfaction of the County, identifying the following:
 - i. The minimum number of parking stalls (86) shall be provided based on the office and shop areas identified on the floor plans, in accordance with the *Industrial (Light)* and *Office* uses under Section 235 Table 5 of the LUB;
 - a. If less than 86 stalls are to be provided, a Parking Assessment, prepared by a qualified professional, may be submitted to the Development Authority to document the parking demand and supply characteristics associated with the proposed development. The Development Authority shall not be bound by any recommendations of such a Parking Assessment.
 - ii. The minimum width of each parking stall (2.60 m [8.53 ft.]) and barrier-free stall (2.40 m [7.87 ft.] with a 2.40 m [7.87 ft.] access aisle) shall be provided, in accordance with Section 238 Table 6 of the LUB and Section 3.8.3.22 of the Alberta Building Code.
4. That prior to release of this permit, the Applicant/Owner shall submit revised elevation drawings, to the satisfaction of the County, that addresses the following:
 - i. The exterior colours, materials, and finishes of all buildings shall be coordinated to achieve a reasonable continuity of appearance, in accordance with Appendix B of the Janet ASP;
 - ii. The facades of buildings that exceed 30.00 m (98.42 ft.) measured horizontally and facing roadways (west façade of building #1), shall incorporate wall plane projections or recesses having a depth of at least three (3) percent of the length of the façade and



extending at least 20 percent of the length of the façade, in accordance with Appendix B of the Janet ASP;

- iii. That every bay of each building shall have a clearly defined main entrance featuring at least two of the following: canopy or portico; overhang or arcade; raised corniced parapet over the door; outdoor amenity area; upgraded window glazing areas; or integrated planters or landscaped sitting areas, in accordance with Appendix B of the Janet ASP.
5. That prior to release of this permit, the Applicant/Owner shall submit a signage plan indicating the dimensions, design, method of illumination, and location of any proposed tenant signage, to the satisfaction of the County.
6. That prior to release of this permit, the Applicant/Owner shall contact County Road Operations with haul details for materials and equipment needed during construction/site development to confirm if Road Use Agreements will be required for any hauling along the County road system and to confirm the presence of County road ban restrictions and to submit a new road approach application for the proposed/updated approach off Prairie Place.
 - i. Written confirmation shall be received from Road Operations, confirming the status of this condition.
7. That prior to release of this permit, the Applicant/Owner shall submit a security deposit for \$10,000 for the proposed/upgraded road approach.
8. That prior to release of this permit, the Applicant/Owner shall submit a Transportation Impact Assessment (TIA), conducted and stamped by a professional engineer, that assesses the traffic generated by the proposed development, and provides recommendations on any required improvements, in accordance with the County Servicing Standards and to the satisfaction of the County.
 - i. Should the TIA require improvements to the local road network, the Applicant/Owner shall enter into a Road Right of Way Construction Agreement with the County for the construction of the improvements.
9. That prior to release of this permit, the Applicant/Owner shall submit payment of the Stormwater Off-site Levy for the total gross acreage of the development area, in accordance with Bylaw C-8008-2020.
10. That prior to release of this permit, the Applicant/Owner shall submit a Site-Specific Stormwater Implementation Plan (SSIP), conducted and stamped by a professional engineer that is in accordance with the Co-operative Stormwater Management Initiative (CSMI) requirements, the County Servicing Standards, and to the satisfaction of the County.
11. That prior to release of this permit, the Applicant/Owner shall provide a fire fighting water supply strategy conducted and stamped by a professional engineer that supplies the necessary level of fire flow and is designed in accordance with the County's Fire Hydrant Water Suppression Bylaw and the County Servicing Standards to the satisfaction of the County.
12. That prior to release of this permit, the Applicant/Owner shall submit a construction management plan, in accordance with County Servicing Standards. The plan shall address any noise mitigation measures, traffic accommodation, sedimentation and dust control, management of stormwater during construction, erosion and weed control, construction practices, waste management, firefighting procedures, evacuation plan, hazardous material containment, and all other relevant construction management details.

**Prior to Occupancy:**

13. That prior to occupancy, all landscaping, parking, and final site surfaces shall be in place prior to occupancy of the site and/or buildings.
 - i. That should permission for occupancy of the site be requested during October through May inclusive, occupancy may be allowed without landscaping and final site surface completion provided that an Irrevocable Letter of Credit in the amount of 150.00% of the total cost of completing all the landscaping and final site surfaces shall be placed with Rocky View County to guarantee the works shall be completed by the 30th day of June immediately thereafter.
14. That prior to occupancy, the County shall perform an inspection of the site to verify that the road approach has been upgraded in accordance with the County Servicing Standards and approved plans.
 - i. The security will be returned upon a successful prior to occupancy inspection.
15. That prior to occupancy, Built to Design Certificates and As-built drawings certified by a professional engineer, shall be submitted. The as-built drawings shall include (where applicable): verification of as-built pond volumes, trap low volumes, liner verification, irrigation systems, and any other information that is relevant to the SSIP.

Permanent:

16. That any plan, technical submission, agreement, matter, or understanding submitted and approved as part of the application or in response to a prior to release or occupancy condition, shall be implemented and adhered to in perpetuity, including the SSIP.
17. That any proposed or replacement fencing shall be 2.00 m (6.56 ft.) in height or less, and shall be similar in design, character, and quality to the proposed development.
18. That no outdoor display areas, storage areas, parking, or marshalling yards shall be allowed within landscaped yards.
19. That all landscaping and topsoil placement shall be in accordance with the landscaping details provided on the Landscape Plan, as amended.
 - i. That the Applicant/Owner shall be responsible for irrigation and maintenance of all landscaped areas, including the replacement of any deceased trees, shrubs, or plants, within 30 days, or by June 30th of the next growing season.
 - ii. The vegetation type has to endure the irrigation from May to September.
 - iii. That water for irrigation and landscaping purposes shall only be supplied by the re-use of stormwater and not via the use of potable water.
20. That all sanitary sewage shall be contained in pump-out tanks and transported off-site to an approved wastewater receiving facility for disposal.
21. That potable water shall either be trucked onto the property and stored in cisterns or obtained from individual wells.
22. That no topsoil shall be removed from the site.
23. That any dirt removed from the site during construction shall be hauled off in a covered trailer/truck that will prevent blowing of dust/small rocks onto the road or issues with other vehicles on the road.
24. That dust control shall be maintained on the site during construction and that the developer shall take whatever means necessary to keep visible dust from blowing onto adjacent lands.



25. That any site regrading work is not to direct any additional surface drainage into County road rights-of-way, or to negatively impact surface drainage patterns in the area.
26. That there shall be a minimum of 86 parking stalls, including 4 barrier-free, maintained on-site at all times, in accordance with the approved Site Plan or as dictated by an approved Parking Assessment. All customer and employee parking shall be restricted to the subject land and there shall be no offsite parking.
27. That there shall be no parking or signage in the County road right-of-way.
28. That any future signage will require separate Development Permit approval.
29. That all signage shall be kept in a safe, clean, and tidy condition at all times.
30. That the entire site shall be maintained in a neat and orderly manner at all times. All garbage and waste material shall be deposited and confined in weatherproof and animal-proof containers located within the building or adjacent to the side or rear of the building and/or adequately screened or enclosed from view from all adjacent properties and public thoroughfares. All waste material shall be regularly removed from the property to prevent any debris from blowing onto adjacent property or roadways.
31. That it is the Applicant/Owner's responsibility to obtain and display a distinct municipal address in accordance with the County Municipal Addressing Bylaw (Bylaw C-7562-2016), for each building located on the subject site, to facilitate accurate emergency response.
32. That all on-site lighting shall be downturned and all private lighting, including site security lighting and parking area lighting, should be designed to conserve energy, reduce glare, and reduce uplift. All development will be required to demonstrate lighting design that reduces the extent of spill-over glare and eliminates glare as viewed from nearby residential properties.
33. That if the development authorized by this Development Permit is not commenced with reasonable diligence within twelve (12) months from the date of issue, and completed within twenty-four (24) months of the issue, the permit is deemed to be null and void unless an extension to this permit shall first have been granted by the Development Officer.
34. That if this Development Permit is not issued by January 31, 2022, or the approved extension date, this approval is null and void and the Development Permit shall not be issued.

Advisory:

35. That the site shall be maintained in compliance with County Bylaw No. C-7690-2017, the "Nuisance and Unsightly Property Bylaw", at all times. Any debris or garbage generated on the site shall be stored/placed in garbage bins and disposed of at an approved disposal facility.
36. That the County Bylaw C-8067-2020, the "Noise Bylaw", shall be adhered to at all times.
37. That a Building Permit and all applicable sub-trade permits shall be obtained, through Building Services, prior to any construction taking place, using the Commercial/Industrial checklist.
 - i. That the Applicant/Owner shall obtain Demolition Permits through Building Services, prior to demolition of any existing buildings on-site.

Note: The Development shall conform to the National Energy Code 2011.

38. That all future tenants will be required to apply for a New Business Tenant (No Change of Use) or a Change of Use (Land or Existing Building) Development Permit.
39. That the site shall remain free of restricted and noxious weeds and be maintained in accordance with the *Alberta Weed Control Act* [Statutes of Alberta, 2008 Chapter W-5.1; Current as of December 15, 2017].



40. That any other government permits, approvals, or compliances are the sole responsibility of the Applicant/Owner.



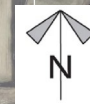
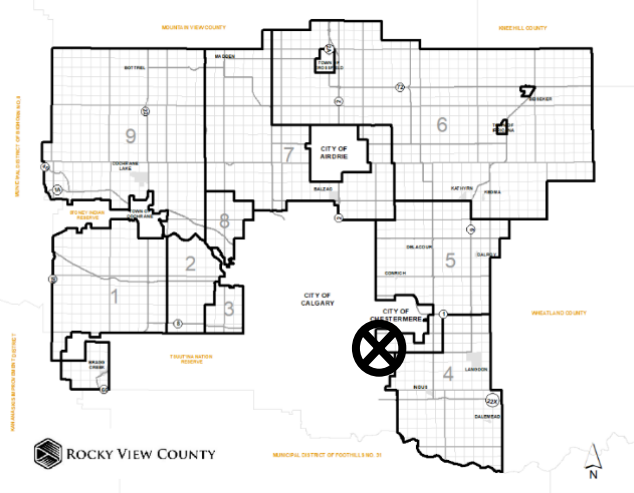
ATTACHMENT 'B': MAPS AND OTHER INFORMATION

APPLICANT: Lee Snowden	OWNER: Mudd, Sheila & Robert
DATE APPLICATION RECEIVED: April 7, 2021	DATE DEEMED COMPLETE: April 15, 2021
GROSS AREA: ± 2.02 hectares (± 5.00 acres)	LEGAL DESCRIPTION: Block 13, Plan 1820 AM; SW-30-23-28-W04M
APPEAL BOARD: Subdivision and Development Appeal Board	
HISTORY: <p>November 9, 2011: development permit approval for a storage area, tenancy for storage of steel racking and shelving, and construction of a storage building</p> <p>August 25, 2009: development permit approval for General Industry Type II, for a landscape supply company and dwelling unit accessory to the use (existing dwelling)</p> <p>February 4, 2009: development permit approval for placement of clean fill, construction of a berm and a stormwater pond (placed without permits)</p> <p>June 12, 2007: Council approved an application to redesignate the subject lands from Residential Three District to General Business District (B-2).</p> <p>February 15, 2007: building permit approval for an existing office building</p> <p>December 17, 2006: building permit approval for a workshop</p> <p>August 15, 2003: development permit approval for the construction of a Quonset, relaxation of the maximum building area, relaxation of the total building area for all accessory buildings, relaxation of the maximum height requirement and relaxation of the total number of accessory buildings, and relaxation of the minimum side yard setback requirement on two (2) existing accessory buildings (small garage and shed)</p> <p>July 15, 1988: building permit approval for a dwelling, single detached</p>	
AGENCY SUBMISSIONS: <p>The application was circulated to a number of internal and external agencies and, where appropriate, conditions of approval have been proposed based on these comments.</p>	

Location & Context

Development Proposal

Industrial (Light), construction of four (4) multi-bay commercial buildings, tenancy, and signage, and relaxation of the minimum tree/shrub requirement



Location & Context

Development Proposal

Industrial (Light), construction of four (4) multi-bay commercial buildings, tenancy, and signage, and relaxation of the minimum tree/shrub requirement

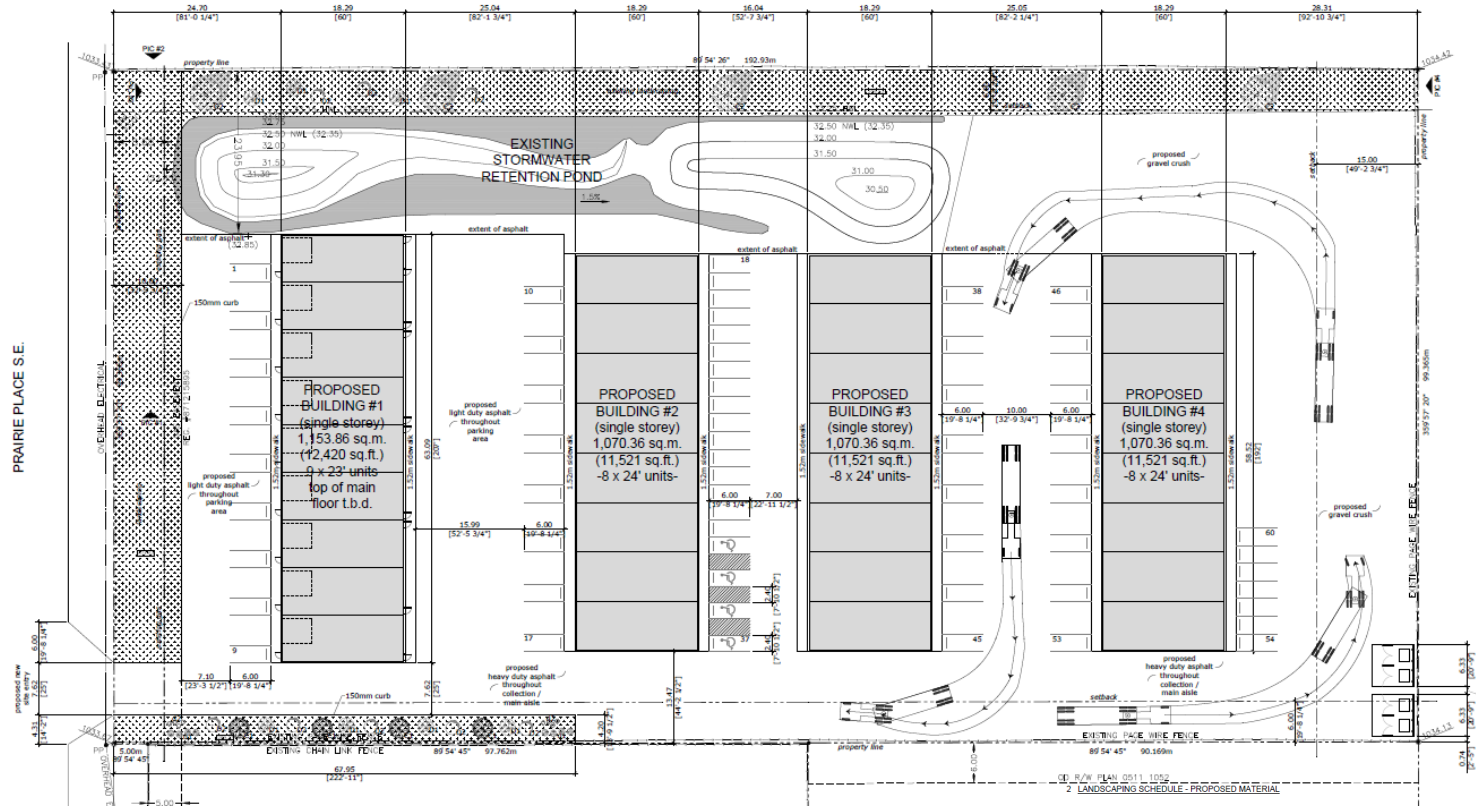


Division: 05
Roll: 03330006
File: PRDP20211477
Printed: April 23, 2021
Legal: Block: 13 Plan: 1820
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AM W04M

Site Plan

Development Proposal

Industrial (Light), construction of four (4) multi-bay commercial buildings, tenancy, and signage, and relaxation of the minimum tree/shrub requirement



4 VEHICLE PARKING ANALYSIS

(As per Rocky View County Land Use Bylaw)

INDUSTRIAL (LIGHT)	
Building 1 1 stall per 100m ² of GFA 1154m ² / 100m ² = 11.54 326m ² / 100m ² = 3.26 (mezzanines) = 14.8	15 stalls
Building 2 1 stall per 100m ² of GFA 1070m ² / 100m ² = 10.70 302m ² / 100m ² = 3.02 (mezzanines) = 13.7	14 stalls
Building 3 1 stall per 100m ² of GFA 1070m ² / 100m ² = 10.70 302m ² / 100m ² = 3.02 (mezzanines) = 13.7	14 stalls
Building 4 1 stall per 100m ² of GFA 1070m ² / 100m ² = 10.70 302m ² / 100m ² = 3.02 (mezzanines) = 13.7	14 stalls
Totals	
Total Required	57 stalls
Total Provided On Site	60 stalls
Barrier-Free Requirements (see N.B.C. 2019 (AE) Table 3.8.2.5.)	
4 barrier-free stalls per 51-100 total required	4 stalls

2 LANDSCAPING ANALYSIS

Total Landscaped Area	Required Landscaping: 1,917 sq. m. (10% of site area) Provided Landscaped Area: 2,370 sq. m.
Tree Calculations*	1 tree/ 40 sq. m. = 1917/40 = 47.925 = 48 trees required 24 trees provided (including 13 existing to be relocated) 38% coniferous = 4 trees (+5 existing) 62% deciduous = 7 trees (+8 existing)
Shrub Calculations*	1 shrub/ 60 sq. m. = 1917/60 = 31.95 = 32 shrubs required 16 shrubs provided 100% deciduous = 16 shrubs 0% coniferous = 0 shrubs
* Requesting a 50% reduction in required new trees and shrubs, due to Easement on West Property line.	

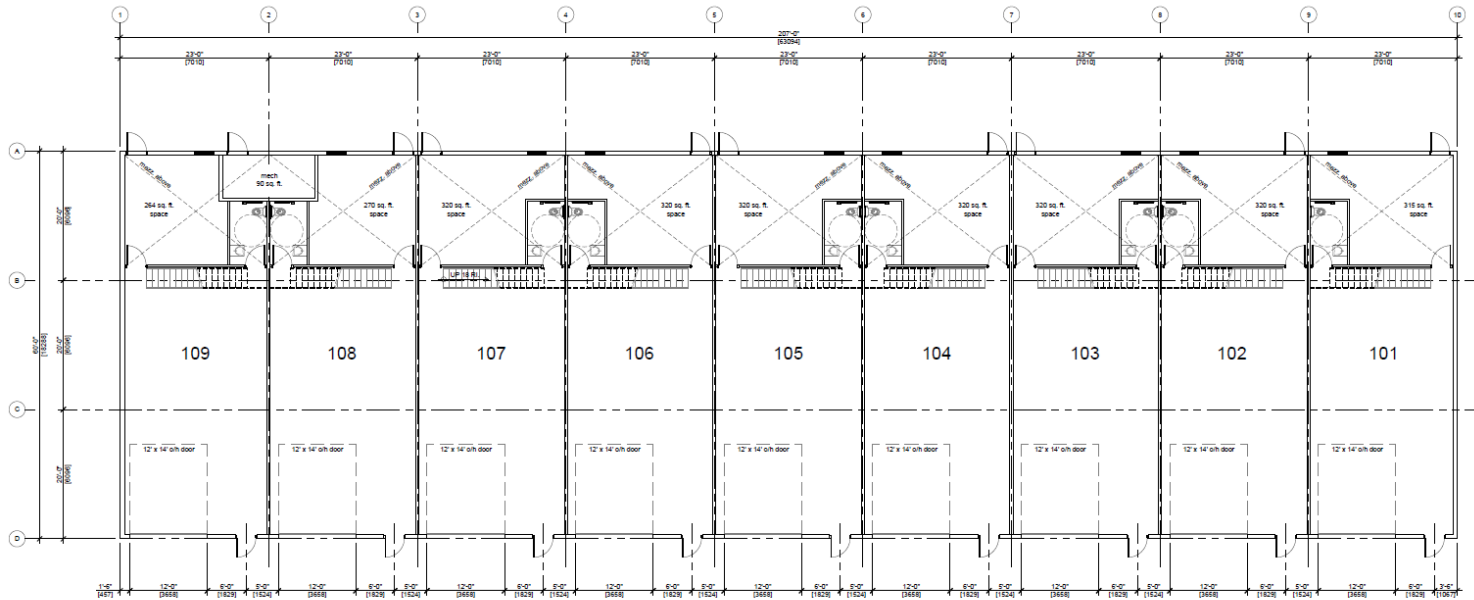
Coniferous Trees			
Label	Key	Species	Qty.
C1		New Bakeri Spruce <i>Picea pungens glauca 'Bakeri'</i> 4m h, 2-3m spread min. height 2.5m (at time of planting)	4
C2		Existing Relocated Tree	5
New Coniferous trees must have a minimum height of 2.5m at time of planting.			
No. Coniferous Trees Provided			
9			
Deciduous Trees			
D1		New Amur Maple <i>Acer ginnala</i> 4.5-6m h, 4-6m spread	7
D2		Existing Relocated Tree	8
Deciduous trees must have a minimum caliper of 63mm measured 450mm from ground level at time of planting.			
No. Deciduous Trees Provided			
15			
Deciduous Shrubs			
d1		New Goldflame Spiraea <i>Spiraea x bumalda 'Goldflame'</i> 0.45m h, 1m spread	8
d2		New Concord Barberr <i>Berberis thunbergii 'Concord'</i> 0.6m h, 0.6m spread	8
No. Deciduous Shrubs Provided			
16			
Grassed / Garden Areas			
ee		Maintained Grassed Area (300mm thick top soil) Urban Mix B As or Hydro seed Installation	n/a

Division: 05
Roll: 03330006
File: PRDP20211477
Printed: April 23, 2021
Legal: Block: 13 Plan: 1820
AM Pages 18 of 392-
W04M

Building #1 Floor Plan

Development Proposal

Industrial (Light), construction of four (4) multi-bay commercial buildings, tenancy, and signage, and relaxation of the minimum tree/shrub requirement

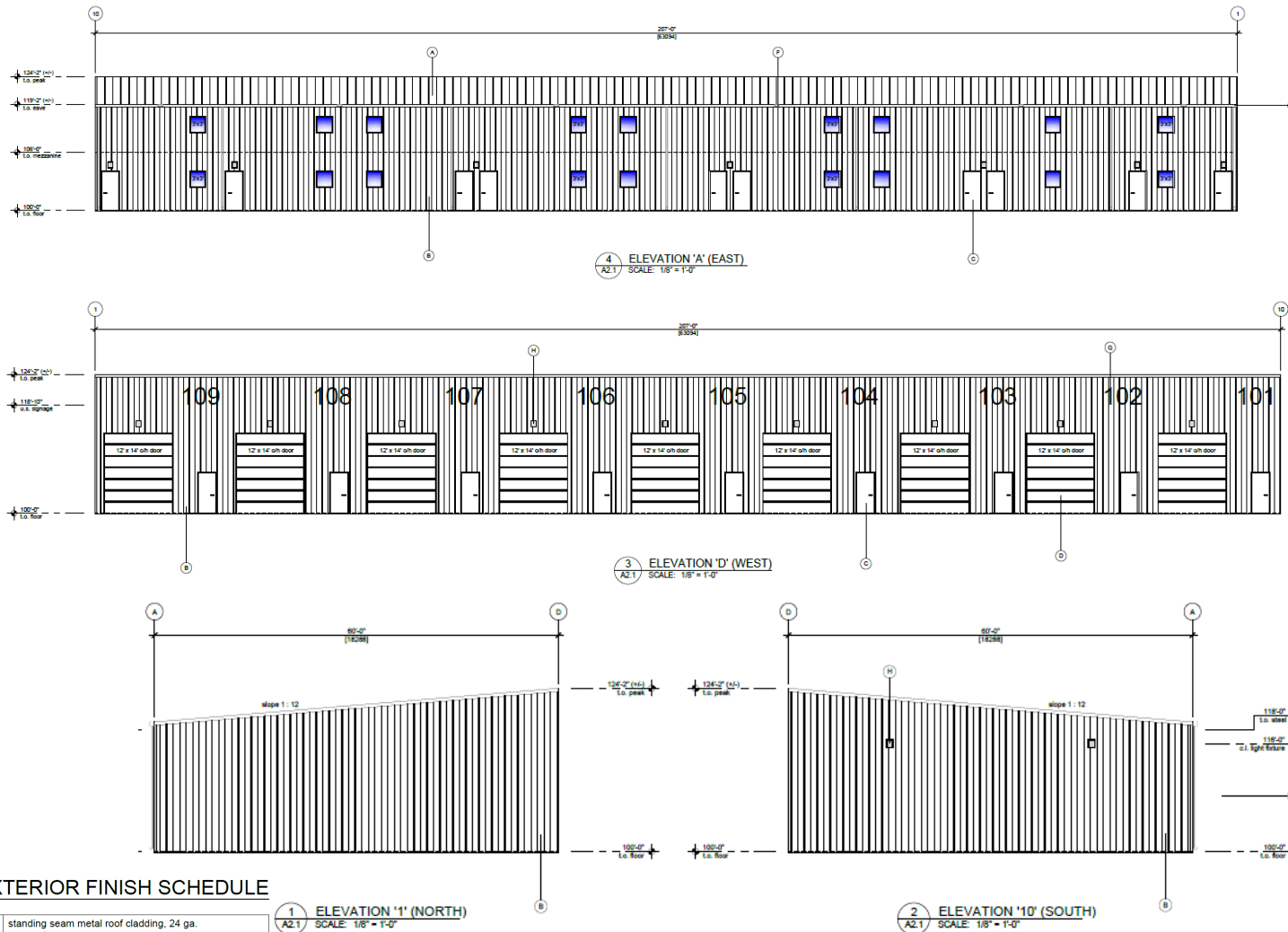


Division: 05
 Roll: 03330006
 File: PRDP20211477
 Printed: April 23, 2021
 Legal: Block: 13 Plan: 1820
 AM Page 18 of 32
 W04M

Building #1 Elevations

Development Proposal

Industrial (Light), construction of four (4) multi-bay commercial buildings, tenancy, and signage, and relaxation of the minimum tree/shrub requirement



EXTERIOR FINISH SCHEDULE

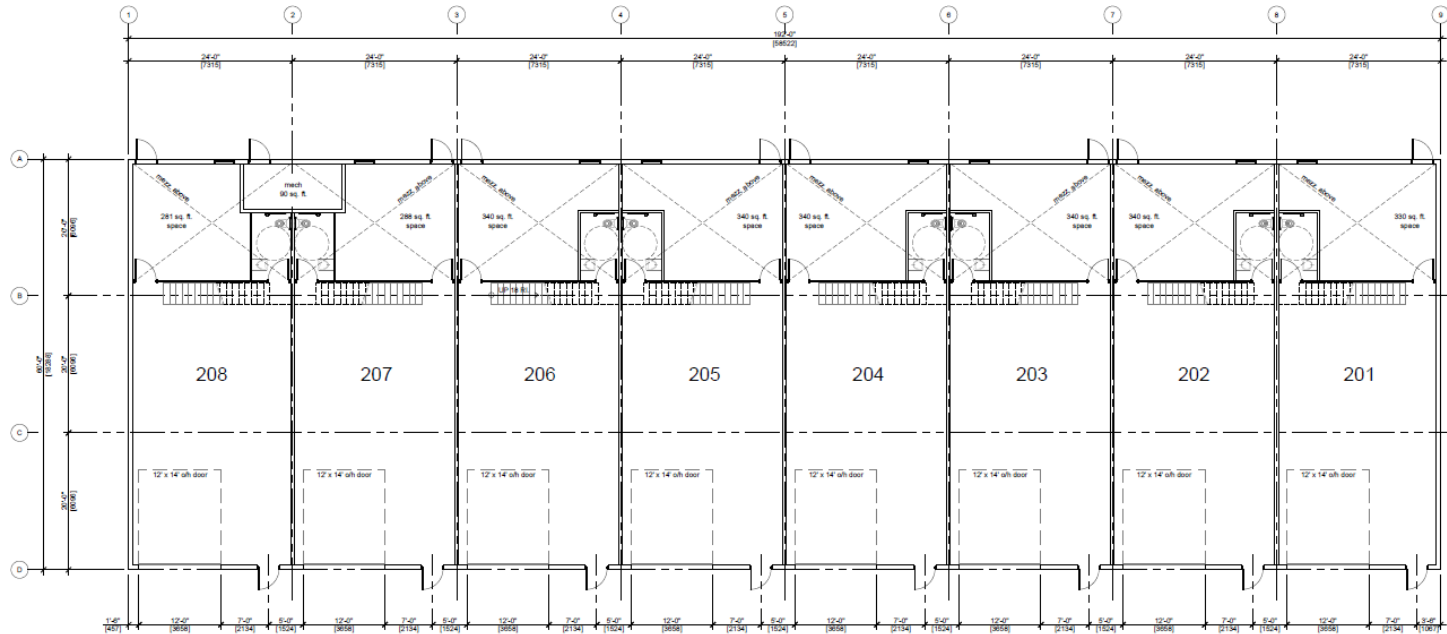
A	standing seam metal roof cladding, 24 ga. colour: Bare
B	VF 12-36 Reverse metal wall cladding, 26 ga. colour: t.b.d.
C	insulated steel walk door colour: manufacturer's primer (paint by others)
D	flush panel, insulated, steel o/h door colour: manufacturer's primer (paint by others)
E	pre-finished gutter & downspout colour: to match adjacent wall cladding
F	scupper drain
G	surface mounted signage size, colour, and placement t.b.c.
H	exterior wall mount 150w architectural luminaire (to conform to 'dark sky' requirements)

Division: 05
Roll: 03330006
File: PRDP20211477
Printed: April 23, 2021
Legal: Block: 13 Plan: 1820
AM Page 20 of 32
W04M

Building #2, #3, & #4 Floor Plan

Development Proposal

Industrial (Light),
 construction of four (4)
 multi-bay commercial
 buildings, tenancy, and
 signage, and relaxation of
 the minimum tree/shrub
 requirement

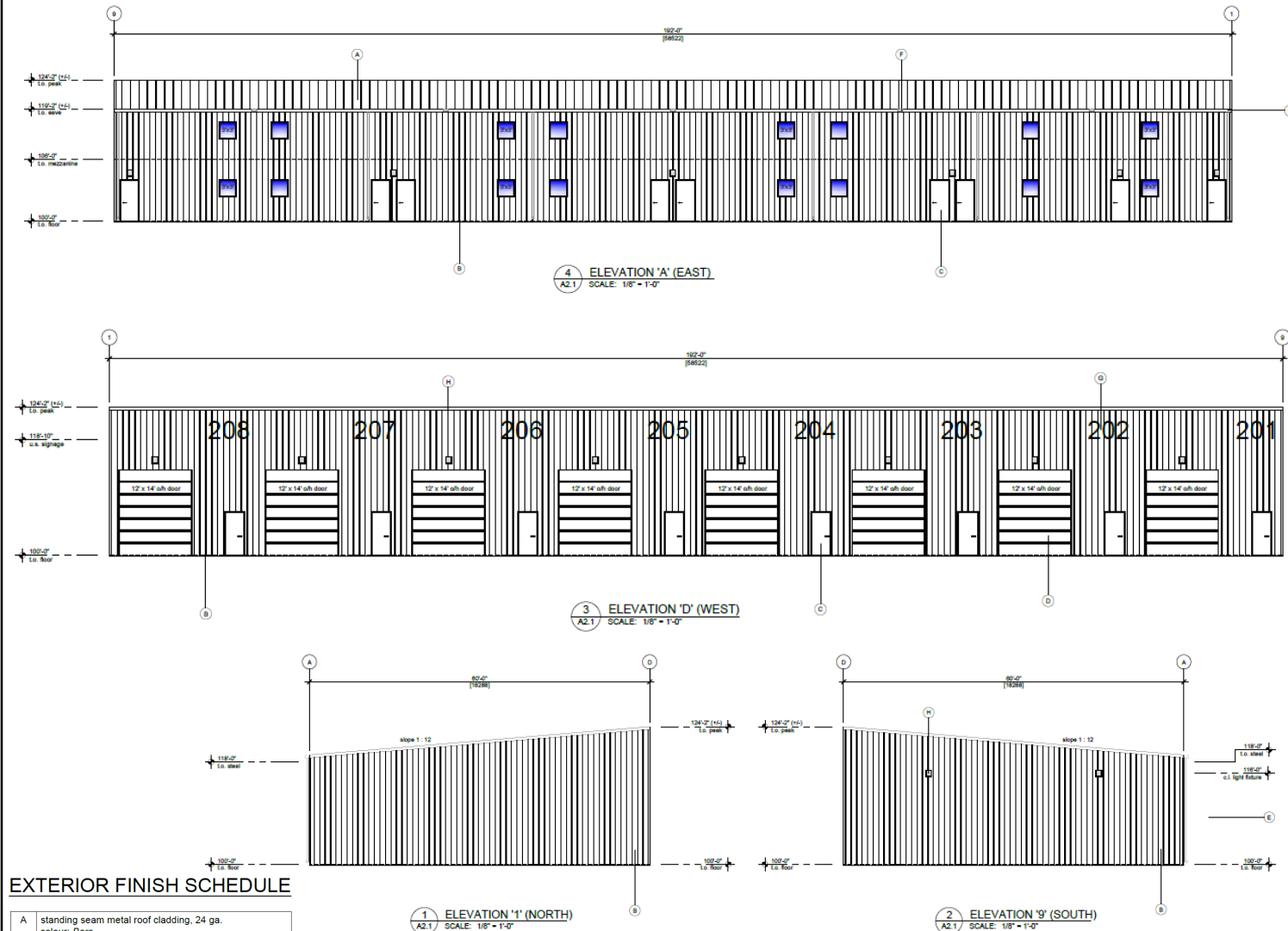


Division: 05
 Roll: 03330006
 File: PRDP20211477
 Printed: April 23, 2021
 Legal: Block: 13 Plan: 1820
 AM Pages 21 of 32
 W04M

Building #2, #3, & #4 Elevations

Development Proposal

Industrial (Light),
 construction of four (4)
 multi-bay commercial
 buildings, tenancy, and
 signage, and relaxation of
 the minimum tree/shrub
 requirement



EXTERIOR FINISH SCHEDULE

A	standing seam metal roof cladding, 24 ga. colour: Bare
B	VF 12-36 Reverse metal wall cladding, 26 ga. colour: t.b.d.
C	insulated steel walk door colour: manufacturer's primer (paint by others)
D	flush panel, insulated, steel o/h door colour: manufacturer's primer (paint by others)
E	pre-finished gutter & downspout colour: to match adjacent wall cladding
F	scupper drain
G	surface mounted signage size, colour, and placement t.b.c.
H	exterior wall mount 150w architectural luminaire (to conform to 'dark sky' requirements)

Division: 05
 Roll: 03330006
 File: PRDP20211477
 Printed: April 23, 2021
 Legal: Block: 13 Plan: 1820
 AM Pages 22 of 32
 W04M

Site Photos

Development Proposal

Industrial (Light),
 construction of four (4)
 multi-bay commercial
 buildings, tenancy, and
 signage, and relaxation of
 the minimum tree/shrub
 requirement



Picture 1 (Looking N from W property line)



Picture 2 (Looking S from NW corner)



Picture 3 (Looking E from NW corner)



Picture 4 (Looking W from NE corner)

Landowner Circulation Area

Development Proposal

Industrial (Light), construction of four (4) multi-bay commercial buildings, tenancy, and signage, and relaxation of the minimum tree/shrub requirement

Legend

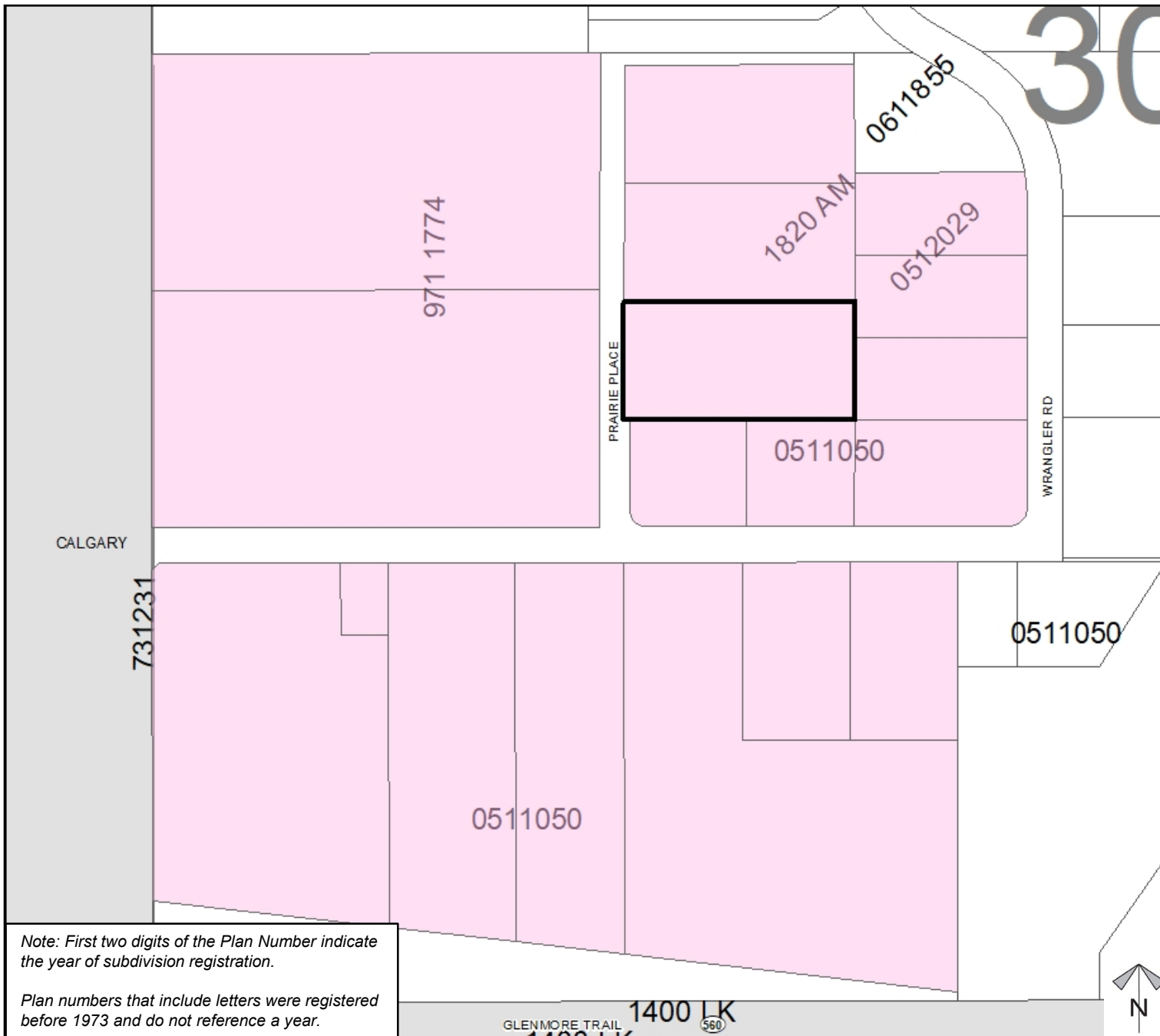
Support



Not Support



Division: 05
 Roll: 03330006
 File: PRDP20211477
 Printed: April 23, 2021
 Legal: Block: 13 Plan: 1820
 AM Page 24 of 32
 W04M



Note: First two digits of the Plan Number indicate the year of subdivision registration.

Plan numbers that include letters were registered before 1973 and do not reference a year.



Notice of Appeal

**Subdivision and Development Appeal Board
Enforcement Appeal Committee**

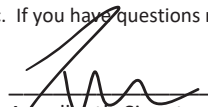
Appellant Information			
Name of Appellant(s) 946992 Alberta LTD (Robert Mudd)			
Mailing Address 79 Prairie Place		Municipality Rocky View	Province AB
		Postal Code T1X 0 K2	
Main Phone # 403-829-5550	Alternate Phone #	Email Address Muddr@mac.com	

Site Information	
Municipal Address	Legal Land Description (lot, block, plan OR quarter-section-township-range-meridian)
Property Roll #	Development Permit, Subdivision Application, or Enforcement Order # PRDP20211477

I am appealing: (check one box only)		
Development Authority Decision <input type="checkbox"/> Approval <input checked="" type="checkbox"/> Conditions of Approval <input type="checkbox"/> Refusal	Subdivision Authority Decision <input type="checkbox"/> Approval <input type="checkbox"/> Conditions of Approval <input type="checkbox"/> Refusal	Decision of Enforcement Services <input type="checkbox"/> Stop Order <input type="checkbox"/> Compliance Order

Reasons for Appeal (attach separate page if required)
<p>Prior to release:</p> <p>2.i I am looking for a reduction in trees and shrubs to allow for easier berm maintenance (Mowing)</p> <p>8. Full TIA to be relaxed to a Traffic memo by certified professional as current and proposed traffic will be similar</p> <p>9. Stormwater off-site levy to be divided into four equal payments due at the start of each phase of the development</p> <p>Prior to Occupancy:</p> <p>13. Landscaping, Parking and final site surfaces to be phased along with the development.</p>

This information is collected for Rocky View County's Subdivision and Development Appeal Board or Enforcement Appeal Committee under section 33(c) of the Freedom of Information and Protection of Privacy Act (FOIP Act) and will be used to process your appeal and create a public record of the appeal hearing. Your name, legal land description, street address, and reasons for appeal will be made available to the public in accordance with section 40(1)(c) of the FOIP Act. Your personal contact information, including your phone number and email address, will be redacted prior to your appeal being made available to the public. If you have questions regarding the collection or release of this information, please contact the Municipal Clerk at 403-230-1401.


Appellant's Signature

July 14/21
Date



Notice of Appeal

Subdivision and Development Appeal Board
Enforcement Appeal Committee

Submitting an Appeal

Appeals must be submitted on time and with the required fee

Sections 547, 645, 678, and 686 of the *Municipal Government Act*, RSA 2000, c M-26, and Rocky View County's *Master Rates Bylaw* require that your Notice of Appeal be submitted to the Subdivision and Development Appeal Board (SDAB) or Enforcement Appeal Committee (EAC) within the legislated timeframe and with the required fee. Fees are as follows:

Subdivision and Development Appeal Board	Fee
Development Authority decision – appeal by the owner of the subject property	\$350.00
Development Authority decision – appeal by an affected party	\$250.00
Development Authority decision – appeal of a Stop Order issued under section 645 of the <i>Municipal Government Act</i>	\$500.00
Subdivision Authority decision (paid at time of application and used as a credit on endorsement fees except where the owner appeals the subdivision)	\$1,000.00
Enforcement Appeal Committee	
Compliance Order - appeal as per section 545 or 546 of the <i>Municipal Government Act</i>	\$500.00

How to submit your appeal and pay your fee

You can submit your Notice of Appeal by mail or deliver it in person. Arrangements can also be made to e-mail your Notice of Appeal and pay over the phone. If you e-mail your appeal to the SDAB clerk, you must call the SDAB clerk for verbal confirmation of receipt. Regardless of how you submit your Notice of Appeal, it must be received on or before the final appeal deadline.

Mail or deliver to:

Clerk, Subdivision and Development Appeal Board
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Please make cheques payable to "Rocky View County".

What happens after my appeal is submitted?

Once your Notice of Appeal is submitted on time and with the required fee, the appeal will be heard by the SDAB or EAC within 30 days. The Clerk of the SDAB will be in touch with you about the appeal hearing. You and the landowners who are adjacent to the property in question will receive a written Notice of Hearing.

More information

For more information about filing an appeal or SDAB/EAC procedures, please contact the SDAB Clerk at:

Phone: 403-230-1401

Email: sdab@rockyview.ca

Website: www.rockyview.ca



Decision of the Municipal Planning Commission

This is not a development permit

Ironwood Building Corp.
261211 Wagon Wheel Way
Rocky View County, AB T4A 0E2

Development file #: PRDP20211477
Issue Date: June 24, 2021
Roll #: 03330006
Legal description: Block 13, Plan 1820 AM; SW-30-23-28-W04M

The Municipal Planning Commission conditionally approves the following:

Description:

1. That Industrial (Light), construction of four (4) multi-bay office/shop buildings may take place on the subject land in accordance with the approved site plan and drawings prepared by Ironwood Building Corp. dated April 7, 2021 (File no. 21187C), as amended, and conditions of this permit. The approval includes:
 - i. Demolition of all existing buildings;
 - ii. Construction of one (1) office/shop building with 9 bays, approximately \pm 1,153.86 sq. m (16,080.00 sq. ft.) in size, including 384.62 sq. m (4,140.00 sq. ft.) of developed mezzanine space;
 - iii. Construction of three (3) office/shop buildings with eight (8) bays each, approximately \pm 1,070.24 sq. m (11,520.00 sq. ft.) in size, including 356.75 sq. m (3,840.00 sq. ft.) of developed mezzanine space; and
 - iv. Signage includes the placement of 33 tenant façade signs, details in accordance with the revised signage plan.

This is not a development permit

Prior to Release:

2. That prior to release of this permit, the Applicant/Owner shall submit a revised landscape plan, to the satisfaction of the County, that includes the following:
 - i. The minimum number of trees and shrubs shall be provided (50 trees and 33 shrubs of a drought resistant variety), in accordance with Section 259 of the Land Use Bylaw C-8000-2020 (LUB);
 - ii. A minimum 3.00 m wide landscaped area shall be provided between the front of all buildings and the adjoining parking area, in accordance with Appendix B of the Janet Area Structure Plan (ASP).
3. That prior to release of this permit, the Applicant/Owner shall submit a revised parking plan, to the satisfaction of the County, identifying the following:
 - i. The minimum number of parking stalls (86) shall be provided based on the office and shop areas identified on the floor plans, in accordance with the *Industrial (Light)* and *Office* uses under Section 235 Table 5 of the LUB;
 - a. If less than 86 stalls are to be provided, a Parking Assessment, prepared by a qualified professional, may be submitted to the Development Authority to document the parking demand and supply characteristics associated with the proposed development. The Development Authority shall not be bound by any recommendations of such a Parking Assessment.
 - ii. The minimum width of each parking stall (2.60 m [8.53 ft.]) and barrier-free stall (2.40 m [7.87 ft.] with a 2.40 m [7.87 ft.] access aisle) shall be provided, in accordance with Section 238 Table 6 of the LUB and Section 3.8.3.22 of the Alberta Building Code.
4. That prior to release of this permit, the Applicant/Owner shall submit revised elevation drawings, to the satisfaction of the County, that addresses the following:
 - i. The exterior colours, materials, and finishes of all buildings shall be coordinated to achieve a reasonable continuity of appearance, in accordance with Appendix B of the Janet ASP;
 - ii. The facades of buildings that exceed 30.00 m (98.42 ft.) measured horizontally and facing roadways (west façade of building #1), shall incorporate wall plane projections or recesses having a depth of at least three (3) percent of the length of the façade and extending at least 20 percent of the length of the façade, in accordance with Appendix B of the Janet ASP;
 - iii. That every bay of each building shall have a clearly defined main entrance featuring at least two of the following: canopy or portico; overhang or arcade; raised corniced parapet over the door; outdoor amenity area; upgraded window glazing areas; or integrated planters or landscaped sitting areas, in accordance with Appendix B of the Janet ASP.
5. That prior to release of this permit, the Applicant/Owner shall submit a signage plan indicating the dimensions, design, method of illumination, and location of any proposed tenant signage, to the satisfaction of the County.

This is not a development permit

6. That prior to release of this permit, the Applicant/Owner shall contact County Road Operations with haul details for materials and equipment needed during construction/site development to confirm if Road Use Agreements will be required for any hauling along the County road system and to confirm the presence of County road ban restrictions and to submit a new road approach application for the proposed/updated approach off Prairie Place.
 - i. Written confirmation shall be received from Road Operations, confirming the status of this condition.
7. That prior to release of this permit, the Applicant/Owner shall submit a security deposit for \$10,000 for the proposed/upgraded road approach.
8. That prior to release of this permit, the Applicant/Owner shall submit a Transportation Impact Assessment (TIA), conducted and stamped by a professional engineer, that assesses the traffic generated by the proposed development, and provides recommendations on any required improvements, in accordance with the County Servicing Standards and to the satisfaction of the County.
 - i. Should the TIA require improvements to the local road network, the Applicant/Owner shall enter into a Road Right of Way Construction Agreement with the County for the construction of the improvements.
9. That prior to release of this permit, the Applicant/Owner shall submit payment of the Stormwater Off-site Levy for the total gross acreage of the development area, in accordance with Bylaw C-8008-2020.
10. That prior to release of this permit, the Applicant/Owner shall submit a Site-Specific Stormwater Implementation Plan (SSIP), conducted and stamped by a professional engineer that is in accordance with the Co-operative Stormwater Management Initiative (CSMI) requirements, the County Servicing Standards, and to the satisfaction of the County.
11. That prior to release of this permit, the Applicant/Owner shall provide a fire fighting water supply strategy conducted and stamped by a professional engineer that supplies the necessary level of fire flow and is designed in accordance with the County's Fire Hydrant Water Suppression Bylaw and the County Servicing Standards to the satisfaction of the County.
12. That prior to release of this permit, the Applicant/Owner shall submit a construction management plan, in accordance with County Servicing Standards. The plan shall address any noise mitigation measures, traffic accommodation, sedimentation and dust control, management of stormwater during construction, erosion and weed control, construction practices, waste management, firefighting procedures, evacuation plan, hazardous material containment, and all other relevant construction management details.

This is not a development permit

Prior to Occupancy:

13. That prior to occupancy, all landscaping, parking, and final site surfaces shall be in place prior to occupancy of the site and/or buildings.
 - i. That should permission for occupancy of the site be requested during October through May inclusive, occupancy may be allowed without landscaping and final site surface completion provided that an Irrevocable Letter of Credit in the amount of 150.00% of the total cost of completing all the landscaping and final site surfaces shall be placed with Rocky View County to guarantee the works shall be completed by the 30th day of June immediately thereafter.
14. That prior to occupancy, the County shall perform an inspection of the site to verify that the road approach has been upgraded in accordance with the County Servicing Standards and approved plans.
 - i. The security will be returned upon a successful prior to occupancy inspection.
15. That prior to occupancy, Built to Design Certificates and As-built drawings certified by a professional engineer, shall be submitted. The as-built drawings shall include (where applicable): verification of as-built pond volumes, trap low volumes, liner verification, irrigation systems, and any other information that is relevant to the SSIP.

Permanent:

16. That any plan, technical submission, agreement, matter, or understanding submitted and approved as part of the application or in response to a prior to release or occupancy condition, shall be implemented and adhered to in perpetuity, including the SSIP.
17. That any proposed or replacement fencing shall be 2.00 m (6.56 ft.) in height or less, and shall be similar in design, character, and quality to the proposed development.
18. That no outdoor display areas, storage areas, parking, or marshalling yards shall be allowed within landscaped yards.
19. **That all landscaping and topsoil placement shall be in accordance with the landscaping details provided on the Landscape Plan, as amended.**
 - i. That the Applicant/Owner shall be responsible for irrigation and maintenance of all landscaped areas, including the replacement of any deceased trees, shrubs, or plants, within 30 days, or by June 30th of the next growing season.
 - ii. The vegetation type has to endure the irrigation from May to September.
 - iii. That water for irrigation and landscaping purposes shall only be supplied by the re-use of stormwater and not via the use of potable water.
20. That the minimum number of trees and shrubs shall be maintained during the life of the development.
21. That all sanitary sewage shall be contained in pump-out tanks and transported off-site to an approved wastewater receiving facility for disposal.
22. That potable water shall either be trucked onto the property and stored in cisterns or obtained from individual wells.
23. That no topsoil shall be removed from the site.
24. That any dirt removed from the site during construction shall be hauled off in a covered trailer/truck that will prevent blowing of dust/small rocks onto the road or issues with other vehicles on the road.

This is not a development permit

25. That dust control shall be maintained on the site during construction and that the developer shall take whatever means necessary to keep visible dust from blowing onto adjacent lands.
26. **That any site regrading work is not to direct any additional surface drainage into County road rights-of-way, or to negatively impact surface drainage patterns in the area.**
27. That there shall be a minimum of 86 parking stalls, including 4 barrier-free, maintained on-site at all times, in accordance with the approved Site Plan or as dictated by an approved Parking Assessment. All customer and employee parking shall be restricted to the subject land and there shall be no offsite parking.
28. **That there shall be no parking or signage in the County road right-of-way.**
29. **That any future signage will require separate Development Permit approval.**
30. **That all signage shall be kept in a safe, clean, and tidy condition at all times.**
31. That the entire site shall be maintained in a neat and orderly manner at all times. All garbage and waste material shall be deposited and confined in weatherproof and animal-proof containers located within the building or adjacent to the side or rear of the building and/or adequately screened or enclosed from view from all adjacent properties and public thoroughfares. All waste material shall be regularly removed from the property to prevent any debris from blowing onto adjacent property or roadways.
32. **That it is the Applicant/Owner's responsibility to obtain and display a distinct municipal address in accordance with the County Municipal Addressing Bylaw (Bylaw C-7562-2016), for each building located on the subject site, to facilitate accurate emergency response.**
33. That all on-site lighting shall be downturned and all private lighting, including site security lighting and parking area lighting, should be designed to conserve energy, reduce glare, and reduce uplift. All development will be required to demonstrate lighting design that reduces the extent of spill-over glare and eliminates glare as viewed from nearby residential properties.
34. That if the development authorized by this Development Permit is not commenced with **reasonable** diligence within twelve (12) months from the date of issue, and completed within twenty-four (24) months of the issue, the permit is deemed to be null and void unless an extension to this permit shall first have been granted by the Development Officer.
35. **That if this Development Permit is not issued by January 31, 2022, or the approved extension date, this approval is null and void and the Development Permit shall not be issued.**

Advisory:

36. **That the site shall be maintained in compliance with County Bylaw No. C-7690-2017, the "Nuisance and Unsightly Property Bylaw", at all times. Any debris or garbage generated on the site shall be stored/placed in garbage bins and disposed of at an approved disposal facility.**
37. **That the County Bylaw C-8067-2020, the "Noise Bylaw", shall be adhered to at all times.**

This is not a development permit

38. That a Building Permit and all applicable sub-trade permits shall be obtained, through Building Services, prior to any construction taking place, using the Commercial/Industrial checklist.

- i. That the Applicant/Owner shall obtain Demolition Permits through Building Services, prior to demolition of any existing buildings on-site.

Note: The Development shall conform to the National Energy Code 2011.

39. That all future tenants will be required to apply for a New Business Tenant (No Change of Use) or a Change of Use (Land or Existing Building) Development Permit.

40. That the site shall remain free of restricted and noxious weeds and be maintained in accordance with the *Alberta Weed Control Act* [Statutes of Alberta, 2008 Chapter W-5.1; Current as of December 15, 2017].

41. That **any** other government permits, approvals, or compliances are the sole responsibility of the Applicant/Owner.

Please contact Planning and Development Services at development@rockyview.ca or 403-520-8158 for assistance with this decision.

An appeal of the Municipal Planning Commission's decision must be filed to the Subdivision and Development Appeal Board (SDAB) in accordance with section 686 of the *Municipal Government Act*. To file an appeal or for assistance with filing an appeal, please contact Legislative Services at sdab@rockyview.ca or 403-230-1401. More information on the SDAB can also be found at www.rockyview.ca.

Municipal Planning Commission



Jerry Gautreau, Chair

This is not a development permit

**PLANNING AND DEVELOPMENT SERVICES**

TO: Subdivision and Development Appeal Board
DATE: July 29, 2021 **DIVISION:** 8
FILE: 05607200 **APPLICATION:** PRDP20212040
SUBJECT: Development Item: Dwelling, Single Detached / Permitted use with Variances

APPLICATION: Construction of a dwelling, single detached, relaxation of the maximum height requirement.

GENERAL LOCATION: Located approximately 0.20 km (1/8 mile) south of Twp. Rd. 252 and on the west side of Bearspaw Village Rd.

LAND USE DESIGNATION: Residential, Country Residential District (R-CRD) under Land Use Bylaw C-8000-2020

EXECUTIVE SUMMARY: The application was received on May 10, 2021. The Development Authority reviewed the application and it was conditionally approved on July 13, 2021.

The application is for the construction of a dwelling, single detached, relaxation of the maximum height requirement. The dwelling would be 13,819.00 sq. m (148,746.47 sq. ft.) in building area and would be 13.98 m (45.87 ft.) in building height.

There is one variance requested and the application appears to be compliant with Residential, Country Residential District (R-CRD) regulations.

On July 13, 2021, the Notice of Decision was circulated to 13 adjacent landowners. The decision was appealed on July 15, 2021, by an affected party, and the reasons for the appeal are included in the Notice of Appeal.

DECISION: Conditionally-Approved

DEVELOPMENT / SUBDIVISION AUTHORITY: Development Authority

DECISION DATE:
July 13, 2021

APPEAL DATE:
July 15, 2021

ADVERTISED DATE:
July 13, 2021

Administration Resources

Bronwyn Culham, Planning & Development Services

**AIR PHOTO & DEVELOPMENT CONTEXT:****APPLICATION EVALUATION:**

The application was evaluated based on the information and site plan submitted with the application and the applicable policies and regulations.

APPLICABLE POLICY AND REGULATIONS: <ul style="list-style-type: none"> • <i>Municipal Government Act;</i> • Municipal Development Plan; • Bearspaw Area Structure Plan • Bearspaw River View Conceptual Scheme • City of Calgary Intermunicipal Development Plan • Land Use Bylaw C-8000-2020 	PERMITTED USE: <ul style="list-style-type: none"> • Dwelling, Single Detached is a permitted use in the Residential, Country Residential District (R-CRD) DEVELOPMENT VARIANCE AUTHORITY: <ul style="list-style-type: none"> • Development Authority
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APPEAL:

See attached report and exhibits.

Respectfully submitted,

“Heather McInnes”

Supervisor Development & Compliance

BC/xx

**APPLICATION INFORMATION:**

APPLICANT: Tricor Design Inc	OWNER: Petryk, Robert P.
DATE APPLICATION RECEIVED: May 10, 2021	DATE DEEMED COMPLETE: June 29, 2021
DEVELOPMENT AUTHORITY DECISION DATE: July 13, 2021	
APPELLANT: Colin and Marilyn Outtrim	
GROSS AREA: ± 0.80 hectares (± 2.00 acres)	LEGAL DESCRIPTION: Lot 4 Block 2 Plan 1811748, NW-07-25-02-05; (24 BEARSPAW TERRACE)
APPEAL BOARD: Subdivision & Development Appeal Board	
HISTORY: <ul style="list-style-type: none">• There are no related Building Permits• There are no related Development Permits• There are no related Planning Applications	
AGENCY SUBMISSIONS: <p>The application was circulated to internal and external agencies and, where appropriate, conditions of approval have been proposed based on these comments.</p>	

**PLANNING AND DEVELOPMENT SERVICES**

TO:	Development Authority	DIVISION:	8
DATE:	July 13 2021	APPLICATION:	PRDP20212040
FILE:	05607200		
SUBJECT:	Dwelling, Single Detached / Permitted use with Variances		

APPLICATION: Construction of a dwelling, single detached, relaxation of the maximum height requirement.

GENERAL LOCATION: Located approximately 0.20 km (1/8 mile) south of Twp. Rd. 252 and on the west side of Bearspaw Village Rd.

LAND USE DESIGNATION: Residential, Country Residential District (R-CRD) under Land Use Bylaw C-8000-2020

EXECUTIVE SUMMARY: The Applicant is proposing to construct a dwelling, single detached. The dwelling would be 13,819.00 sq. m (148,746.47 sq. ft.) in building area and would be 13.98 m (45.87 ft.) in building height. A relaxation to the maximum building height requirement from 12.00 m (39.37 sq. ft.) to 13.98 m (45.87 ft.) is requested.

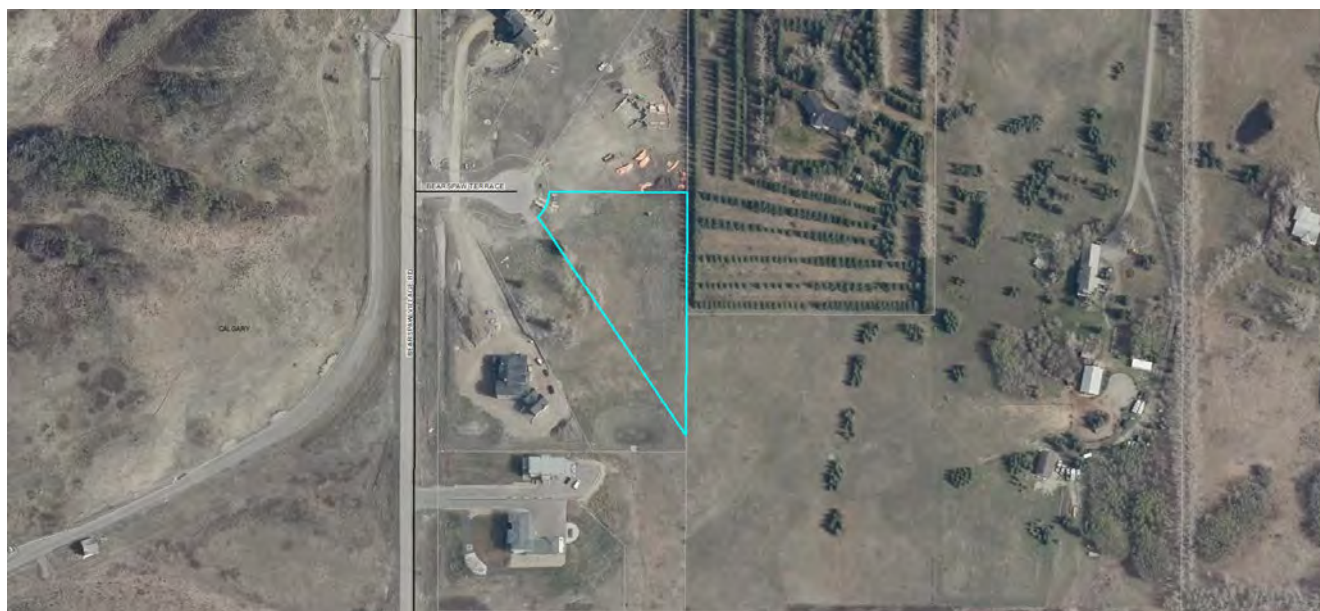
ADMINISTRATION RECOMMENDATION: Administration recommends Approval in accordance with Option #1.

OPTIONS:

Option #1: THAT Development Permit Application PRDP20212040 be approved with the conditions noted in Attachment 'A'.

Option #2: THAT Development Permit Application PRDP20212040 for the following reasons:

1. That in the opinion of the Municipal Planning Commission, the development unduly interferes with the amenities of the neighbourhood and materially interferes with and affects the use, enjoyment, and value of neighbouring parcels of land.

AIR PHOTO & DEVELOPMENT CONTEXT:**VARIANCE SUMMARY**

Variance	Requirement	Proposed	Percentage (%)
Maximum Building Height	12.00 m (39.97 ft.)	13.98 m (45.87 ft.)	16.50%

APPLICATION EVALUATION:

The application was evaluated based on the information and site plan submitted with the application and the applicable policies and regulations.

APPLICABLE POLICY AND REGULATIONS: <ul style="list-style-type: none"> • <i>Municipal Government Act;</i> • Municipal Development Plan; • Bearspaw Area Structure Plan • Bearspaw River View Conceptual Scheme • City of Calgary Intermunicipal Development Plan • Land Use Bylaw C-8000-2020 	TECHNICAL REPORTS SUBMITTED: <ul style="list-style-type: none"> • Elevations prepared by Tricor Design Group dated June 18, 2021 • Floor Plans prepared by Tricor Design Group dated June 18, 2021 • Cross Sections prepared by Tricor Design Group dated June 18, 2021
PERMITTED USE: <ul style="list-style-type: none"> • Dwelling, Single Detached is a permitted use in the Residential, Country Residential District (R-CRD) 	DEVELOPMENT VARIANCE AUTHORITY: <ul style="list-style-type: none"> • Development Authority

Additional Review Considerations

The application was assessed in accordance with Sections 322 to 330 of the Land Use Bylaw.



CONCLUSION:

Subject to the proposed conditions of approval, the application is recommended for approval.

Respectfully submitted,

Concurrence,

"Brock Beach"

"Kent Robinson"

Acting Executive Director
Community Development Services

Acting Chief Administrative Officer

BC/sl

**DEVELOPMENT PERMIT REPORT CONDITIONS:****Option #1:**

Approval subject to the following conditions:

Description:

1. That the construction of a dwelling, single detached may commence on the subject parcel in general accordance with the site plan and design drawings prepared by Tricor Design Group dated June 18, 2021, Job#: 20-08387 and conditions noted herein.
 - i. That the maximum building height shall be relaxed from **12.00 m (39.37 sq. ft.)** to **13.98 m (45.87 ft.)**.

Prior to Release:

2. That prior to release of this permit, the Applicant/Owner shall contact County Road Operations with haul details for materials and equipment needed during construction/site development to confirm if Road Use Agreements will be required for any hauling along the County road system and to confirm the presence of County road ban restrictions.
 - i. Written confirmation shall be received from County Road Operations confirming the status of the condition. Any required agreement or permits shall be obtained unless otherwise noted by County Road Operations.

Permanent:

3. That the Applicant/Owner shall ensure any excavation and fill has been completed in a safe manner that does not cause slope stability issues, slumping, or any adverse impacts on drainage.
4. That there shall be no more than 2.00 m (6.56 ft.) of excavation or 1.00 m (3.28 ft.) of fill/topsoil placed adjacent to or within 15.00 m (49.21 ft.) of the proposed dwelling unit under construction in order to establish approved final grades unless a Development Permit has been issued for additional fill.
5. That the Applicant/Owner shall be responsible for rectifying any adverse effect on the adjacent lands from drainage alteration.
6. That if the development authorized by this Development Permit is not commenced with reasonable diligence within 12 months from the date of issue, and completed within 24 months of the issue, the permit is deemed to be null and void, unless an extension to this permit shall first have been granted by the Development Officer.
7. That if this Development Permit is not issued by **February 28, 2022** or the approved extension date, then this approval is null and void and the Development Permit shall not be issued.

Advisory:

8. That a Building Permit(s) shall be obtained through Building Services, prior to any construction taking place.
9. That during construction of the building, all construction and building materials shall be maintained on-site, in a neat and orderly manner. Any debris or garbage shall be stored/placed in garbage bins and disposed of at an approved disposal facility.
10. That the site shall remain free of restricted and noxious weeds and be maintained in accordance with the Alberta Weed Control Act [Statutes of Alberta, 2008 Chapter W-5.1; Current as of December 15, 2017].



11. That the Applicant/Owner shall adhere to the County's Noise Bylaw (C-8067-2020) at all times.
12. That any other government permits, approvals, or compliances are the sole responsibility of the Applicant/Owner.

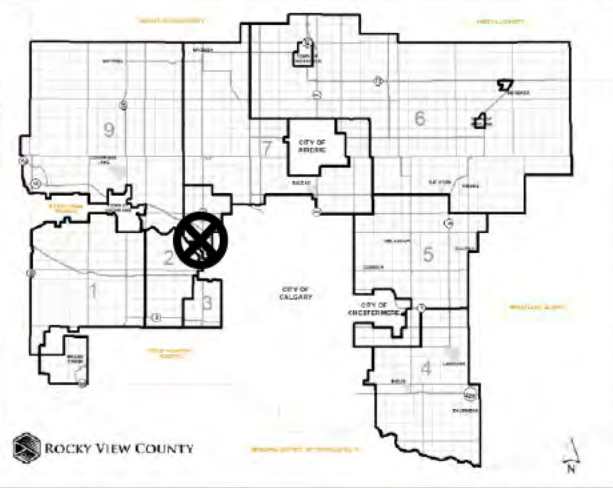
**MAPS AND OTHER INFORMATION:**

APPLICANT: Tricor Design Inc	OWNER: Petryk, Robert P.
DATE APPLICATION RECEIVED: May 10, 2021	DATE DEEMED COMPLETE: June 29, 2021
GROSS AREA: ± 0.80 hectares (± 2.00 acres)	LEGAL DESCRIPTION: Lot 4 Block 2 Plan 1811748, NW-07-25-02-05; (24 BEARSPAW TERRACE)
APPEAL BOARD: Subdivision & Development Appeal Board	
HISTORY: <ul style="list-style-type: none"> • There are no related Building Permits • There are no related Development Permits • There are no related Planning Applications 	
PUBLIC & AGENCY SUBMISSIONS: The application was circulated to a number of internal and external agencies and, where appropriate, conditions of approval have been proposed based on these comments.	

Location & Context

Development Proposal

Construction of a dwelling,
 single detached, relaxation
 of the maximum height
 requirement

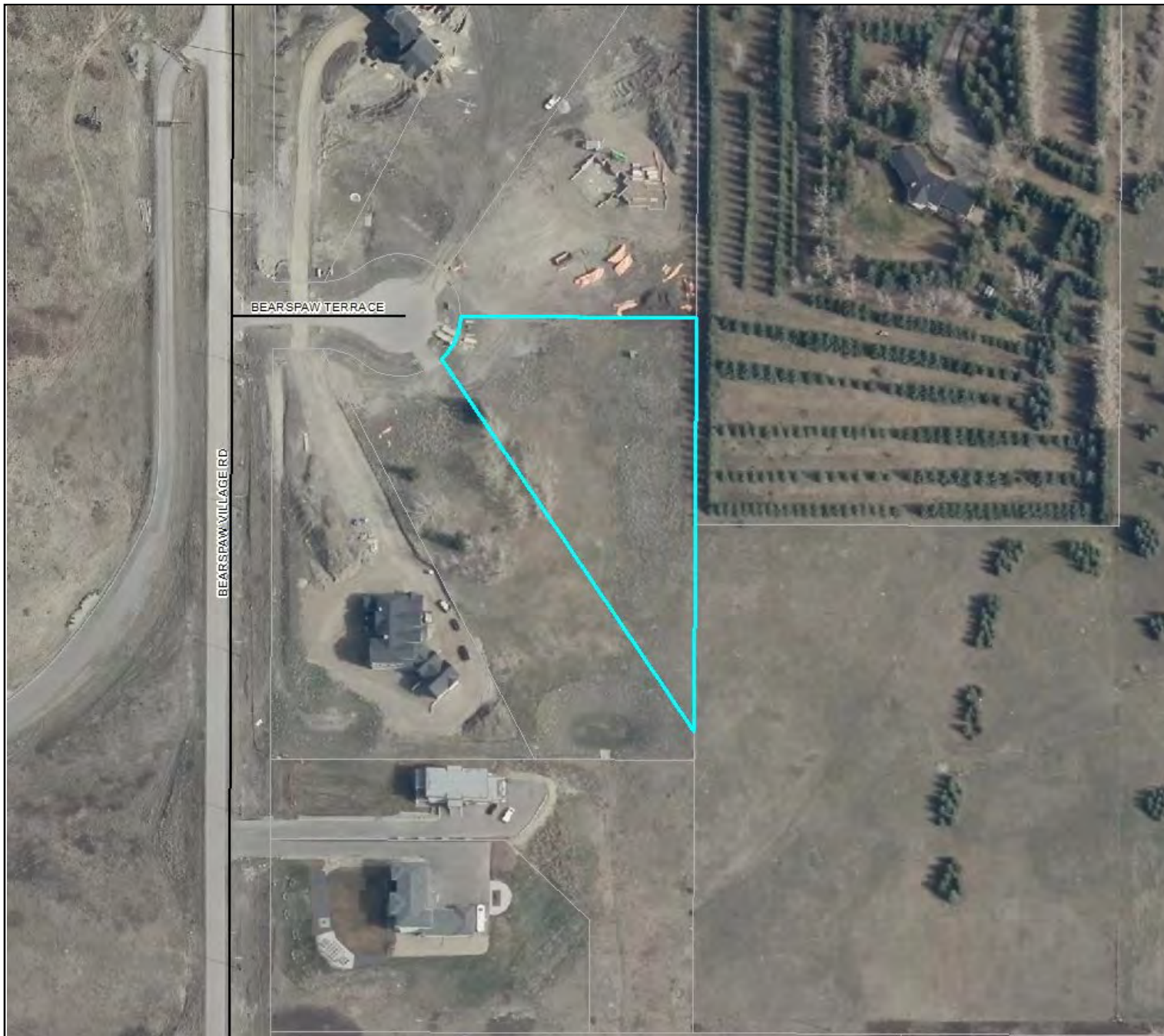


Division: 8
 Roll: 05607200
 File: PRDP20212040
 Printed: July 09, 2021
 Legal: Lot: 4 Block: 2
 Plan: 25-02-W05M
 Page 42 of 92

Location & Context

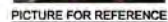
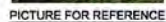
Development Proposal

Construction of a dwelling, single detached, relaxation of the maximum height requirement



Development Proposal

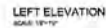
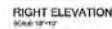
Plan Page 45 of 92
25-02-W05M



BP1.2

Development Proposal

Page 46 of 92
Plan 17486 with NW-07-25-02-W05M



BP1.2

Cross Sections

Development Proposal

Construction of a dwelling,
single detached, relaxation
of the maximum height
requirement

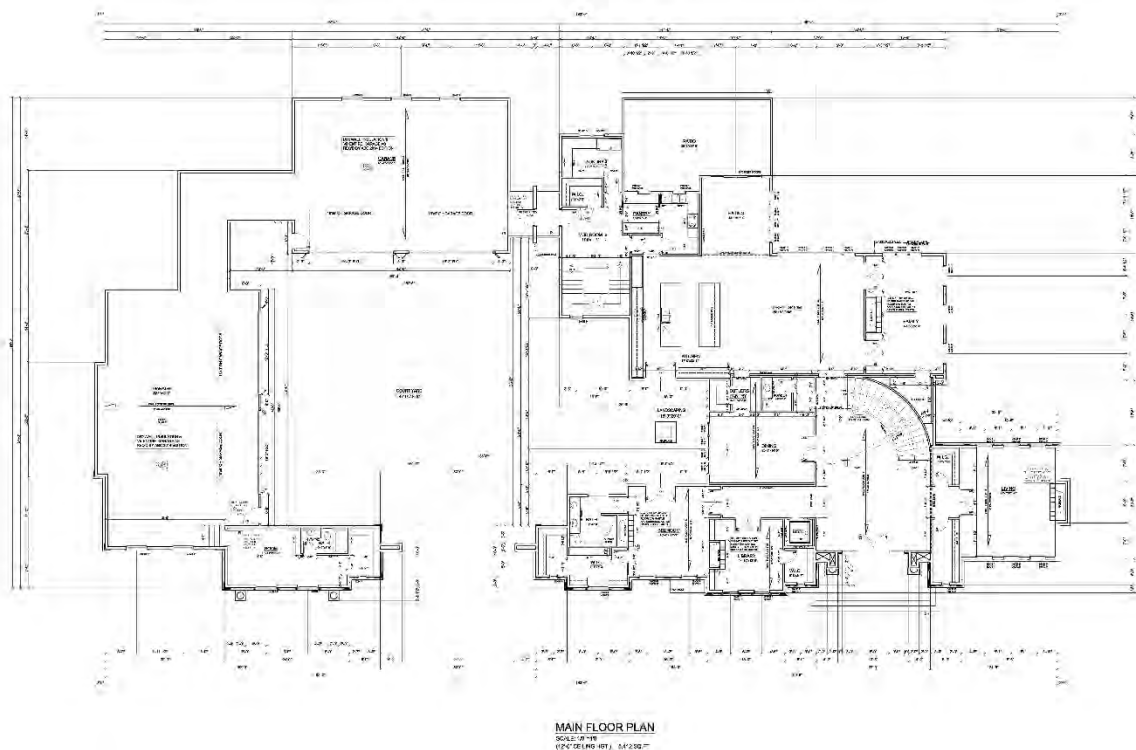


 TERRA GROUP <small>10000 10th Ave NW, Suite 100, Calgary, Alberta T2C 1A1 Phone: (403) 243-1111 Fax: (403) 243-1112 Email: info@terra-group.com Website: www.terra-group.com</small>			
SINGLE FAMILY 24 BEARSPAW TERRACE, ROCKYVIEW COUNTY, ALBERTA, LOT 04, BLOCK 2, PLAN 161 1748			
LUXURIA HOMES			
BUILDING PERMIT SUBMISSION			
DESIGNER/OWNER:	DESIGN DATE:	DATE:	
DEVELOPMENT PROJECT:			
BUILDING FOOTPRINT:			
REVISION DESCRIPTION:	DESIGN DATE:	DATE:	
APPROVED/CRACK:			
DATE REVISION:			
SECTIONS			
PROJECT #:	20-00367		
DATE:	JUNE 18, 2021		
SCALE:	1/8" = 1'-0"		
BP3.0			

Floor Plan

Development Proposal

Construction of a dwelling,
single detached, relaxation
of the maximum height
requirement

[illegible]

Division: 8
Roll: 05607200
File: PRDP20212040
Printed: July 09, 2021
Legal: Lot:4 Block:2
Plan: 48 of 92
Page 48 of 92
25-02-W05M

Site Photos

Development Proposal

Construction of a dwelling, single detached, relaxation of the maximum height requirement



Division: 8
Roll: 05607200
File: PRDP20212040
Printed: July 09, 2021
Legal: Lot: 4 Block: 2
Plan: 25-02-W05M
Page 50 of 92

Site Photos

Development Proposal

Construction of a dwelling, single detached, relaxation of the maximum height requirement



Division: 8
Roll: 05607200
File: PRDP20212040
Printed: July 09, 2021
Legal: Lot: 4 Block: 2
Plan: 25-02-W05M
Page 51 of 92



Notice of Appeal

Subdivision and Development Appeal Board
Enforcement Appeal Committee

Appellant Information			
Name of Appellant(s) Colin and Marilyn Outtrim			
Mailing Address 18 Bears paw Terrace		Municipality RVC	Province Alberta
Postal Code T3L 2N7			
Main Phone # [REDACTED]	Alternate Phone # [REDACTED]	Email Address [REDACTED]	
Site Information			
Municipal Address 24 Bears paw Terrace		Legal Land Description (lot, block, plan OR quarter-section-township-range-meridian) LOT 4, BLOCK 2, PLAN 1811748, NW-07-25-02-05	
Property Roll # 05607200		Development Permit, Subdivision Application, or Enforcement Order # Application No. PRDP20212040	
I am appealing: (check one box only)			
Development Authority Decision <input type="checkbox"/> Approval <input type="checkbox"/> Conditions of Approval <input type="checkbox"/> Refusal	Subdivision Authority Decision <input type="checkbox"/> Approval <input checked="" type="checkbox"/> Conditions of Approval <input type="checkbox"/> Refusal	Decision of Enforcement Services <input type="checkbox"/> Stop Order <input type="checkbox"/> Compliance Order	
Reasons for Appeal (attach separate page if required)			
<p>I have been advised that a request to relax the height restriction for the development of a large single family residential building on lot 24. This location is on the immediate adjacent parcel of land. Any height over the current RVC limitation would not be acceptable as this would obstruct our south direction of view.</p> <p>Please advise the owner that we wish to have him change his plan to comply with the county height restriction.</p> <p>We built our home within the development guidelines and so should this adjacent owner.</p> <p>Colin and Marilyn Outtrim</p> <p><i>Colin Outtrim</i> cheque attached</p>			



This information is collected for Rocky View County's Subdivision and Development Appeal Board or Enforcement Appeal Committee under section 33(c) of the Freedom of Information and Protection of Privacy Act (FOIP Act) and will be used to process your appeal and create a public record of the appeal hearing. Your name, legal land description, street address, and reasons for appeal will be made available to the public in accordance with section 40(1)(c) of the FOIP Act. Your personal contact information, including your phone number and email address, will be redacted prior to your appeal being made available to the public. If you have questions regarding the collection or release of this information, please contact the Municipal Clerk at 403-230-1401.

Colin Outtrim
Appellant's Signature

July 15, 2021
Date



Notice of Appeal

Subdivision and Development Appeal Board
Enforcement Appeal Committee

Submitting an Appeal

Appeals must be submitted on time and with the required fee

Sections 547, 645, 678, and 686 of the *Municipal Government Act*, RSA 2000, c M-26, and Rocky View County's *Master Rates Bylaw* require that your Notice of Appeal be submitted to the Subdivision and Development Appeal Board (SDAB) or Enforcement Appeal Committee (EAC) within the legislated timeframe and with the required fee. Fees are as follows:

Subdivision and Development Appeal Board	Fee
Development Authority decision – appeal by the owner of the subject property	\$350.00
Development Authority decision – appeal by an affected party	\$250.00
Development Authority decision – appeal of a Stop Order issued under section 645 of the <i>Municipal Government Act</i>	\$500.00
Subdivision Authority decision (paid at time of application and used as a credit on endorsement fees except where the owner appeals the subdivision)	\$1,000.00
Enforcement Appeal Committee	
Compliance Order - appeal as per section 545 or 546 of the <i>Municipal Government Act</i>	\$500.00

How to submit your appeal and pay your fee

You can submit your Notice of Appeal by mail or deliver it in person. Arrangements can also be made to e-mail your Notice of Appeal and pay over the phone. If you e-mail your appeal to the SDAB clerk, you must call the SDAB clerk for verbal confirmation of receipt. Regardless of how you submit your Notice of Appeal, it must be received on or before the final appeal deadline.

Mail or deliver to:
Clerk, Subdivision and Development Appeal Board
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Please make cheques payable to "Rocky View County".

What happens after my appeal is submitted?

Once your Notice of Appeal is submitted on time and with the required fee, the appeal will be heard by the SDAB or EAC within 30 days. The Clerk of the SDAB will be in touch with you about the appeal hearing. You and the landowners who are adjacent to the property in question will receive a written Notice of Hearing.

More information

For more information about filing an appeal or SDAB/EAC procedures, please contact the SDAB Clerk at:

Phone: 403-230-1401 Email: sdab@rockyview.ca Website: www.rockyview.ca



ROCKY VIEW COUNTY

262075 Rocky View Point
Rocky View County, AB, T4A 0X2

403-230-1401
questions@rockyview.ca
www.rockyview.ca

THIS IS NOT A DEVELOPMENT PERMIT

Please note that the appeal period *must* end before this permit can be issued and that any Prior to Issuance conditions (if listed) *must* be completed.

NOTICE OF DECISION

Tricor Design Inc
201 4216 12th Street NE
Calgary , AB T2E 6K9

Page 1 of 2

Tuesday, July 13, 2021

Roll: 05607200

RE: Development Permit #PRDP20212040

Lot 4 Block 2 Plan 1811748, NW-07-25-02-05; (24 BEARSPAW TERRACE)

The Development Permit application for construction of a dwelling, single detached, relaxation of the maximum height requirement has been **conditionally-approved** by the Development Officer subject to the listed conditions below (**PLEASE READ ALL CONDITIONS**):

Description:

1. That the construction of a dwelling, single detached may commence on the subject parcel in general accordance with the site plan and design drawings prepared by Tricor Design Group dated June 18, 2021, Job#: 20-08387 and conditions noted herein.
 - i. That the maximum building height shall be relaxed from **12.00 m (39.37 sq. ft.)** to **13.98 m (45.87 ft.)**.

Prior to Release:

2. That prior to release of this permit, the Applicant/Owner shall contact County Road Operations with haul details for materials and equipment needed during construction/site development to confirm if Road Use Agreements will be required for any hauling along the County road system and to confirm the presence of County road ban restrictions.
 - i. Written confirmation shall be received from County Road Operations confirming the status of the condition. Any required agreement or permits shall be obtained unless otherwise noted by County Road Operations.

Permanent:

3. That the Applicant/Owner shall ensure any excavation and fill has been completed in a safe manner that does not cause slope stability issues, slumping, or any adverse impacts on drainage.



ROCKY VIEW COUNTY

262075 Rocky View Point
Rocky View County, AB, T4A 0X2

403-230-1401
questions@rockyview.ca
www.rockyview.ca

Tricor Design Inc #PRDP20212040

Page 2 of 2

4. That there shall be no more than 2.00 m (6.56 ft.) of excavation or 1.00 m (3.28 ft.) of fill/topsoil placed adjacent to or within 15.00 m (49.21 ft.) of the proposed dwelling unit under construction in order to establish approved final grades unless a Development Permit has been issued for additional fill.
5. That the Applicant/Owner shall be responsible for rectifying any adverse effect on the adjacent lands from drainage alteration.
6. That if the development authorized by this Development Permit is not commenced with reasonable diligence within 12 months from the date of issue, and completed within 24 months of the issue, the permit is deemed to be null and void, unless an extension to this permit shall first have been granted by the Development Officer.
7. That if this Development Permit is not issued by **February 28, 2022** or the approved extension date, then this approval is null and void and the Development Permit shall not be issued.

Advisory:

8. That a Building Permit(s) shall be obtained through Building Services, prior to any construction taking place.
9. That during construction of the building, all construction and building materials shall be maintained on-site, in a neat and orderly manner. Any debris or garbage shall be stored/placed in garbage bins and disposed of at an approved disposal facility.
10. That the site shall remain free of restricted and noxious weeds and be maintained in accordance with the Alberta Weed Control Act [Statutes of Alberta, 2008 Chapter W-5.1; Current as of December 15, 2017].
11. That the Applicant/Owner shall adhere to the County's Noise Bylaw (C-8067-2020) at all times.
12. That any other government permits, approvals, or compliances are the sole responsibility of the Applicant/Owner.

If Rocky View County does not receive any appeal(s) from you or from an adjacent/nearby landowner(s) by **Tuesday, August 3, 2021**, a Development Permit may be issued, unless there are specific conditions which need to be met prior to release. If an appeal is received, then a Development Permit will not be issued unless and until the decision to approve the Development Permit has been determined by the Development Appeal Committee.

Regards,

Development Authority
Phone: 403-520-8158
Email: development@rockyview.ca

THIS IS NOT A DEVELOPMENT PERMIT



DEVELOPMENT PERMIT APPLICATION

APPLICATION NO.	PRDP20212040
ROLL NO.	05607200
RENEWAL OF	
FEES PAID	315.00
DATE OF RECEIPT	May 10, 2021

APPLICANT/OWNER

Applicant Name: Tricor Design Group Inc.		Email: ahmed@tricordesigns.com	
Business/Organization Name (if applicable):			
Mailing Address: #201 4216 12th Street NE, Calgary AB		Postal Code: T2E-6K9	
Telephone (Primary): 403-203-1970		Alternative:	
Landowner Name(s) per title (if not the Applicant): Robert P Petryk			
Business/Organization Name (if applicable):			
Mailing Address:		Postal Code:	
Telephone (Primary):		Email:	

LEGAL LAND DESCRIPTION - Subject site

All/part of: ¼	Section: 5	Township: 2	Range: 25	West of: 7	Meridian	Division:
All parts of Lot(s)/Unit(s): 2		Block: 4	Plan: 181 1748		Parcel Size (ac/ha):	
Municipal Address: 24 Bearspaw Terrance				Land Use District:		

APPLICATION FOR - List use and scope of work

Single Family Custom Home

Variance Rationale included: ☐ YES ☐ NO ☐ N/ADP Checklist Included: ☐ YES ☐ NO**SITE INFORMATION**

- | | |
|---|---|
| a. Oil or gas wells present on or within 100 metres of the subject property(s) | <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO |
| b. Parcel within 1.5 kilometres of a sour gas facility (well, pipeline or plant) | <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO |
| c. Abandoned oil or gas well or pipeline present on the property
(Well Map Viewer: https://extmapviewer.aer.ca/AERAbandonedWells/Index.html) | <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO |
| d. Subject site has direct access to a developed Municipal Road (accessible public roadway) | <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO |

AUTHORIZATION

- I, ROBERT P. PETRYK (Full name in Block Capitals), hereby certify (initial below):
- ☒ That I am the registered owner **OR** ☐ That I am authorized to act on the owner's behalf.
- ☒ That the information given on this form and related documents, is full and complete and is, to the best of my knowledge, a true statement of the facts relating to this application.
- ☒ That I provide consent to the public release and disclosure of all information, including supporting documentation, submitted/contained within this application as part of the review process. I acknowledge that the information is collected in accordance with s.33(c) of the *Freedom of Information and Protection of Privacy Act*.
- ☒ **Right of Entry:** I authorize/acknowledge that Rocky View County may enter the above parcel(s) of land for purposes of investigation and enforcement related to this application in accordance with Section 542 of the *Municipal Government Act*.

Applicant Signature Ahmed Gouda
Date May 6, 2021

Landowner Signature Robert P Petryk
Date May 6, 2021



DEVELOPMENT PERMIT APPLICATION CHECKLIST - GENERAL

All plans shall be submitted as one (1) legible hard copy and in **DIGITAL** form (pdfs)

Select [✓] all that are included within application package. Incomplete applications may not be accepted for processing

- ☒ **APPLICATION FORM(S) AND CHECKLIST:** All parts completed and signed.
- ☒ **APPLICATION FEE:** Refer to Planning and Development Fee Schedule within the [Master Rates Bylaw](#).
- ☒ **CURRENT LAND TITLES CERTIFICATE COPY** - dated within 30 days of application, and:
 - ☐ Digital copy of non-financial instruments/caveats registered on title
- ☒ **LETTER OF AUTHORIZATION:** Signed by the registered landowner(s) authorizing person acting on behalf (if not the Applicant). If registered owner on title is a company, authorization to be provided on a company letterhead or as an affidavit (signed by a Commissioner of Oaths).
- ☒ **COVER LETTER**, shall include:
 - ☒ Proposed land use(s) and scope of work on the subject property
 - ☒ Detailed rationale for any variances requested
 - ☐ For businesses - Complete operational details including days/hours of work, number of employees, parking provisions, types of vehicles, outdoor storage areas, site access/approach, traffic management, etc.
 - ☐ Reference to any *Supporting Documents*, images, studies, plans etc. provided within application package
- ☒ **SITE PLAN**, shall include:
 - ☒ Legal description and municipal address
 - ☒ North arrow
 - ☒ Property dimensions (all sides)
 - ☒ Setbacks/dimensions from all sides of the property line(s) to existing/proposed buildings, structures (cantilevers, decks, and porches), outdoor storage areas etc.
 - ☒ Dimensions of all buildings/structures
 - ☒ Location and labels for existing/proposed approach(s)/access to property
 - ☒ Identify names of adjacent internal/municipal roads and highways
 - ☒ Identify any existing/abandoned/proposed oil wells, septic fields/tanks, or water wells on site, including their distances to existing/proposed buildings
 - ☒ Identify any existing/proposed site features such as trees, shelterbelts, canals, waterbodies, etc.
 - ☒ Identify site slopes greater than 15% and distances from structures
 - ☒ Location and labels for easements and/or rights-of-way on title
- ☒ **FLOOR PLANS/ELEVATIONS**, shall include:
 - ☒ Overall dimensions on floor plans for all buildings/structures (for new construction, additions, renovations etc.)
 - ☒ Indicate floor area and existing/proposed uses on floor plans and height(s) on elevations
 - ☒ Indicate type of building/structure on floor plans and elevations
- ☒ **COLOUR PHOTOGRAPHS (Min. 3) - one hard and digital copy:** Of existing site, building(s), structure(s), signage, site features, taken from all sides including surrounding context, and when existing floor plans/elevations are not available
- ☒ **SUPPORTING DOCUMENTS (as applicable):** Include technical studies/reports and any additional plans relating to the proposed development (lot grading, site lighting, storm water management plans etc.). Refer to the Land Use Bylaw for use or district specific requirements.

FOR OFFICE USE ONLY

Proposed Use(s): Dwelling, single detached , variance to height Land Use District: R-CRD

Applicable ASP/CS/IDP/MSDP: Bearspaw ASP

Included within file: ☒ Information Sheet ☒ Parcel Summary ☒ Site Aerial ☒ Land Use Map Aerial ☒ Site Plan

NOTES:

Staff Signature: Steven Lam



LAND TITLE CERTIFICATE

S
LINC SHORT LEGAL TITLE NUMBER
0038 050 556 1811748;2;4 181 200 091 +3

LEGAL DESCRIPTION
PLAN 1811748
BLOCK 2
LOT 4
EXCEPTING THEREOUT ALL MINES AND MINERALS
AREA: 0.808 HECTARES (2 ACRES) MORE OR LESS

ESTATE: FEE SIMPLE
ATS REFERENCE: 5;2;25;7;NW

MUNICIPALITY: ROCKY VIEW COUNTY

REFERENCE NUMBER: 951 284 585 +1

REGISTERED OWNER(S)
REGISTRATION DATE(DMY) DOCUMENT TYPE VALUE CONSIDERATION

181 200 091 18/09/2018 SUBDIVISION PLAN

OWNERS

ROBERT P PETRYK

[REDACTED]
[REDACTED]
[REDACTED]

ENCUMBRANCES, LIENS & INTERESTS

REGISTRATION
NUMBER DATE (D/M/Y) PARTICULARS

4374LO . 27/09/1972 UTILITY RIGHT OF WAY
GRANTEE - ENMAX POWER CORPORATION.
(DATA UPDATED BY: TRANSFER OF UTILITY RIGHT
OF WAY 951047221)
(DATA UPDATED BY: TRANSFER OF UTILITY RIGHT
OF WAY 011000538)

731 008 043 27/04/1973 CAVEAT

ENCUMBRANCES, LIENS & INTERESTS

PAGE 2

181 200 091 +3

REGISTRATION

NUMBER	DATE (D/M/Y)	PARTICULARS
--------	--------------	-------------

CAVEATOR - BLAZER DEVELOPMENTS LTD.

181 144 967 09/07/2018 CAVEAT

RE : UTILITY RIGHT OF WAY

CAVEATOR - ATCO GAS AND PIPELINES LTD.

909 11 AVE SW

CALGARY

ALBERTA T2R1L8

181 200 432 18/09/2018 CAVEAT

RE : DEVELOPMENT AGREEMENT PURSUANT TO MUNICIPAL
GOVERNMENT ACT

CAVEATOR - ROCKY VIEW COUNTY.

911 - 32ND N.E.

CALGARY

ALBERTA T2E6X6

181 200 433 18/09/2018 CAVEAT

RE : DEFERRED SERVICES AGREEMENT

CAVEATOR - ROCKY VIEW COUNTY.

911 - 32ND N.E.

CALGARY

ALBERTA T2E6X6

181 200 435 18/09/2018 UTILITY RIGHT OF WAY

GRANTEE - TELUS COMMUNICATIONS INC.

GRANTEE - ATCO GAS AND PIPELINES LTD.

AS TO PORTION OR PLAN:1811749

181 200 436 18/09/2018 UTILITY RIGHT OF WAY

GRANTEE - ENMAX POWER CORPORATION.

AS TO PORTION OR PLAN:1811749

181 200 438 18/09/2018 UTILITY RIGHT OF WAY

GRANTEE - ROCKY VIEW COUNTY.

AS TO PORTION OR PLAN:1811750

181 200 441 18/09/2018 RESTRICTIVE COVENANT

181 229 219 25/10/2018 RESTRICTIVE COVENANT

TOTAL INSTRUMENTS: 010

PENDING REGISTRATION QUEUE

DRR NUMBER	RECEIVED DATE (D/M/Y)	CORPORATE LLP TRADENAME	LAND ID
C124838	26/03/2021	VU LEGAL 4034741890	

(CONTINUED)

PENDING REGISTRATION QUEUE

PAGE 3

181 200 091 +3

 DRR RECEIVED
 NUMBER DATE (D/M/Y)

CORPORATE LLP TRADENAME

LAND ID

 CUSTOMER FILE NUMBER:
 2021001

001	TRANSFER OF LAND	0038 050 556
002	CAVEAT	0038 050 556
003	CAVEAT	0038 050 556

TOTAL PENDING REGISTRATIONS: 001

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN
 ACCURATE REPRODUCTION OF THE CERTIFICATE OF
 TITLE REPRESENTED HEREIN THIS 11 DAY OF MAY,
 2021 AT 11:31 A.M.

ORDER NUMBER: 41641988

CUSTOMER FILE NUMBER:



END OF CERTIFICATE

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED
 FOR THE SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER,
 SUBJECT TO WHAT IS SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM
 INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION,
 APPRAISAL OR OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS
 PART OF THE ORIGINAL PURCHASER APPLYING PROFESSIONAL, CONSULTING
 OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT(S) .

IF MORE INFORMATION IS REQUIRED ON A PENDING REGISTRATION WHERE
 THE CONTACT INFORMATION DISPLAYS N/A PLEASE EMAIL LTO@GOV.AB.CA.



Designing For You Since 1985

May 7, 2021

To whom it may concern;

24 Bearspaw Terrance
Lot 4, Block 2, Plan #181 1748

This subject parcel of land is zoned R-CRD, Residential Country Residential District.

We are proposing the build of a Custom Family Home with attached garages as per the plans we are submitting with our application for development permit.

Regards,
Ahmed Gouda
Tricor Design Group Inc.



ROCKY VIEW COUNTY

LETTER OF AUTHORIZATION – PLANNING AND DEVELOPMENT SERVICES

I, (We) Robert P. Petryk (print name) Owner 1

_____ (print name) Owner 2

being the owner(s) of: Lot: 4 Block: 2 Plan: 181 1748

Legal Description:

NW/NE/SE/SW ¼ Section 5 Township 2 Range 25 West of 7 Meridian

give Tricor Design Group Inc. (print name of Applicant) permission

to act on my (our) behalf for the following application at the above-noted property (select one):

- ☒ Development Permit
☐ Subdivision
☐ Redesignation
☐ Local Plan

Robert P Petryk Owner 1 Signature

Owner 1 Signature

Owner 2 Signature

Owner 2 Signature

May 6, 2021

Date Signed _____

Rocky View Map



ii

Summary

Roll Number	05607200
Legal Desc	NW-07-25-02-W05M
Divison	08
Lot Block Plan	Lot:4 Block:2 Plan:1811748
Linc Number	38050556
Title Number	181200091+3
Parcel Area	2.00000
Municipal Address	24 BEARSPAW TERRACE
Contact Information	Petryk, Robert P.

Land Use Information	R-CRD
----------------------	-------

Plan

Planning Applications Information

{There is no related Application}

Area Structure Plan

Plan Name	RV Number
Bearspaw	

Conceptual Scheme

Plan Name	RV Number	Planner
BEARSPAW RIVER VIEW	PL20150035/36	Jessica Anderson

Permit

Building Permit

{There is no related Building Permit}

Development Permit Information

{There is no related Development Permits}

Alert

Department	Issued By	Date Issued	Date Closed	Status	Reference No.	Description	Severity
ENG	GurbirN	Tuesday, October 9, 2018		O		All future septic permits shall: Sewer – all private sewage treatment systems shall comply with NSF 40 and/or BNQ standards and any other recommendations; and be in accordance with the Level III PSTS Assessment prepared by Strom Engineering Inc. (September 2014).	1

Geospatial Boundary

Boundary	Category
Division	8
Area Structure Plan	Bearspaw
Conceptual Scheme	BEARSPAW RIVER VIEW
IDP	CALGARY IDP Study Area
Airport Vicinity	No APVA
Engineer	

Water Coop

Gas Coop Service

No.of Lots Within 600 M 63

No.of App Subdiv Within 600 M 0

Developed Road Allowance Yes

Riparian Area Yes

School No School Boundary

Recreation Bearspaw-Glendale

Fire District BEARSPAW

Primary Fire Station 103

Secondary Fire Station 151

Tertiary Fire Station 102

Geospatial Adjacency

Boundary

Category

Distance

Closest Highway No HWY within 800 M

Closest Gravel Pit Kennel Pit 1870.56 M

Sour Gas No Sour Gas Pipe passes From closest sour pipe:18060.65 M

Closest Road Name BEARSPAW TERRACE(Surface Type:Paved)

20.95 M

Closest Railway CPR 820.56 M

Closest Western Irrigation Districts Within 10Km

Closest Waste Water Treatment Within 10Km 1505.21 M

Closest Waste Transfer Site Within 3 Km

Closest Municipality CITY OF CALGARY 62.95 M

Closest Confined Feeding Operation 3845.47 M

CALGARY



AHMED GOUDA

From: glenn wierzba <glenn@wvdevelopments.ca>
Sent: April 21 21 12:47 PM
To: AHMED GOUDA
Cc: 'Trish Krause'
Subject: Re: Architectural Controls for Lot 4, Block 2, Plan#181 1748

Hello Ahmed,

I can confirm that the revised drawings you sent me at 12:37 pm all comply with our architectural controls and we have no problem with you submitting the permit using those drawings.

I can also confirm that we have no issue with you choosing your colours at a later date. If those colours are within the earth tone palates, or shades of black, white, or grey we will definitely approve the colours.

This is a great house. I look forward to seeing it built. Best of luck with the permitting and construction.

Sincerely,
Glenn Wierzba
Willow Valley Developments
403 869 8610

From: AHMED GOUDA <ahmed@tricordesigns.com>
Sent: April 21, 2021 12:37 PM
To: glenn wierzba <glenn@wvdevelopments.ca>
Cc: 'Trish Krause' <trish@tricordesigns.com>
Subject: RE: Architectural Controls for Lot 4, Block 2, Plan#181 1748

Hello Glenn,

Thank you for your email. Please find attached revised site plan and drawings with garage pushed back to 7m from PL.

In regards to the colors, our client still exploring his options and checking for the best combination of colors. However, the colors will be within the earth tone palate as per AC guidelines. But it not finalized yet. Can we keep that as condition with the approval ?!

REGARDS,

AHMED GOUDA

TRICOR DESIGN GROUP

PH. 403-203-1970

#201 - 4216 12 STREET NE, Calgary AB T2E 6K9



ADDRESS LOT 4, BEARSPAW TERRACE, ROCKY VIEW COUNTY		MARKETING LOT NO. 4	GRADE SLIP NO. 4
LOT 4	BLOCK 2	REGISTERED PLAN NO. 1811748	SEDULOUS ENGINEERING PROJECT NO. SEI.17.045
SUBDIVISION BEARSPAW TERRACE SUBDIVISION		DEVELOPER WILLOW VALLEY DEVELOPMENTS LTD AND MR. BOB PETRYCK	CONSULTANT SEDULOUS ENGINEERING, INC.
BUILDER ---		BUILDER FAX NO. ---	BUILDER PHONE NO ---
BUILDER ADDRESS ---		BUILDER CONTACT ---	DATE ISSUED 2019/04/01

A

PROPOSED BUILDING GRADES

ELEV. _____

TOP OF MAIN FLOOR JOISTS

FRONT ELEV. _____ REAR ELEV. _____

FINISHED GRADE

FINISHED GRADE AT GARAGE ELEV. _____

ELEV. _____

REQUIRED TOP OF FOOTING

ELEV. _____

LOWEST PERMITTED TOP OF FOOTING (BOTTOM OF BASEMENT FLOOR SLAB WHERE FROST WALLS ARE REQUIRED)

JOIST DEPTH

HEADROOM

FLOOR SLAB

LEGEND

FRONT GRADE AT PL — 00.00 FRONT/STREET 00.00 PL

DRIVEWAY LOCATION —

WATER SERVICE LOCATION —

WATER PRESSURE REDUCER REQ'D —

BEARING CERTIFICATE REQUIRED —

WATER SIZE AND TYPE —

MINIMUM BUILDING GRADE —

ORIGINAL GROUND ELEVATION (PRIOR TO SITE GRADING) —

INTENDED LOT FLOW DIRECTION —

LOT NUMBER —

REAR GRADE AT PL — 00.00 00.00

SANITARY SERVICE LOCATION

PRV

BCR

W 25 PEX

MG: 00.00

OG: 00.00

00

*MG APPLIES TO ALL LOTS. MG IS DEFINED AS MINIMUM BUILDING GRADE FOR BUILDING GRADE FOR BUILDING OPENINGS.

B

ALL ELEVATIONS ARE: METRIC GEODETIC

	FRONT	REAR	CENTER	REFER TO PLAN	SIZE
SANITARY	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	---
STORM	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	---
WATER	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	25

	YES	NO
GROUND WATER DRAIN TO STORM REQUIRED	<input checked="" type="checkbox"/>	<input type="checkbox"/>
GROUND WATER DRAIN TO SUMP PUMP REQUIRED	<input checked="" type="checkbox"/>	<input type="checkbox"/>
WATER PRESSURE REDUCING VALVE (PRV) REQUIRED	<input checked="" type="checkbox"/>	<input type="checkbox"/>
SERVICES INSTALLED 5.0M INSIDE PROPERTY LINE	<input checked="" type="checkbox"/>	<input type="checkbox"/>
HIGH SULPHATE CONCENTRATIONS PRESENT IN THE SOIL. SULPHATE RESISTANT CEMENT (TYPE 50) REQUIRED	<input type="checkbox"/>	<input checked="" type="checkbox"/>
ADDITIONAL SULPHATE REQUIREMENTS	<input type="checkbox"/>	<input checked="" type="checkbox"/>
FOUNDATION SOIL BEARING INVESTIGATION AND CERTIFICATION REQUIRED.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
GEOTECHNICAL RESTRICTIONS APPLY (SEE GEOTECHNICAL REPORT)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
UTILITY EASEMENTS AFFECT THIS LOT	<input checked="" type="checkbox"/>	<input type="checkbox"/>
AIRPORT NOISE HOUSE CONSTRUCTION REQUIREMENTS APPLY	<input type="checkbox"/>	<input checked="" type="checkbox"/>
FOOTING ELEVATION CHECK REQUIRED PRIOR TO POURING	<input checked="" type="checkbox"/>	<input type="checkbox"/>

NOTES

- IT IS RESPONSABILITY OF THE BUILDER TO ENSURE THE FOOTINGS ARE PLACED ON A PROPER BASE THAT IS FREE FROM FROST, EXCESSIVE MOISTURE AND DELETERIOUS MATERIALS, AND HAVE APPROPRIATE FROST PROTECTION WHEN COMPLETED.
- REFER TO APPROVED BUILDING GRADE PLAN FOR ADDITIONAL INFORMATION AFFECTING CONSTRUCTION OF THIS LOT.
- RUN 25MM WATER FROM MAIN TO HOT WATER TANK (HWT) AND RUN 20MM WATER FROM HWT TO THE HIGHEST FIXTURE IN THE HOUSE.

THE INFORMATION CONTAINED IN SECTIONS B AND C ARE BASED ON THE APPROVED BUILDING GRADE PLAN FOR THIS SUBDIVISION.

APRIL 01, 2019

ISSUED BY AUTHORIZED CONSULTANT'S REPRESENTATIVE _____ DATE _____

C

PLAN

52.40m URW

56.00 56.00

BCR

PRV

W 25 PEX

MG: 55.40

OG: 55.44

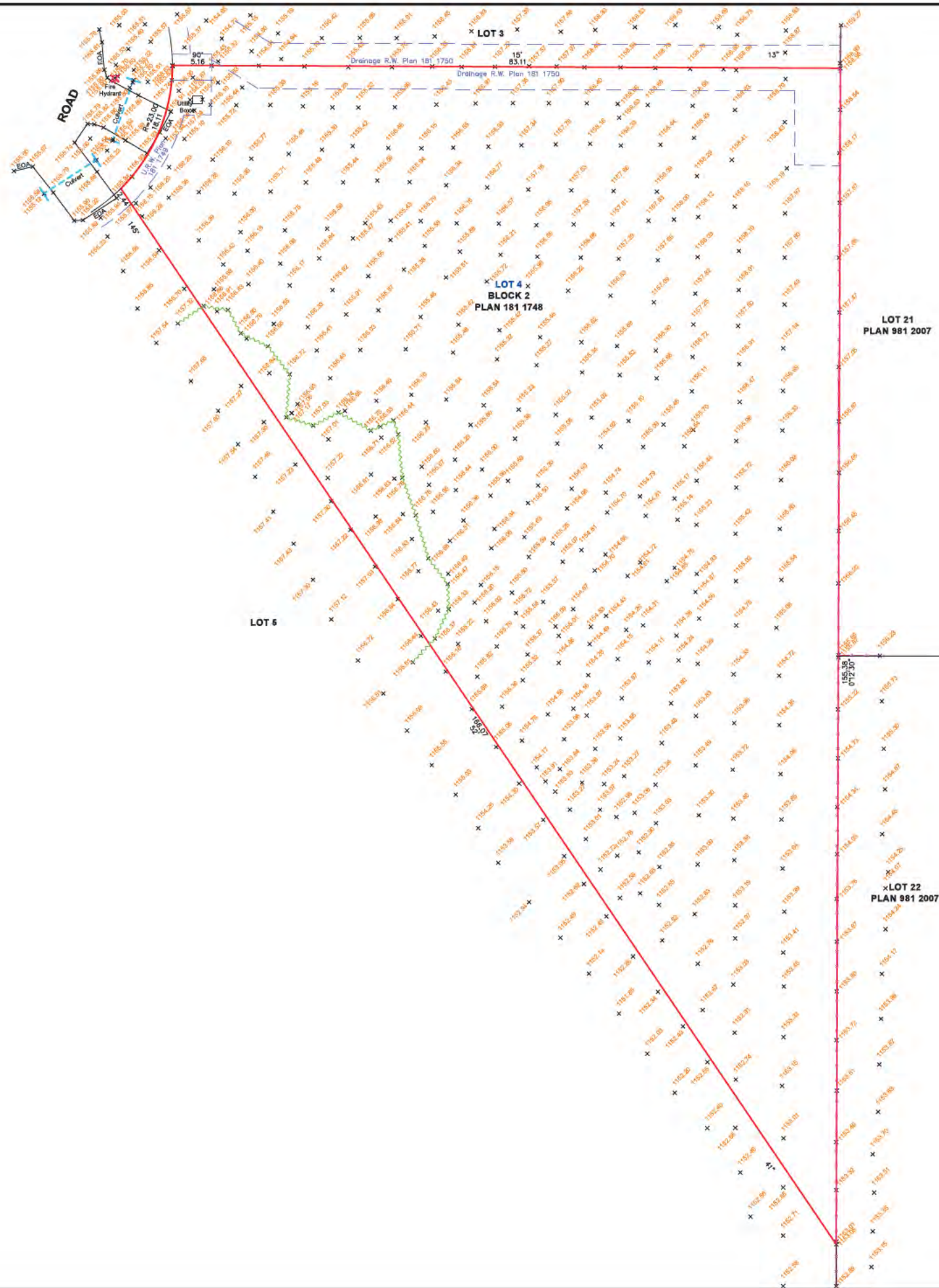
04

6.00m OD ROW

59.08

53.01

<p>I CERTIFY THAT THE FINAL HOUSE PLANS PROVIDED, IN THE BUILDING PERMIT APPLICATIONS, ARE THE SAME AS PROCESSED UNDER THIS GRADE SLIP AND THAT I UNDERSTAND THE INFORMATION AND THE REQUIREMENTS CONTAINED HEREIN AND WILL BUILD ACCORDINGLY.</p> <p>ISSUED BY AUTHORIZED BUILDER'S REPRESENTATIVE _____</p> <p>DATE ISSUED _____</p>	<p>ACTUAL MINIMUM BUILDING OPENING:</p> <p>ELEVATION _____</p> <p>DATE OF SURVEY _____</p> <p>SURVEY BY: _____</p> <p>AUTHORIZED BUILDER'S REPRESENTATIVE</p> <p>ACTUAL MINIMUM BUILDING OPENING:</p> <p>ELEVATION _____</p> <p>DATE OF SURVEY _____</p> <p>SURVEY BY: _____</p> <p>AUTHORIZED BUILDER'S REPRESENTATIVE</p>
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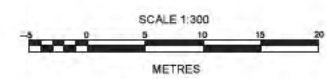
TOPOGRAPHIC SURVEY
SHOWING SPOT ELEVATIONS
OVER
LOT 4, BLOCK 2, PLAN 181 1748
WITHIN THE
N.W. 1/4 SEC.7-TWP.25-RGE.2-W5M
ROCKY VIEW COUNTY, ALBERTA

NOTES:
- ALL DISTANCES SHOWN ARE IN METRES AND DECIMALS THEREOF.
- ALL ELEVATIONS ARE GEODETIC AND REFERRED TO ASCM 390104, ELEVATION OF 1149.561.

DATE OF SURVEY
APRIL 9, 2021

LEGEND
Spot elevations are shown thus x 100.00
Subject Property is shown thus
Utility Right of Ways are shown thus
Fences are shown thus
Building foundation shown thus
Culvert shown thus
Edge of Trees shown thus
Fire Hydrant shown thus x

ABBREVIATIONS
A.S.C.M. Alberta Survey Control Master
C.B. Catch Basin
E. East
E.O.A. Edge of Asphalt
Elev. Elevation
F.R. Fenced
I. Statutory Line Post
M. Metres
M.H. Man Hole
N. North
N.A.D. North American Datum
R. Radius
R.W. Right of Way
U.R.W. Utility Right of Way
T.M. 3" Transverse Mercator
S. South
W. West

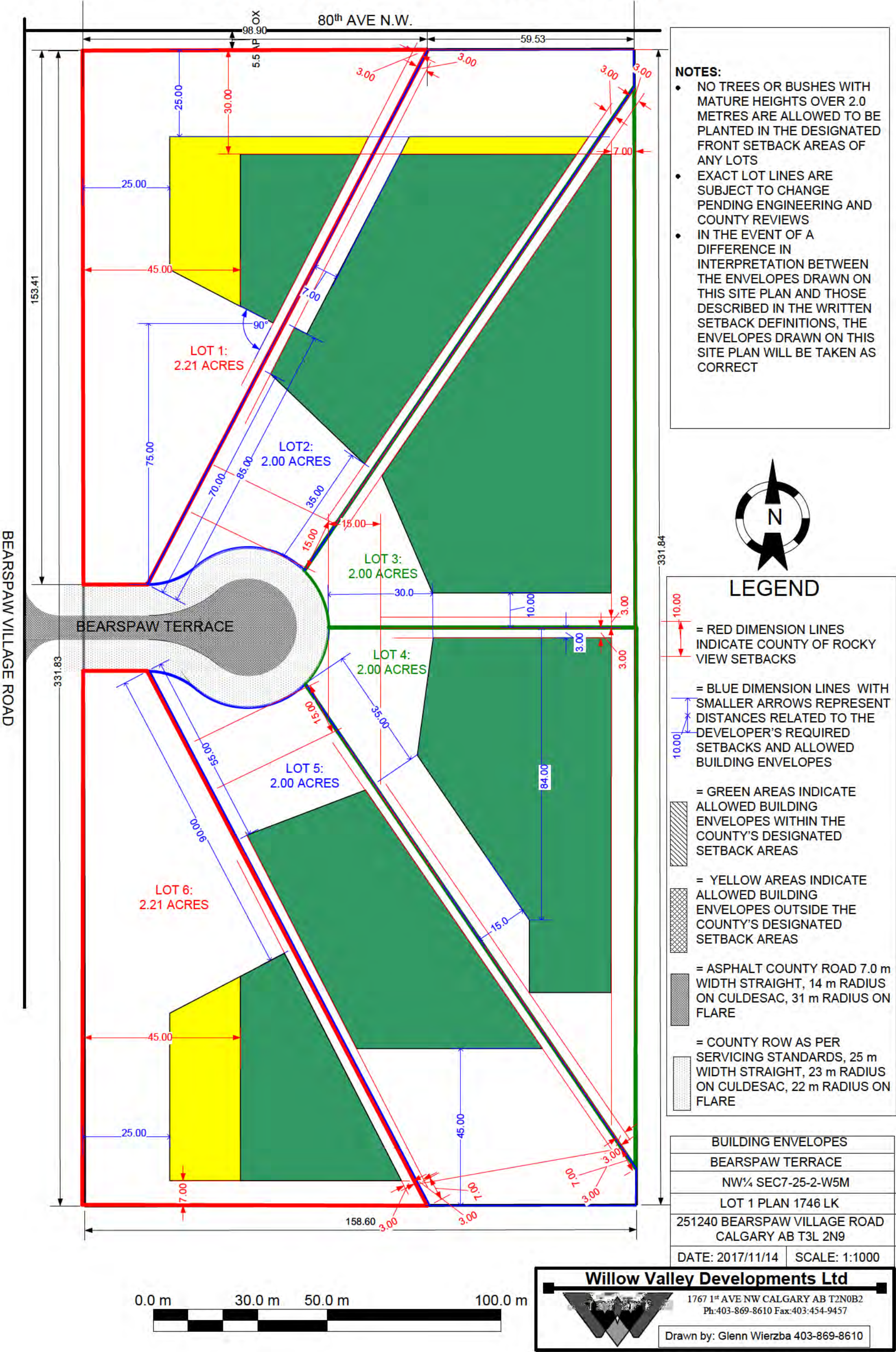


CLIENT:
ALL NORTH - CARSTAIRS

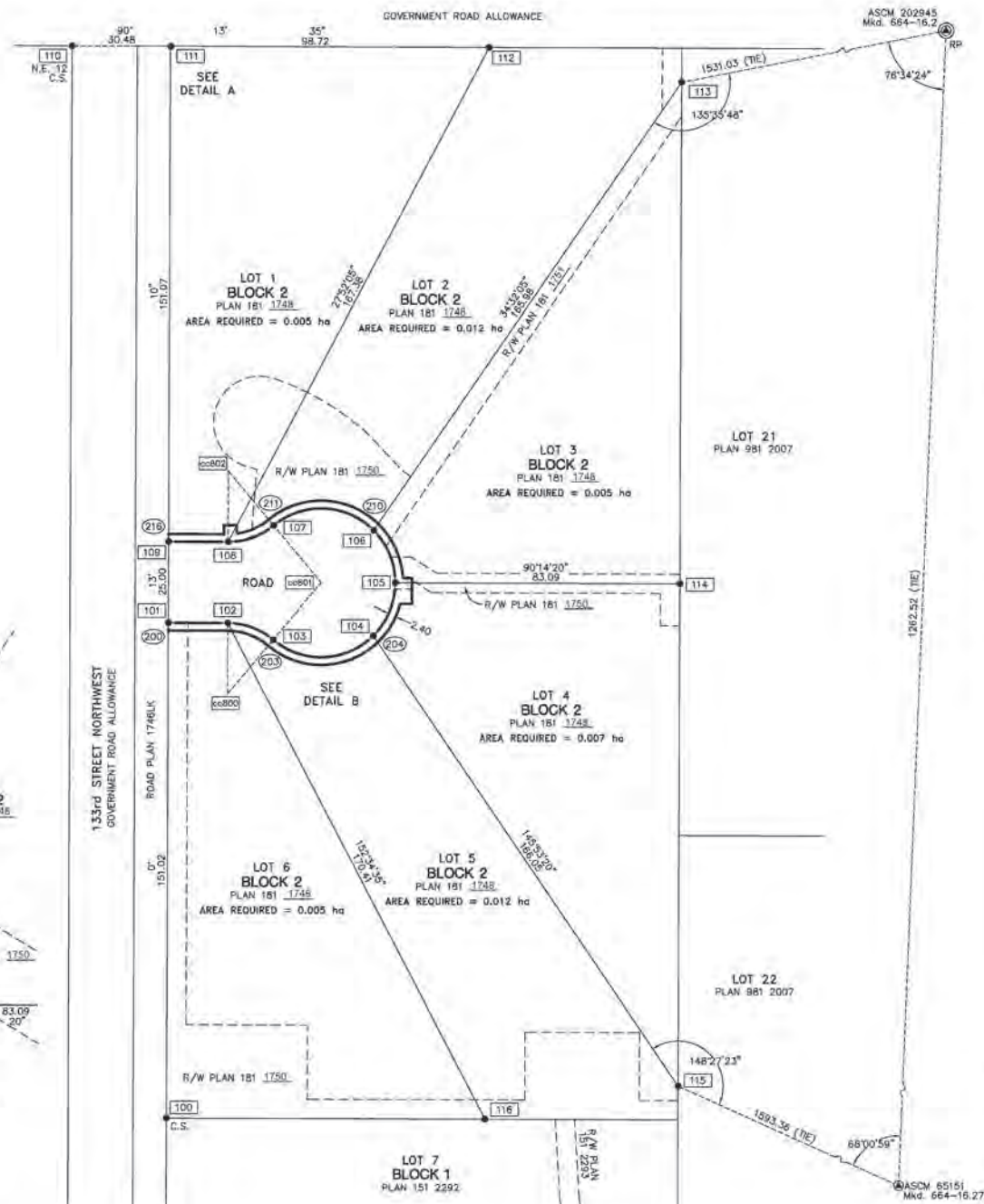
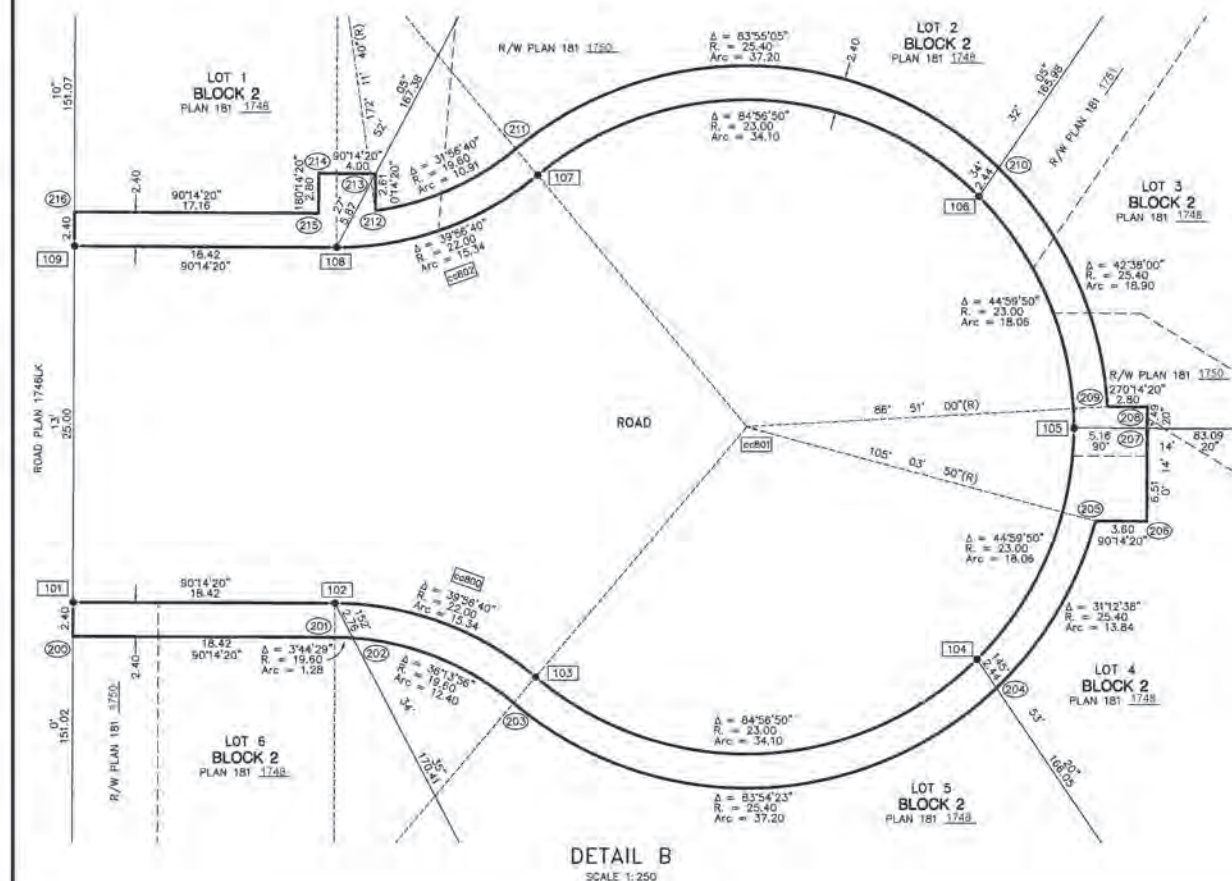
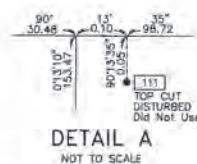
REVISION TABLE			
REV	DESCRIPTION	DATE	APPROVED
1			
2			
3			
4			
5			



BEARSPAW TERRACE: SETBACK & BUILDING ENVELOPE PLAN



COORDINATE TABLE		
POINT	NORTHING	EASTING
ASCM 202945	5665745.959	-17966.922
ASCM 65151	5664494.861	-18018.899
100	5665313.572	-19628.764
101	5665294.947	-19628.187
102	5665284.876	-19609.780
103	5665279.688	-19595.668
104	5665280.923	-19564.647
105	5665297.169	-19557.832
106	5665313.439	-19544.510
107	5665314.940	-19545.524
108	5665309.856	-19609.659
109	5665309.953	-19628.081
110	5665463.490	-19657.985
111	5665463.315	-19627.405
112	5665462.974	-19528.713
113	5665452.159	-19449.063
114	5665296.801	-19469.609
115	5665141.474	-19470.188
116	5665131.218	-19530.023
200	5665282.548	-19628.198
201	5665282.477	-19609.789
202	5665282.431	-19608.511
203	5665277.855	-19597.216
204	5665278.905	-19563.280
205	5665280.654	-19556.307
206	5665290.639	-19552.701
207	5665307.147	-19552.673
208	5665298.637	-19552.867
209	5665298.649	-19555.472
210	5665315.447	-19583.128
211	5665316.788	-19597.057
212	5665312.436	-19606.932
213	5665315.040	-19605.918
214	5665315.081	-19610.917
215	5665312.262	-19610.932
216	5665312.352	-19628.083
cc800	5665262.881	-19609.857
cc801	5665297.236	-19580.832
cc802	5665331.863	-19609.577



REGISTRAR, LAND TITLES OFFICE

PLAN No 181 1749

ENTERED AND REGISTERED

ON September 18, 2018

INSTRUMENT No 181 200 434

D. Stankovic
A.D. REGISTRAR

SURVEYOR

NAME: PETER YORKE,
ALBERTA LAND SURVEYOR

DATES OF SURVEY: FEBRUARY 8 TO
FEBRUARY 28, 2018

IN ACCORDANCE WITH THE PROVISIONS
OF THE SURVEYS ACT.

P033
OPUS STEWART
WEIR LTD.

CERTIFICATE: SECTION 47, SURVEYS ACT

REGISTERED ON January 8, 2020

AS NUMBER 201 004 778

CERTIFYING THAT ALL STATUTORY MONUMENTS WERE PLACED IN THE GROUND
BETWEEN THE DATES OF November 17, 2019 AND November 24, 2019
AND ARE POSITIONED IN ACCORDANCE WITH THE COORDINATES
SHOWN ON THIS PLAN EXCEPT FOR THE FOLLOWING:

Position # 205 - Unavailable for Posting (buried utilities)
Position # 210 - Unavailable for Posting (in trench)
Position # 215 - Unavailable for Posting (in trench)

D. Stankovic
A.D. REGISTRAR

LEGEND

STM - 3" TRANSVERSE MERCATOR
ASCM - ALBERTA SURVEY CONTROL MARKER
C.S. - COUNTERSUNK
C.S.F. - COMBINED SCALE FACTOR
GNSS - GLOBAL NAVIGATION SATELLITE SYSTEM
ha - HECTARES
M. - MOUND OR MERIDIAN
Mkd. - MARKED
N. - NORTH

NAD83 - NORTH AMERICAN DATUM, 1983
R. - RADIUS
(R) - RADIAL
RGE - RANGE
R/W - RIGHT-OF-WAY
SEC. - SECTION
TWP. - TOWNSHIP
W. - WEST
Δ - CENTRAL ANGLE OF CURVE

ASCM - ALBERTA SURVEY CONTROL MARKER FOUND
STATUTORY IRON POST FOUND

CURVE CENTRE COORDINATES ARE SHOWN AS THIS

POSITIONS WHERE STATUTORY POSTS, MARKED P033, ARE TO BE
PLACED PURSUANT TO SECTION 47 OF THE SURVEYS ACT SHOWN

GEO-REFERENCE POINT SHOWN THIS
LANDS DEALT WITH BY THIS PLAN BOUNDED THIS
AND CONTAINS 0.048 HECTARES

GEO-REFERENCE POINT IS POSITIONED AT ASCM 202945 COORDINATES:
EASTING: -17966.922, NORTHING: 5665745.959
BEARINGS ARE GRID AND DERIVED FROM GNSS OBSERVATIONS.
CONFIRMED BY OBSERVATIONS ON ASCM 202945 & ASCM 65151
STM NAD83 (ORIGINAL), REFERENCE MERIDIAN 114° WEST, C.S.F.=0.999720

NOTE:
DISTANCES ARE IN METRES AND DECIMALS THEREOF.
COORDINATE POSITIONS FOR SURVEY MONUMENTS FOUND OR PLACED BY
THIS SURVEY, SURVEY CONTROL MARKERS USED, REFERENCE MONUMENTS INSTALLED
AND THE LOCATION OF ALL SURVEY MONUMENTS TO BE
PLACED IN ACCORDANCE WITH SECTION 47 OF THE SURVEYS ACT,
ARE SHOWN ON A TABLE OF COORDINATES AND REPRESENT JTM GRID VALUES.

ROBERT P. PETRYK

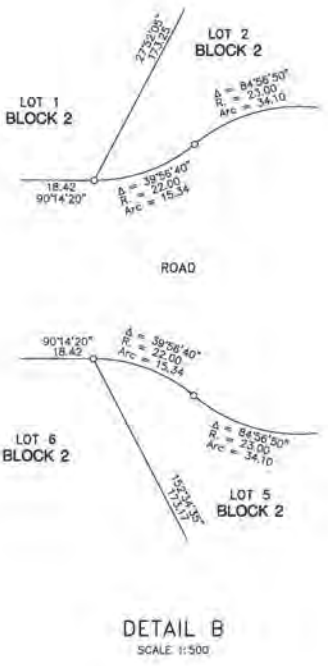
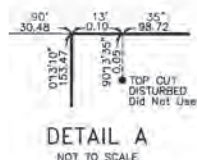
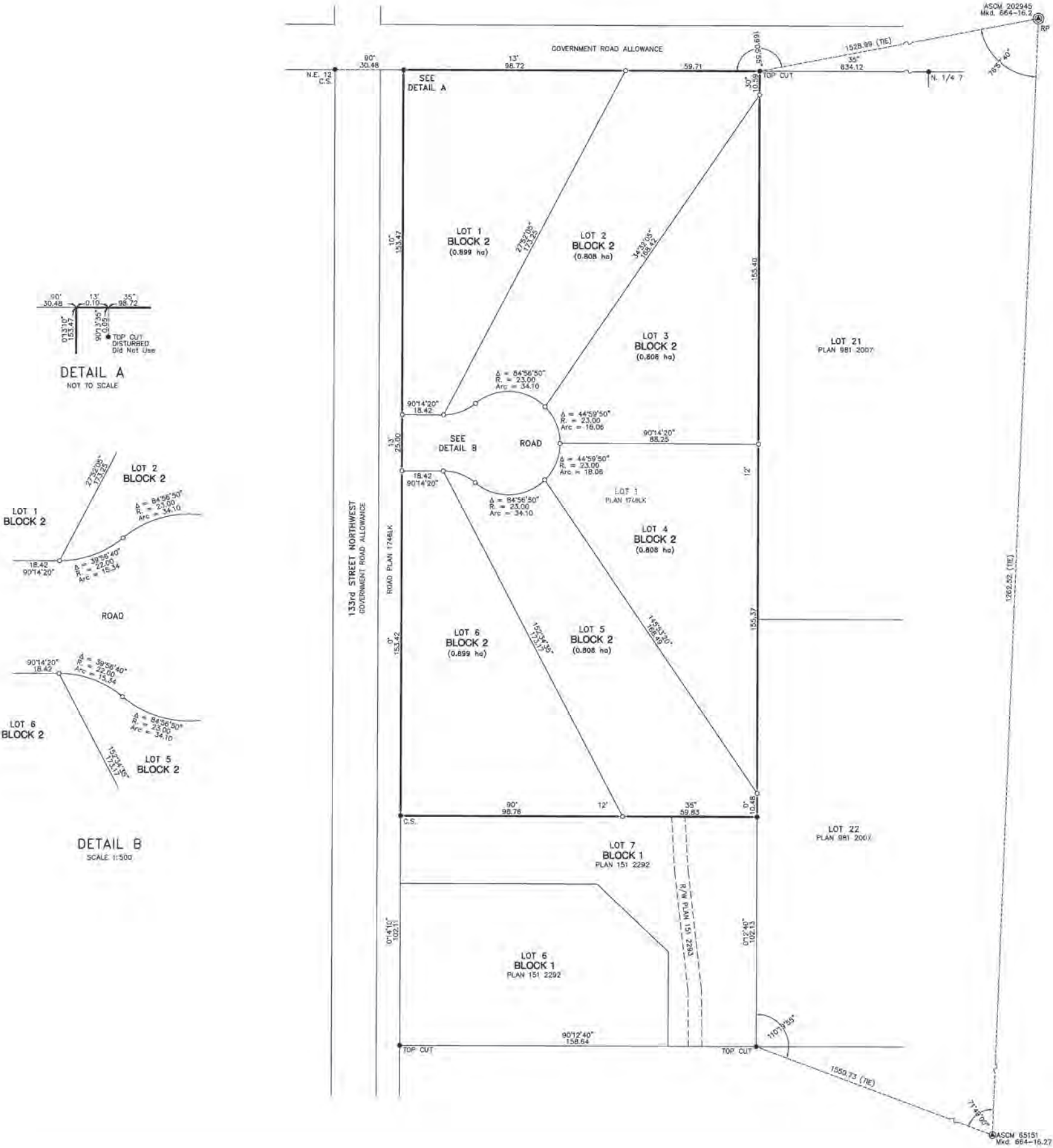
PLAN

SHOWING SURVEY OF
UTILITY RIGHT-OF-WAY
WITHIN
LOTS 1-6, PLAN 181 1748
(N.W. 1/4 SEC. 7)
TWP. 25 - RGE. 2 - W. 5M.
ROCKY VIEW COUNTY - ALBERTA

SCALE 1:1000 2018 PETER YORKE, A.L.S.

OPUS STEWART WEIR
#140, 2121 Premier Way Sherwood Park Alberta T8B 4T0 2530

DRAWING NAME: 36806-URW.dwg DATE: AUGUST 17, 2018
CLIENT: WILLOW VALLEY DEVELOPMENTS LTD. FILE No.: S-36806
DRAFTED BY: ND CHECKED BY: NS



REGISTRAR, LAND TITLES OFFICE	
PLAN No 181 1748 ENTERED AND REGISTERED ON September 18, 2018 INSTRUMENT No 181 200 091 <i>D. Shankie</i> A.D. REGISTRAR	
SURVEYOR NAME: PETER YORKE, ALBERTA LAND SURVEYOR DATES OF SURVEY: FEBRUARY 8 TO FEBRUARY 28, 2018 IN ACCORDANCE WITH THE PROVISIONS OF THE SURVEYS ACT.	
SUBDIVISION AUTHORITY NAME: ROCKY VIEW COUNTY FILE NO.: PL20170116 ROLL NO.: 05607006	REGISTERED OWNERS ROBERT P. PETRYK
LEGEND STM - 3" TRANSVERSE MERCATOR ASCM - ALBERTA SURVEY CONTROL MARKER C.S. - COUNTERSUNK CSRS - CANADIAN SPATIAL REFERENCE SYSTEM C.S.F. - COMBINED SCALE FACTOR GNSS - GLOBAL NAVIGATION SATELLITE SYSTEM M. - MOUND OR MERIDIAN ha - HECTARES Mkd. - MARKED N. - NORTH NAD83 - NORTH AMERICAN DATUM, 1983 R. - RADIUS RGE. - RANGE SEC. - SECTION TWP. - TOWNSHIP W. - WEST Δ - CENTRAL ANGLE OF CURVE STATUTORY IRON POST FOUND STATUTORY IRON POST PLACED AND MARKED P033 ALBERTA SURVEY CONTROL MARKER FOUND GEO-REFERENCE POINT SHOWN THUS LANDS DEALT WITH BY THIS PLAN BOUNDED THUS AND CONTAINS: 5.28 ha GEO-REFERENCE POINT IS POSITIONED AT ASCM 202945 COORDINATES: EASTING: -17966.922, NORTHING: 5665745.959 BEARINGS ARE GRID AND DERIVED FROM GNSS OBSERVATIONS, CONFIRMED BY OBSERVATIONS ON ASCM 202945 & ASCM 65151 STM NAD83 (ORIGINAL), REFERENCE MERIDIAN 114° WEST, C.S.F.=0.999720 DISTANCES ARE IN METRES AND DECIMALS THEREOF.	
PLAN SHOWING SURVEY OF SUBDIVISION OF LOT 1, PLAN 1746LK (N.W. 1/4 SEC. 7) TWP. 25 - RGE. 2 - W. 5M. ROCKY VIEW COUNTY - ALBERTA SCALE 1:1000 2018 PETER YORKE, A.L.S. 	
OPUS STEWART WEIR #140, 2121 Premier Way Sherwood Park Alberta T8B 4T0 2530	
DRAWING NAME: 36806-SUB.dwg	DATE: JULY 17, 2018
CLIENT: WILLOW VALLEY DEVELOPMENTS LTD.	FILE No.: S-36806
DRAFTED BY: ND	CHECKED BY: NS











PLANS FOR:

LUXURIA HOMES

PROJECT ADDRESS:

24 BEARSPAW TERRACE ROCKY VIEW COUNTY, ALBERTA
LOT 04; BLOCK 2; PLAN 181 1748

BUILDING PERMIT DRAWINGS
ISSUE DATE: JUNE 18, 2019

RESIDENTIAL DESIGN CONSULTANT:



COMMERCIAL
#201, 4216 12th Street NE Calgary, Alta T2E 6K9
P: 403.203.1970 F: 403.203.1990
info@tricordesigns.com www.tricordesigns.com
• TRICOR DESIGN GROUP 1985

JOB#: 20-08387

PICTURE FOR REFERENCE



LIST OF DRAWINGS:

- BP1.1 FRONT & REAR ELEVATION
- BP1.2 RIGHT & LEFT ELEVATION
- BP2.1 MAIN FLOOR PLAN
- BP2.2 UPPER FLOOR PLAN
- BP2.3 BASEMENT PLAN
- BP3.0 BUILDING SECTIONS
- BP4.0 ROOF PLAN
- BP5.1 MAIN FLOOR ELECTRICAL
- BP5.2 UPPER FLOOR ELECTRICAL
- BP5.3 BASEMENT FLOOR ELECTRICAL

KEY PLAN:



LEGAL DESCRIPTION:

LOT 04; BLOCK 2; PLAN 181 1748
ROCKY VIEW COUNTY, ALBERTA
MUNICIPAL ADDRESS:
24 BEARSPAW TERRACE
ROCKY VIEW, ALBERTA

GENERAL CALCULATIONS:

LOT AREA: 8081.66 m²
BUILDING AREA: 1237.00 m²
COVERAGE AREA:
GROUND FLOOR AREA: 503.00 m²
GARAGE AREA: 298.00 m²
FRONT PORCH: 11.00 m²
TOTAL COVERAGE AREA: 812.00 m²
% COVERAGE: 10.05 %

SQUARE FOOTAGES	DESCRIPTION	SQ. FT.
	MAIN FLOOR	5412
	SECOND FLOOR	3581
	TOTAL	8993
	BASEMENT DEV.	4322
	GRAND TOTAL	13315
	GARAGE	3208
	REAR DECK	474
	FRONT PORCH	115



SINGLE FAMILY

24 BEARSPAW TERRACE,
ROCKYVIEW COUNTY, ALBERTA
LOT 04; BLOCK 2; PLAN 181 1748

LUXURIA HOMES

BUILDING PERMIT SUBMISSION

TITLE	
FRONT & REAR ELEVATION	
PROJECT #:	20-08387
DATE:	JUNE 18, 2021
SCALE:	1/8" = 1'-0"
PAGE #	

FRONT & REAR
ELEVATION

PROJECT #:	20-08387
DATE:	JUNE 18, 2021
SCALE:	1/8" = 1'-0"
PAGE #	

#201, 4216 12th Street NE Calgary, Alta T2E 0K0
P 403.203.1970 F 403.203.1990
info@tricordesigns.com www.tricordesigns.com
* TRICOR DESIGN GROUP 1985

THE PURCHASE OF A SET OF CONSTRUCTION DRAWINGS IN NO WAY TRANSFERS ANY COPYRIGHT OR OTHER OWNERSHIP INTEREST TO THE BUYER, EXCEPT FOR A LIMITED LICENSE TO USE THIS SET OF DRAWINGS FOR THE CONSTRUCTION OF ONE, AND ONLY ONE DWELLING.

ALL WORK IS PERFORMED TO COMPLY TO CURRENT ALBERTA BUILDING CODE, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.

SINGLE FAMILY

CLIENT

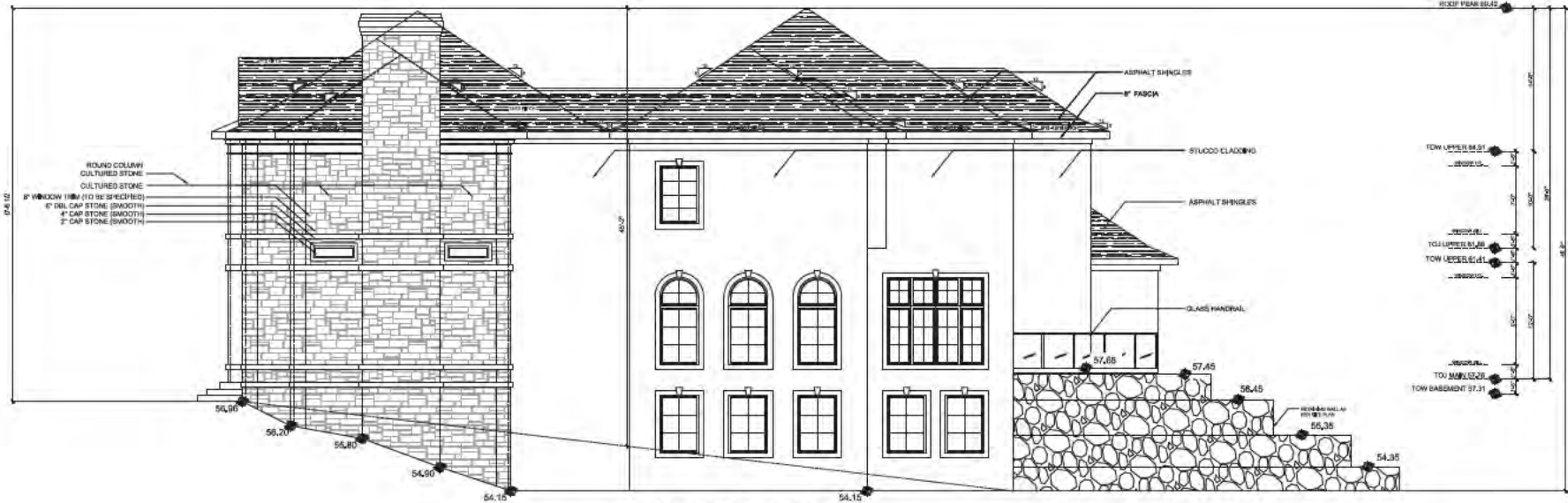
LUXURIA HOMES

BUILDING PERMIT SUBMISSION

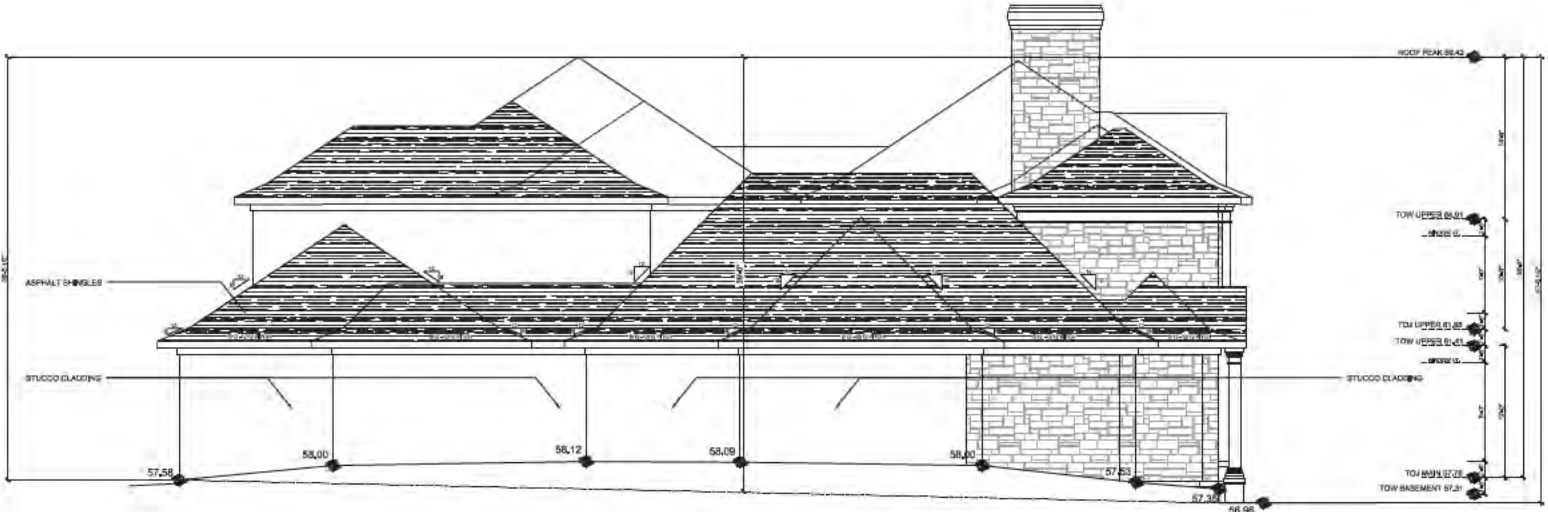
TITLE	DATE	BY	NO.	PRICE	REMARKS
...

PROJECT #:	20-08387
DATE:	JUNE 18, 2021
SCALE:	1/8" = 1'-0"

Page 82 of 92



RIGHT ELEVATION
SCALE: 1/8"=1'0"



LEFT ELEVATION
SCALE: 1/8"=1'0"

TITLE	
MAIN FLOOR	
PROJECT #	20-08387
DATE	JUNE 18, 2021
SCALE	1/8" = 1'-0"
PAGE #	

SINGLE FAMILY

CLIENT

LUXURIA HOMES

BUILDING PERMIT SUBMISSION

TITLE LOWER FLOOR

PAGE #



SCALE: 1/8"=1'0"
(10'-1" CEILING HGT.) 4322 SQ.FT.

Page 86 of 92



PROJECT

SINGLE FAMILY

24 BEARSPAW TERRACE,
ROCKYVIEW COUNTY, ALBERTA
LOT 04; BLOCK 2; PLAN 181 1748

CLIENT

LUXURIA HOMES

DRAWING SET

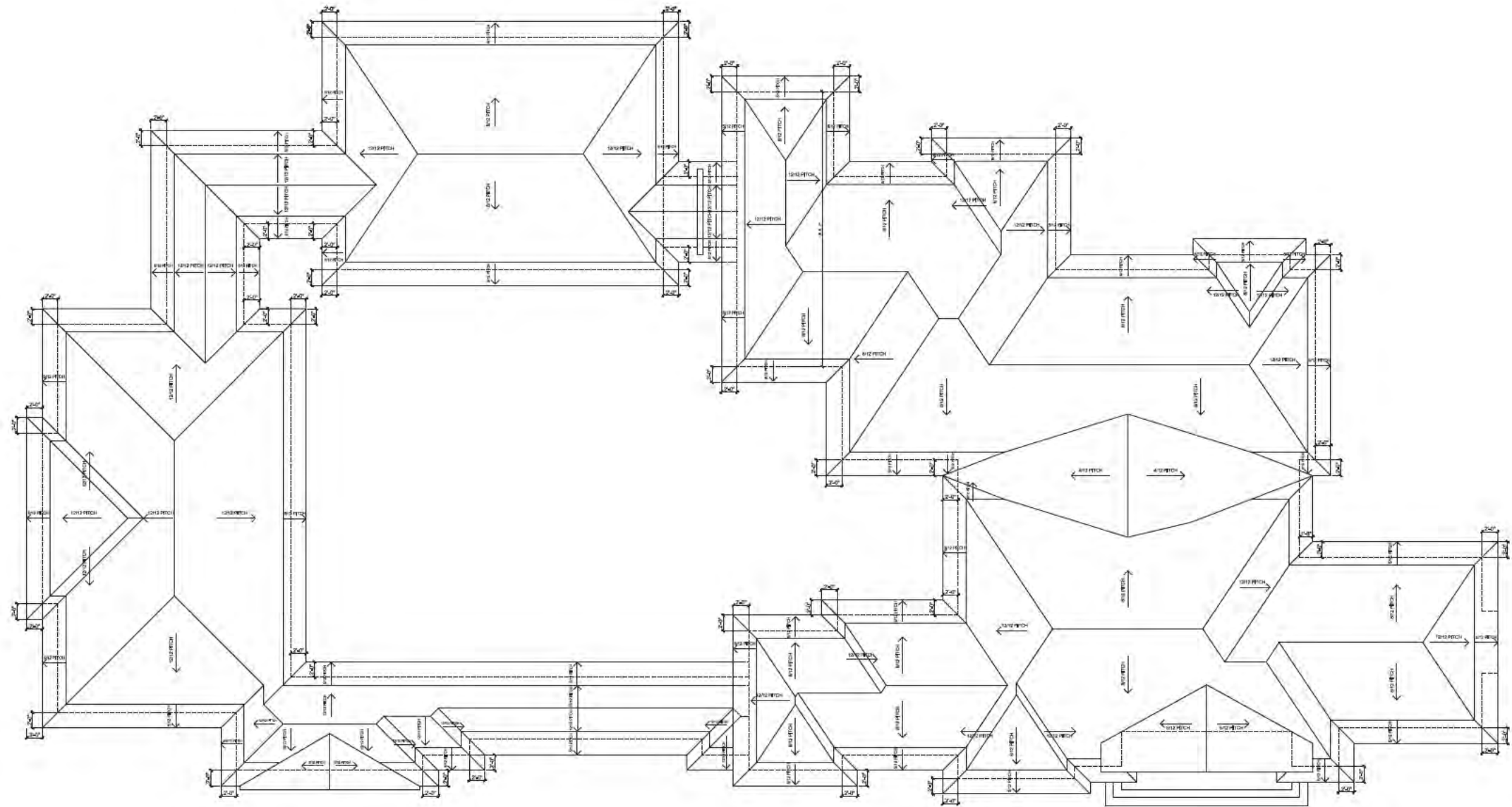
BUILDING PERMIT SUBMISSION

[illegible]

TITLE

ROOF

PROJECT #:	20-08387
DATE:	JUNE 18, 2021
SCALE:	1/8" = 1'-0"



ROOF PLAN
SCALE: 1/8"=1'0"

ALL WORK IS PERFORMED TO COMPLY TO CURRENT ALBERTA BUILDING CODE, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.

CLIENT

DRAWING SET

BUILDING PERMIT

EDITOR REVISIONS

TLE

SCALE: $1/8" = 1'-0"$



THE PURCHASE OF A SET OF CONSTRUCTION DRAWINGS IN NO WAY TRANSFERS ANY COPYRIGHT OR OTHER OWNERSHIP INTEREST TO THE BUYER, EXCEPT FOR LIMITED LICENSE TO USE THIS SET OF DRAWINGS FOR THE CONSTRUCTION OF ONE AND ONLY ONE DWELLING.

DRAWINGS ARE NOT TO BE SCALED. ANY ERRORS, OMISSIONS OR DISCREPANCY WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION. IF THESE ERRORS, OMISSIONS OR DISCREPANCIES ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION THE BUILDING AND/OR OWNER ARE FULLY RESPONSIBLE.

ALL WORK IS PERFORMED TO COMPLY TO CURRENT ALBERTA BUILDING CODE, AND
ALL OTHER AUTHORITIES HAVING JURISDICTION.

PROJECT

SINGLE FAMILY

24 BEARSPAW TERRACE,
ROCKYVIEW COUNTY, ALBERTA
LOT 04; BLOCK 2; PLAN 181 1748

CLIENT

LUXURIA HOMES

DRAWING SET

BUILDING PERMIT SUBMISSION

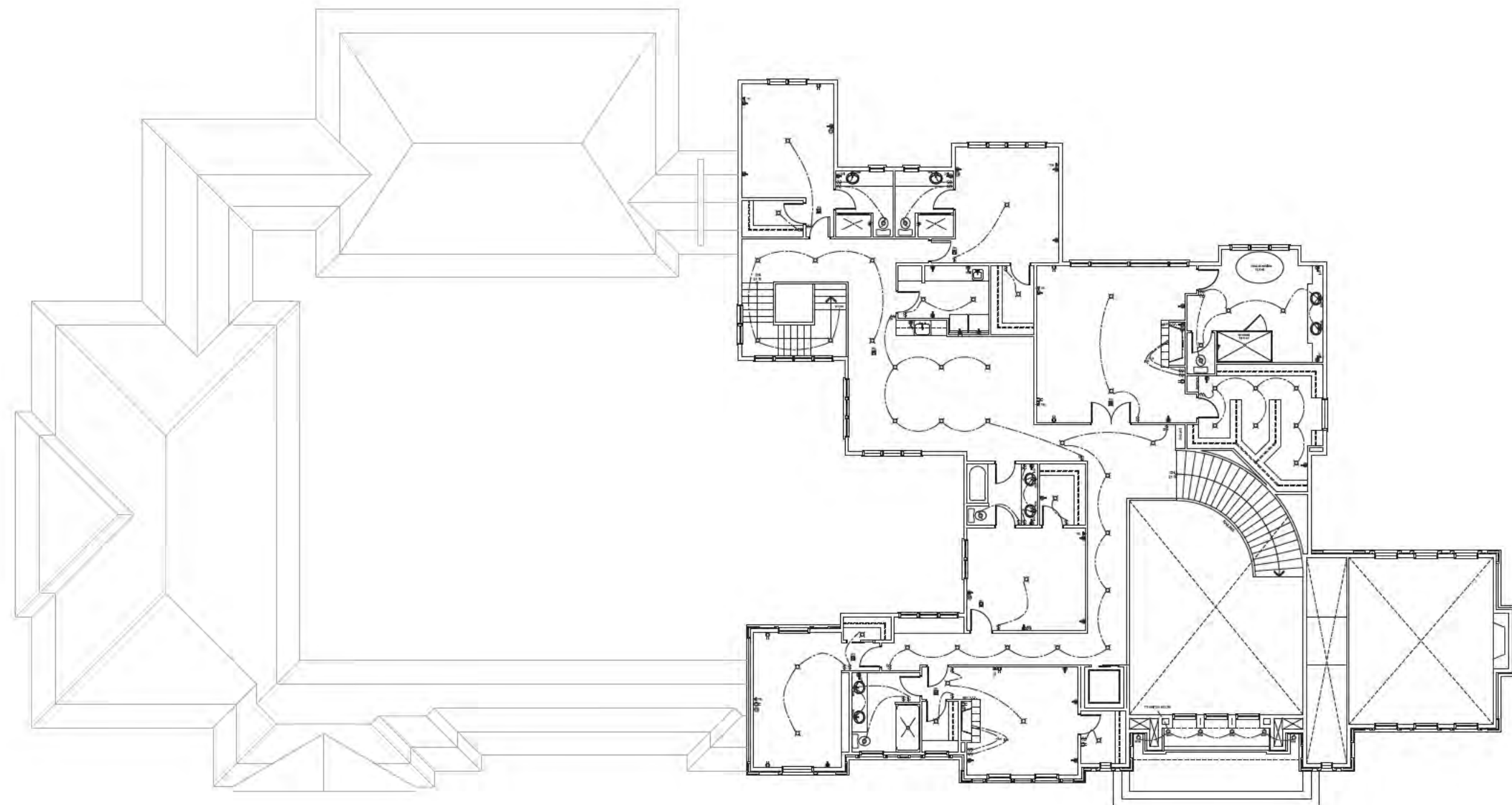
TITLE	
UPPER FLOOR ELECTRICAL	
PROJECT #:	20-08387
DATE:	JUNE 18, 2021
SCALE:	1/8" = 1'-0"

TITLE

UPPER FLOOR
ELECTRICAL






PROJECT #:	20-08387
DATE:	JUNE 18, 2021
SCALE:	1/8" = 1'-0"

PAGE



UPPER FLOOR ELECTRICAL PLAN

ELECTRICAL LEGEND

	ONE-WAY SWITCH		GROUND-FAULT INDICATOR OUTLET		WALL-MOUNTED LIGHT		R RECESSED POTLIGHT		E EXHAUST FAN		MAIN ELECTRICAL PANEL
	3-WAY SWITCH		OUTDOOR WEATHER-PROOF OUTLET		L LIGHT		R ADJUSTABLE RECESSED EYEBALL POTLIGHT		SD SMOKECO DETECTOR		UNDER-CAB NET BALANCE LIGHT
	4-WAY SWITCH		ROUGH-IN GARAGE DOOR OPENER		P PENDANT (HANGING) LIGHT		T TELEPHONE OUTLET		CV CENTRAL VACUUM OUTLET		FLUORESCENT LIGHT
	220V OUTLET		EAVE PLUG		PULL-CHAIN LIGHT		T TIVCABLE OUTLET		NO FLUORESCENT		TRACK LIGHT
	110V OUTLET		FLOOR PLUG		RECESSED POTLIGHT		CN CATS NETWORK COMMUNICAT OUTLET		CEILING FAN WITH OR WITHOUT LIGHT		

SINGLE FAMILY

BEARSPAW TERRACE,
YVIEW COUNTY, ALBERTA
4; BLOCK 2; PLAN 181 1748

LUXURIA HOMES

BUILDING PERMIT SUBMISSION

[illegible]

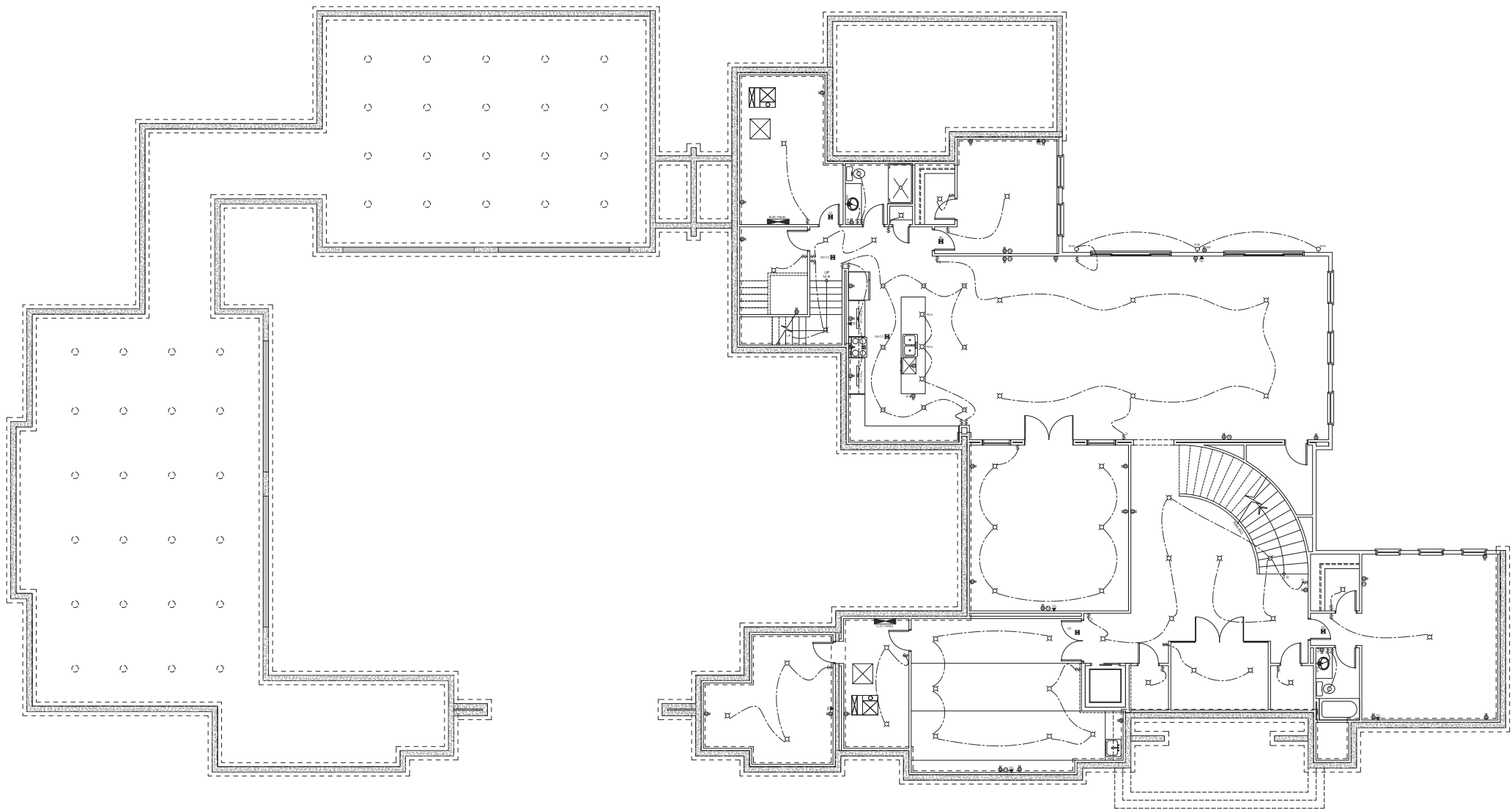
BASEMENT ELECTRICAL

20-08387

JUNE 18, 2021






























$$1/8'' = 1'-0''$$

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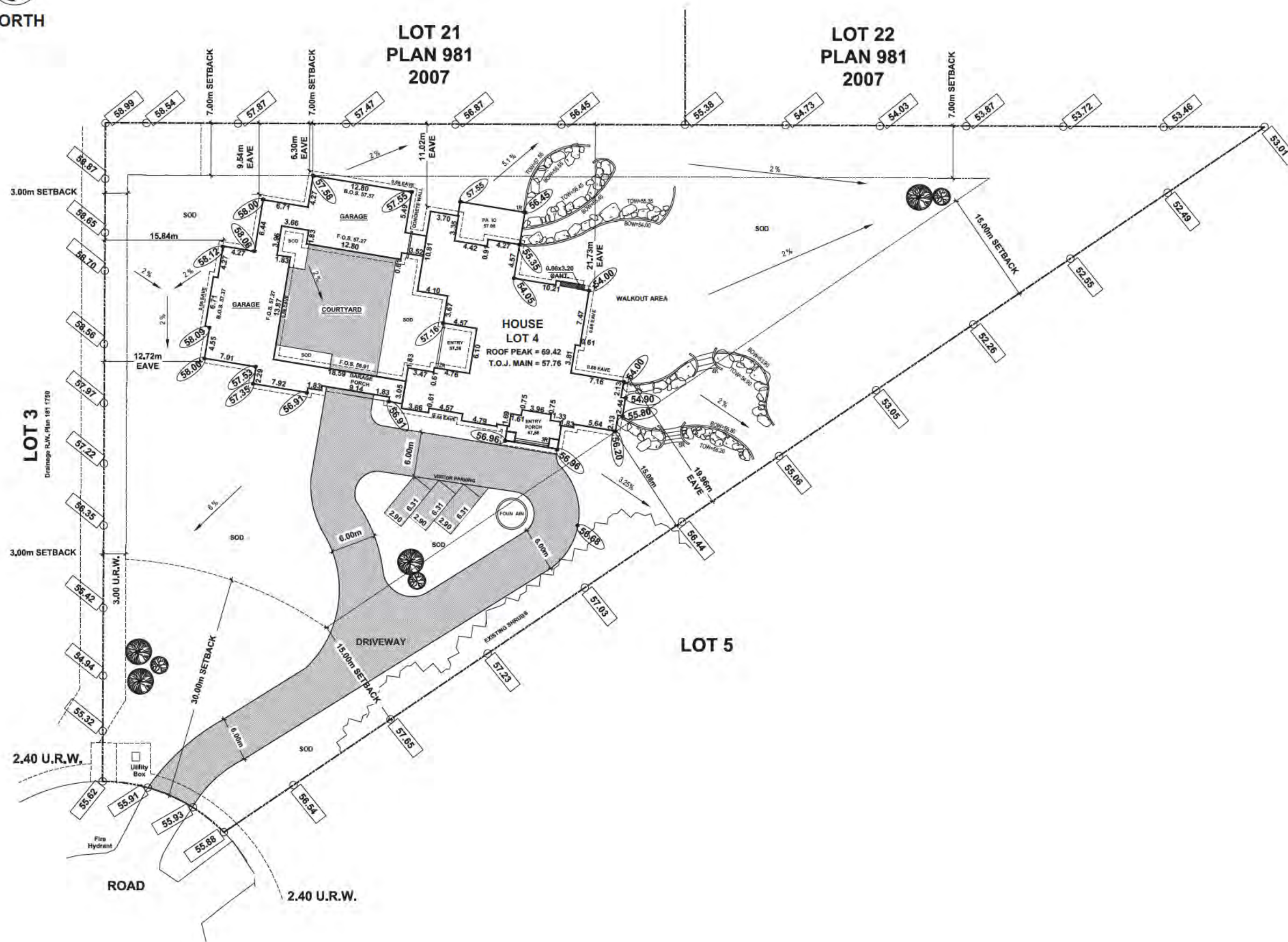
BASEMENT FLOOR ELECTRICAL PLAN

ELECTRICAL LEGEND

	ONE-WAY SWITCH		GROUND-FAULT INDICATOR OUTLET		WALL-MOUNTED LIGHT		6 RECESSED POTLIGHT		EXHAUST FAN		MAIN ELECTRICAL PANEL	
	3-WAY SWITCH		OUTDOOR WEATHER-PROOF OUTLET		LIGHT		6 ADJUSTABLE RECESSED EYEBALL POTLIGHT		SMOKE/CO DETECTOR		UNDER-CAB NET VALUE LIGHT	
	2-WAY SWITCH		ROUGH-IN GARAGE DOOR OPENER		PENDANT(HANGING) LIGHT		TELEPHONE OUTLET		CENTRAL VACUUM OUTLET		FLUORESCENT LIGHT	
	220V OUTLET		EAVE PLUG		PULL-CHAIN LIGHT		TIVACABLE OUTLET		Ceiling Fan with or without Light		TRACK LIGHT	
	110V OUTLET		FLOOR PLUG		RECESSED POTLIGHT		CATS NETWORK COMMUNICATION OUTLET					



NORTH



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PROJECT:

SINGLE FAMILY

24 BEARSPAW TERRACE,
ROCKYVIEW COUNTY, ALBERTA
LOT 04; BLOCK 2; PLAN 181 1748

CLIENT:

LUXURIA HOMES

DRAWING SET:

**ARCHITECTURAL
CONTROL SUBMISSION**

RELEASED FOR:	DRWN BY:	CHKD BY:	DATE (M/D/Y)
DESIGN APPROVAL			
DEVELOPMENT PERMIT			04/18/21
BUILDING PERMIT			
REVISION DESCRIPTION:	DRWN BY:	CHKD BY:	DATE (M/D/Y)
1.			
2.			
3.			
4.			
5.			
6.			
7.			
8.			
9.			
10.			

TITLE:

SITE PLAN

PROJECT #: 20-08387
DATE: APR. 20, 2021
SCALE: 1:250
PAGE #: