

**SUBDIVISION AND DEVELOPMENT APPEAL BOARD  
FOR ROCKY VIEW COUNTY AGENDA**

Date: July 8, 2021  
Time: 9:00 AM  
Location: <https://www.rockyview.ca/>

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**Pages**

**A. CALL MEETING TO ORDER**

**B. DEVELOPMENT APPEALS**

**9:00 AM APPOINTMENTS**

**1. Division 1 File: 04801003 PRDP20211823**

**2**

An affected party appeal against the Development Authority's decision to approve a development permit application for the installation of a Communications Facility (Type C) and associated equipment shelter at NW-01-24-04-W05M and located at the southeast junction of Highway 8 and Range Road 41.

Appellant: Kenneth W Robinson

Applicant: Xplornet Communications Inc. c/o Scott Telecom Services

Owners: HCS Investment Holdings Ltd.

**10:30 AM APPOINTMENTS**

**2. Division 9 File: 06828004 DC202104-0084**

**135**

an appeal against a stop order issued by the Development Authority, Development Compliance to cease any and all commercial activity on the parcel, and remove all signage indicating commercial activity and cease all living within Recreational Vehicles/Trailers at 264059 Range Road 43 SE-28-26-04-W05M and located within the hamlet of Cochrane Lakes

Appellant: Daniel Grant

Owner: Wan Wei Xie

**C. ADJOURN THE MEETING**

**D. NEXT MEETING**

July 29, 2021

## PLANNING AND DEVELOPMENT SERVICES

<b>TO:</b>	Subdivision and Development Appeal Board	
<b>DATE:</b>	July 8, 2021	<b>DIVISION:</b> 1
<b>FILE:</b>	04801003	<b>APPLICATION:</b> PRDP20211823
<b>SUBJECT:</b>	Development Item: Communications Facility (Type C) / Discretionary use, with no Variances	

**APPLICATION:** The application is for the installation of a Communications Facility (Type C) and associated equipment shelter.

**GENERAL LOCATION:** Located at the southeast junction of Highway 8 and Range Road 41.

**LAND USE DESIGNATION:** Agriculture, General District (A-GEN) under Land Use Bylaw C-8000-2020

**EXECUTIVE SUMMARY:** The application was received on April 16, 2021, and was presented to the Municipal Planning Commission on May 26, 2021, and it was conditionally approved.

The application was made by Scott Telecom Services, on behalf of Xplornet Communications Inc., and was for the construction of a Type C Communications Facility on the subject parcel. The communications facility will include a 45.00 m (147.64 ft.) self-support tower with a 4.46 sq. m (48.00 sq. ft.) equipment shelter. The facility will be enclosed within a 2.10 m (6.89 ft.) tall chain-link barbed wire fence on a 225.00 sq. m (2,421.88 sq. ft.) area leased by Xplornet Communications Inc.

On June 9, 2021, the appellant appealed the decision of the Development Authority for reasons, which are noted in the agenda package.

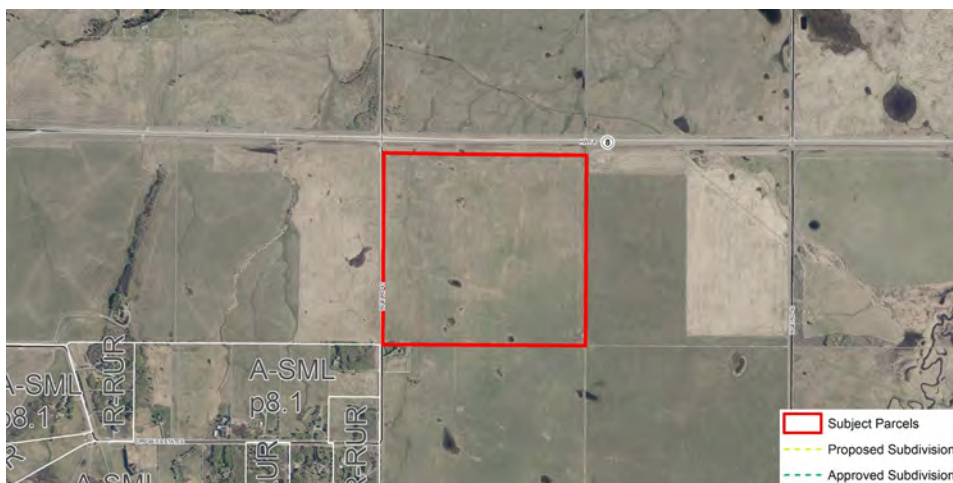
**DECISION:** Conditionally approved.

**DECISION DATE:**  
May 26, 2021

**APPEAL DATE:**  
June 9, 2021

**ADVERTISED DATE:**  
June 1, 2021

### AIR PHOTO & DEVELOPMENT CONTEXT:



### Administration Resources

Wayne Van Dijk, Planning and Development



**APPLICATION EVALUATION:**

The application was evaluated based on the information submitted with the application and the applicable policies and regulations.

<p><b>APPLICABLE POLICY AND REGULATIONS:</b></p> <ul style="list-style-type: none"> <li>• <i>Municipal Government Act</i>;</li> <li>• Land Use Bylaw C-8000-2020;</li> <li>• Commercial Communications Facilities Policy A-308;</li> <li>• Land Use Bylaw; and</li> <li>• County Servicing Standards.</li> </ul>	<p><b>TECHNICAL REPORTS SUBMITTED:</b></p> <ul style="list-style-type: none"> <li>• None</li> </ul>
<p><b>PERMITTED USE:</b></p> <ul style="list-style-type: none"> <li>• Commercial Communications Facility (Type C) is a discretionary use in the A-GEN district</li> </ul>	<p><b>DEVELOPMENT VARIANCE AUTHORITY:</b></p> <ul style="list-style-type: none"> <li>• Municipal Planning Commission</li> </ul>

Additional Review Considerations

No previous development permit history on the parcel.

**APPEAL:**

See attached report and exhibits.

Respectfully submitted,

“Heather McInnes”

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Supervisor  
Development and Compliance  
WV/lt



## APPLICATION INFORMATION

<b>APPLICANT:</b> Xplornet Communications Inc. c/o Scott Telecom Services	<b>OWNER:</b> HCS Investment Holdings Ltd.
<b>DATE APPLICATION RECEIVED:</b> April 16, 2021	<b>DATE DEEMED COMPLETE:</b> May 6, 2021
<b>DEVELOPMENT AUTHORITY DECISION DATE:</b> May 4, 2021	
<b>APPELLANTS:</b> Kenneth Robinson	
<b>GROSS AREA:</b> ± 60.82 hectares (± 150.30 acres)	<b>LEGAL DESCRIPTION:</b> NW-01-24-04-W05
<b>APPEAL BOARD:</b> Subdivision & Development Appeal Board	
<b>HISTORY:</b> <ul style="list-style-type: none"> <li>No previous development or building history</li> </ul>	
<b>AGENCY SUBMISSIONS:</b> The application was circulated to internal and external agencies and, where appropriate, conditions of approval have been proposed based on these comments.	



## PLANNING AND DEVELOPMENT SERVICES

<b>TO:</b>	Municipal Planning Commission Development Authority	<b>DIVISION:</b> 1
<b>DATE:</b>	May 26, 2021	<b>APPLICATION:</b> PRDP20211823
<b>FILE:</b>	04801003	
<b>SUBJECT:</b>	Communications Facility (Type C) / Discretionary use, with no Variances	

**APPLICATION:** Installation of a Communications Facility (Type C) and associated equipment shelter.

**GENERAL LOCATION:** Located at the southeast junction of Highway 8 and Range Road 41.

**LAND USE DESIGNATION:** Agriculture, General District (A-GEN)

**EXECUTIVE SUMMARY:** Scott Telecom Services, on behalf of Xplornet Communications Inc., is proposing to construct a Type C Communications Facility on the subject parcel. The communications facility will include a 45.00 m (147.64 ft.) self-support tower with a 4.46 sq. m (48.00 sq. ft.) equipment shelter. The facility will be enclosed within a 2.10 m (6.89 ft.) tall chain-link barbed wire fence on a 225.00 sq. m (2,421.88 sq. ft.) area leased by Xplornet Communications Inc.

The proposed location meets the criteria of the County's Commercial Communications Facilities Administrative Policy (A-308).

The Applicant circulated a notification package to twenty-one (21) nearby landowners within 1,600.00 m (5,249.34 ft.) of the proposed tower location and received comments from six (6) stakeholders in total; six (6) letters of opposition and no letters of support.

There were no dwellings located within the 500.00 m (1,640.41 ft.) setback radius requirement and no other facilities within the 2,000.00 m (6,561.68 ft.) setback requirement.

The Federal Minister of Industry is the approving authority for telecommunication antenna structures and requires that the local land-use authority and the public be consulted for input regarding the proposed placement of these structures. The County reviews the proposed facility against Administrative Policy A-308, *Commercial Communications Facilities*, and a development permit (concurrence) or refusal (non-concurrence) is issued. The County cannot prevent a proponent from ultimately gaining permission from Industry Canada to install a telecommunications antenna on any lands; privately held, County-owned, or otherwise.

**ADMINISTRATION RECOMMENDATION:** Administration recommends approval in accordance with Option #1.

### OPTIONS:

- Option #1: THAT Development Permit Application PRDP20211823 be approved with the conditions noted in Attachment 'A'.
- Option #2: THAT Development Permit Application PRDP20211823 be refused.



**AIR PHOTO & DEVELOPMENT CONTEXT:**



**APPLICATION EVALUATION:**

The application was evaluated based on the technical reports submitted with the application and the applicable policies and regulations.

<p><b>APPLICABLE POLICY AND REGULATIONS:</b></p> <ul style="list-style-type: none"> <li>• <i>Municipal Government Act;</i></li> <li>• Municipal Development Plan;</li> <li>• Commercial Communications Facilities Policy A-308;</li> <li>• Land Use Bylaw; and</li> <li>• County Servicing Standards.</li> </ul>	<p><b>TECHNICAL REPORTS SUBMITTED:</b></p> <ul style="list-style-type: none"> <li>• N/A</li> </ul>
<p><b>PERMITTED USE:</b></p> <p>Commercial Communications Facility (Type C) is a discretionary use in the A-GEN district</p>	<p><b>DEVELOPMENT VARIANCE AUTHORITY:</b></p> <p>Municipal Planning Commission</p>

Additional Review Considerations

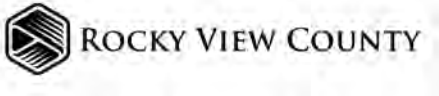
Conditions based on the following items:

*Accessibility to a road*

There is an existing approach off Hwy. 8 that is planned to be removed to accommodate future Hwy. 8 widening by Alberta Transportation; not on current three (3) year construction plan. The Applicant proposes to construct a 10.00 m (32.01 ft.) wide approach off Twp. Rd. 41 to access the proposed tower.

*Corporate Business Plan*

This application is consistent with Council's Strategic Plan in direct relation to businesses, seeing that businesses are able to thrive within the County. Improving telecommunications connectivity within the County will help achieve this goal.



**CONCLUSION:**

Subject to the proposed conditions of approval, the application is recommended for approval.

Respectfully submitted,

Concurrence,

"Brock Beach"

"Kent Robinson"

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Acting Executive Director  
Community Development Services

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Acting Chief Administrative Officer

WV/lt

**ATTACHMENTS:**

ATTACHMENT 'A': Development Permit Report Conditions

ATTACHMENT 'B': Maps and Other Information



## ATTACHMENT 'A': DEVELOPMENT PERMIT REPORT CONDITIONS

### Description:

1. That a *Commercial Communication Facility, Type C*, may be situated on the subject parcel in accordance with the approved Site Plan and details submitted with the application, and includes the following:
  - i. Placement of one monopole self-support telecommunications tower, approximately 45.00 m (147.64 ft.) high; tower base area: 225.00 sq. m (2,421.88 sq. ft.);
  - ii. Placement of an equipment shelter; 4.46 sq. m (48.00 sq. ft.) in area; and
  - iii. Installation of a 2.10 m (6.89 ft.) high-security fence.

### Permanent:

2. That the Applicant/Owner shall contact County Road Operations with haul details for materials and equipment needed during construction/site development to confirm if Road Use Agreements will be required for any hauling along the County road system and to confirm the presence of County road ban restrictions.
  - i. That Applicant/Owner shall also submit a New Road Approach application to County Road Operations, for the proposed gravel approach off Range Road 41. The approach shall be constructed in accordance with County Servicing Standards and all required inspections completed.
3. That no topsoil shall be removed from the site.
4. That the Commercial Communication Facility shall be neutral in colour and blend with the surroundings, mitigation of the visual aspects of the facility should include painting, decorative fencing, screening, landscaping, and should not clash with the sky or landscape.
5. That should the Commercial Communication Facility become deactivated or unused; the Commercial Communication Facility shall be removed from the parcel within six months of becoming deactivated or unused.
6. That where possible, light-shielding shall be considered to minimize the impact of the lighting to the adjacent landowners.
7. That if the development authorized by this Development Permit has not commenced with reasonable diligence within 12 months from the date of issue, and completed within 24 months of the issue, the permit is deemed to be null and void, unless an extension to this permit shall first have been granted by the Development Authority.

### Advisory:

8. That during construction, all construction and building materials shall be maintained on-site, in a neat and orderly manner. Any debris or garbage shall be stored/placed in garbage bins and disposed of at an approved disposal facility.
9. That a Building Permit, if applicable, shall be obtained for the equipment shelter through Building Services, prior to any construction taking place.
10. That any other federal, provincial, or County permits, approvals, and/or compliances are the sole responsibility of the Applicant/Owner.
  - i. That a Roadside Development Permit be obtained from Alberta Transportation.



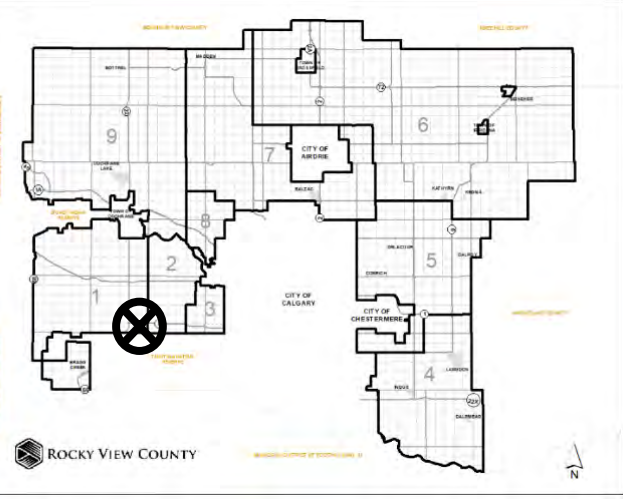
## ATTACHMENT 'B': MAPS AND OTHER INFORMATION

<b>APPLICANT:</b> Xplornet Communications Inc. c/o Scott Telecom Services	<b>OWNER:</b> HCS Investment Holdings Ltd.
<b>DATE APPLICATION RECEIVED:</b> April 16, 2021	<b>DATE DEEMED COMPLETE:</b> May 6, 2021
<b>GROSS AREA:</b> ± 60.82 hectares (± 150.30 acres)	<b>LEGAL DESCRIPTION:</b> NW-01-24-04-W05
<b>APPEAL BOARD:</b> Subdivision and Development Appeal Board	
<b>HISTORY:</b> No previous development permit history	
<b>PUBLIC &amp; AGENCY SUBMISSIONS:</b> The Applicant circulated a public notification package to twenty-one (21), adjacent landowners, within a 1,600 m (5,249.34 ft.) radius. Six (6) responses were received, all six (6) were in opposition to the proposal. The application was also circulated to a number of internal and external agencies and, where appropriate, conditions of approval have been proposed based on these comments.	

## Location & Context

### Development Proposal

Installation of a  
 Communications Facility  
 (Type C) and associated  
 equipment shelter



## Aerial Imagery

### Development Proposal

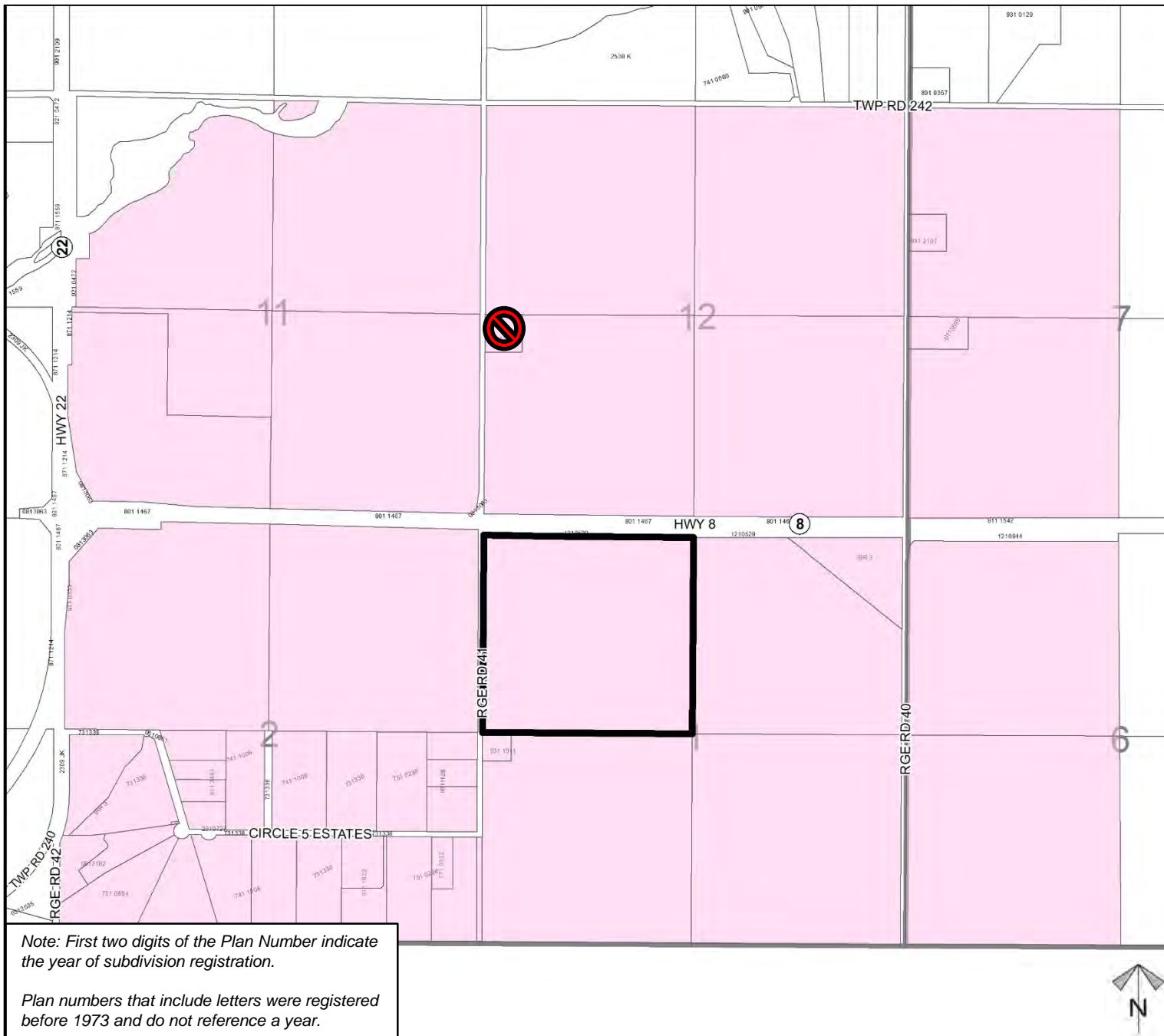
Installation of a  
 Communications Facility  
 (Type C) and associated  
 equipment shelter



# Landowner Circulation Area

(1,600.00m radius)  
(Appeal  
Support/Opposition)  
**Development Proposal**

Installation of a  
Communications Facility  
(Type C) and associated  
equipment shelter



## Legend

Support



Appellant



Division: 01  
Roll: 04801003  
File: PRDP20211823  
Printed: May 3, 2021  
Legal: NW-01-24-04-W05M  
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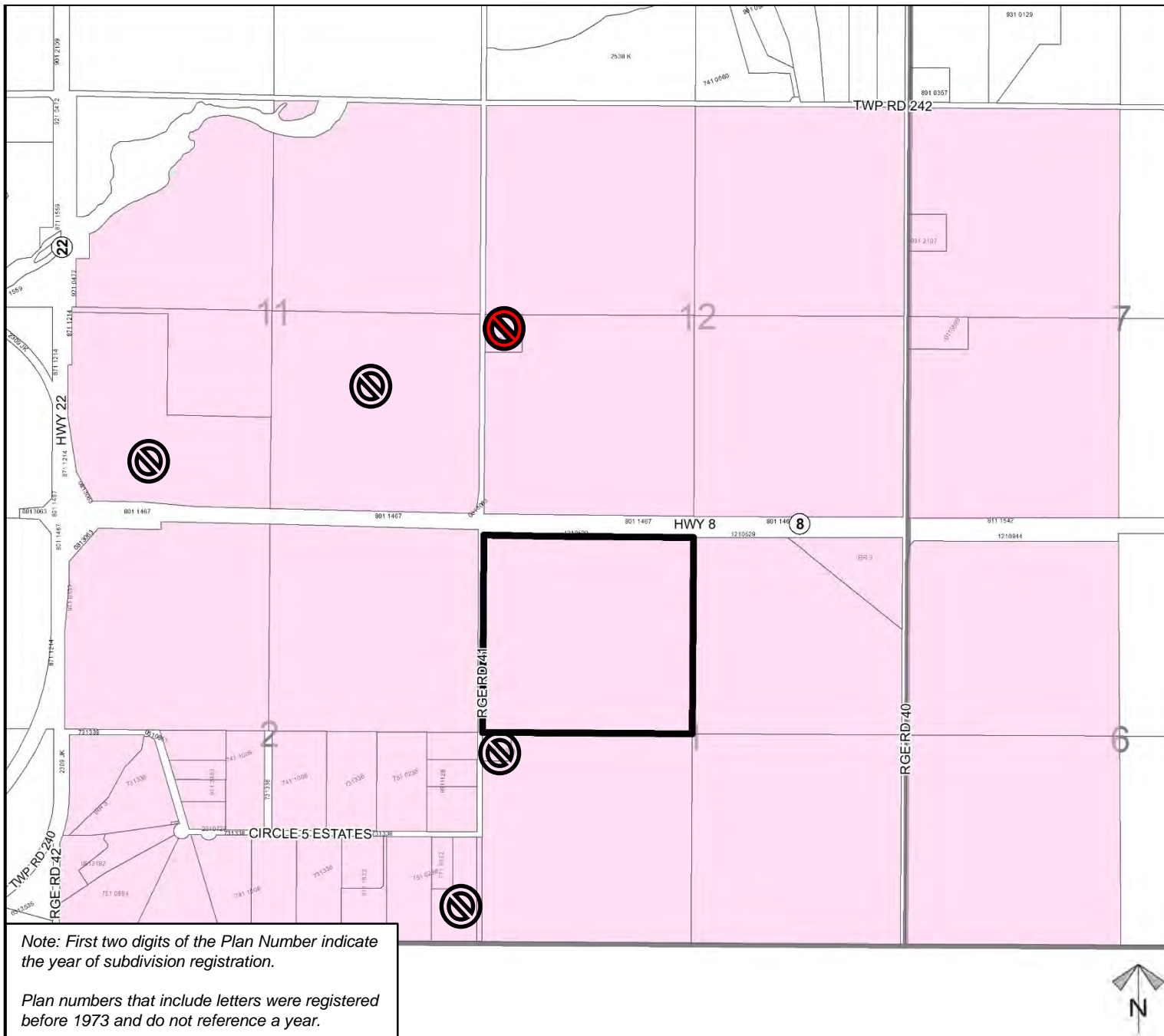
# Landowner Circulation

## Area




(1,600.00m radius)  
(Public Notification  
Areas)

## Development Proposal

Installation of a  
Communications Facility  
(Type C) and associated  
equipment shelter



## Legend

- Support 
- Opposition 
- Appellant 

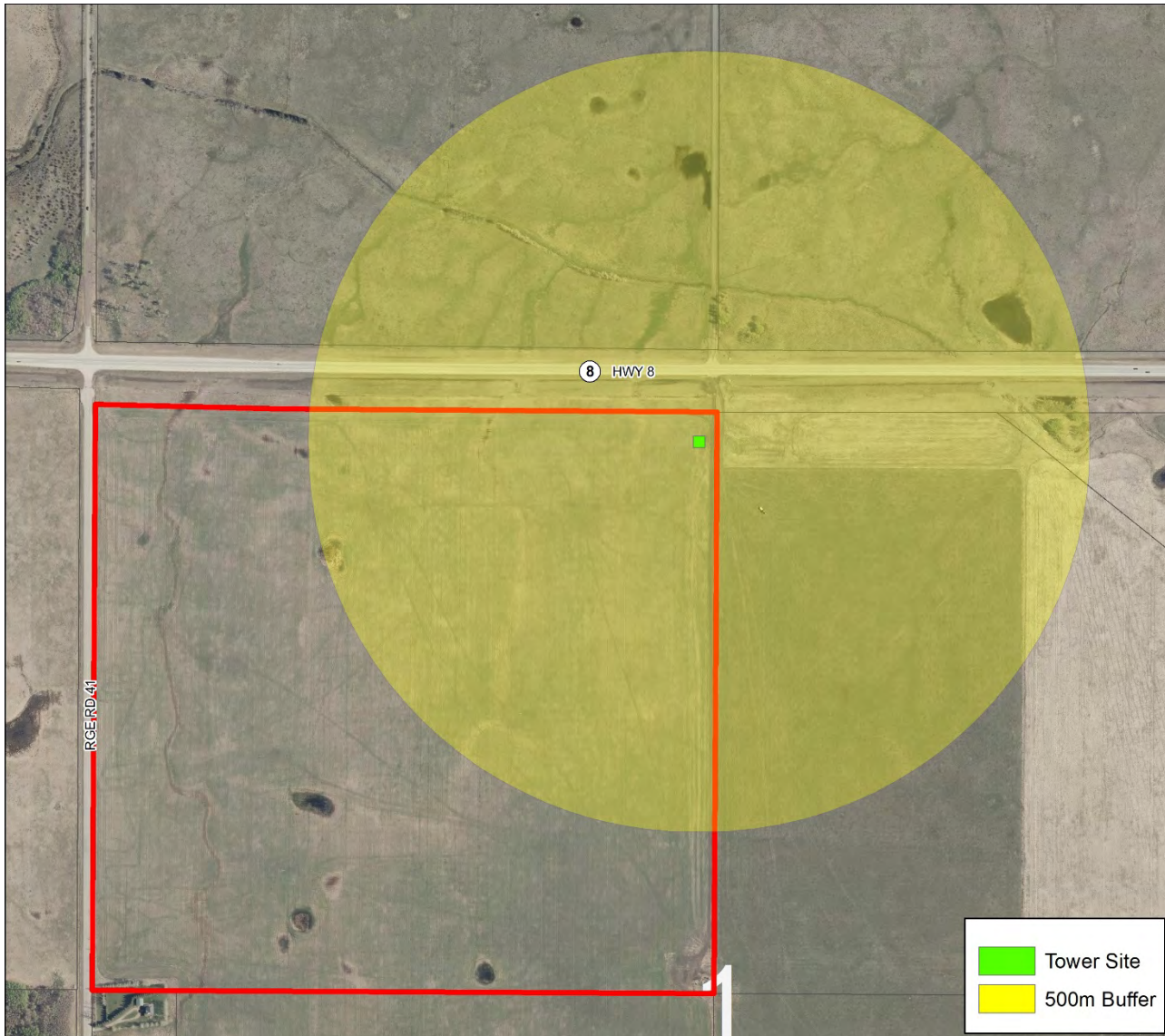
Division: 01  
 Roll: 04801003  
 File: PRDP20211823  
 Printed: May 3, 2021  
 Legal: NW-01-24-04-W05M  
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## Landowner Circulation Area

(500.00 m radius)

### Development Proposal

Installation of a  
Communications Facility  
(Type C) and associated  
equipment shelter

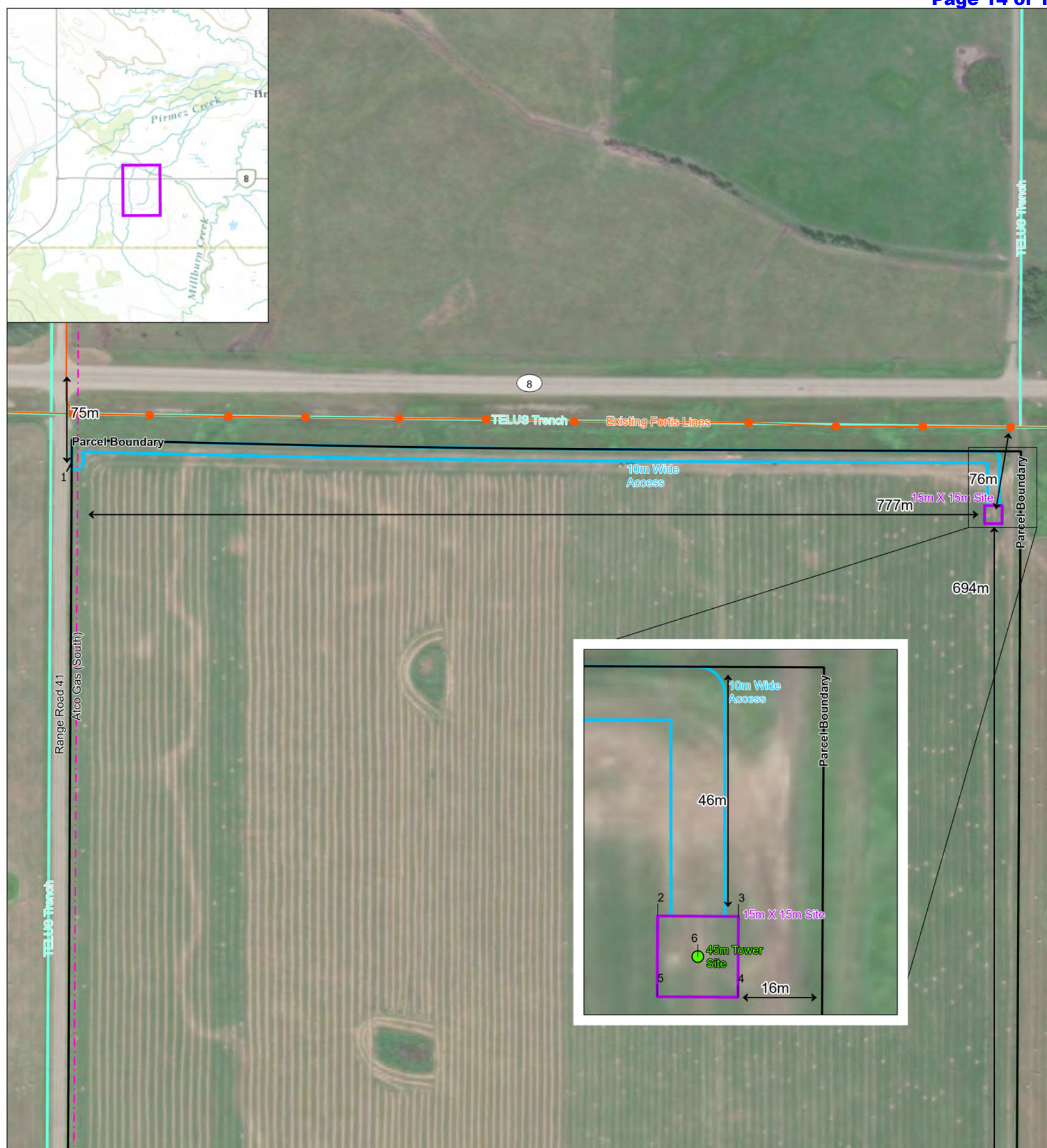


Note: First two digits of the Plan Number indicate the year of subdivision registration.

Plan numbers that include letters were registered before 1973 and do not reference a year.



Division: 01  
Roll: 04801003  
File: PRDP20211823  
Printed: May 3, 2021  
Legal: NW-01-24-04-W05M  
Page 14 of 149



SITE:	See Dimensions	HEIGHT:	45m	ELEVATION:	1209m
PT. #	Description	LATITUDE		LONGITUDE	
1	Approach	51.022671		-114.443338	
2	Corner	51.022386		-114.432264	
3	Corner	51.022386		-114.432050	
4	Corner	51.022252		-114.432050	
5	Corner	51.022252		-114.432264	
6	Tower	51.022319		-114.432157	

### Site Sketch



-  45m Tower Site  
 15m X 15m Site  
 10m Wide Access  
 Parcel Boundaries  
 Existing Power Lines  
 Low-pressure Pipelines  
 TELUS Trenches

Municipality:	Rockyview County
Access Length:	848 Metres
Distance to Power	76 Metres

**WARNING:** This map is based on overlaid public data sets and may be inaccurate. Do not use this map for construction. It is not a legal survey. Buried hazards or infrastructure such as pipelines, powerlines or cables may not be shown accurately or at all. The same is true for facilities and geographical features. Relying on the accuracy or completeness of this map could cause serious injury or death. Use it at your own risk.



0	110	220
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Scale: 1:3,500  
Coordinate System: NAD 1983 3TM 114

Author: Nathan Head  
Contact: (403) 261-6529  
Publish Date: 2021-05-12

XPL-0001.083



## Proposed Tower Imagery

### Development Proposal

Installation of a  
Communications Facility  
(Type C) and associated  
equipment shelter



**BEFORE**



**AFTER**





ISSUED FOR INFORMATION

FEBRUARY 2017

PROJECT INFORMATION

SITE NAME: 150' SELF SUPPORT TOWER

ADDRESS: SITE ADDRESS

CITY: CITY OF CANADA

COORDINATES: TBD

DRAWING LIST

SHEET No	DWG No	DESCRIPTION	SHEET No	DWG No	DESCRIPTION .
1	S01-01	STRUCTURAL GENERAL NOTES	19	S07-01	ANTI-CLIMB DETAILS
2	S01-02	STRUCTURAL GENERAL NOTES	20	E01-01	ELECTRICAL GENERAL NOTES
3	S01-03	ROCK ANCHOR INSTALLATION PROCEDURE	21	E02-01	CABLING DIAGRAM HUAWAI 3-SECTOR
4	S02-01	TOWER PROFILE	22	E02-02	CABLING DIAGRAM HORIZON QUANTUM BACKHAUL (XPIC)
5	S03-01	COMPOUND LAYOUT & GROUNDING			
6	S03-02	COMPOUND LAYOUT - SURFACE BACKFILL			
7	S03-03	SITE ELEVATION			
8	S03-04	8" x 8" WOOD POST INSTALLATION			
9	S03-05	CABLE TRAY DETAILS			
10	S03-06	FENCE DETAILS			
11	S03-07	ACCESS ROAD DETAILS			
12	S04-01	MAT FOUNDATION			
13	S04-02	ROCK ANCHOR FOUNDATION			
14	S04-03	ANCHOR BOLT TEMPLATE ASSEMBLY			
15	S04-04	CONCRETE PAD			
16	S04-05	FOUNDATION REBAR LIST			
17	S05-01	ANTENNA MOUNT DETAILS			
18	S06-01	MW FACE MOUNT DETAILS			



6300 Ordan Drive Mississauga, Ontario Canada, L5T 1W6  
Ph: (905) 595-8000 Fax: (905) 595-7986  
Toll Free: 1 800-WESBELL  
www.wesbell.com

SITE KEY PLAN (N.T.S.)



STRUCTURE PHOTO



PROPERTY MANAGER / LANDLORD APPROVAL

SIGNED: \_\_\_\_\_ DATE: \_\_\_\_\_

PRINT NAME: \_\_\_\_\_

THE OWNER (OR ITS AUTHORIZED REPRESENTATIVES) HEREBY APPROVES THE INSTALLATIONS AND/OR REWIRING OF THE CABLES, WIRES, COMMUNICATION FACILITIES AND EQUIPMENT (THE "NETWORK") BY THE VENDOR AND/OR ITS AUTHORIZED CONSTRUCTION CONTRACTOR AT THE PREMISES AS SHOWN ON THE PLAN ATTACHED HERETO. ALL THE NETWORK INSTALLED BY THE VENDOR AND/OR ITS AUTHORIZED CONSTRUCTION CONTRACTOR OR ITS PREDECESSORS ON OR TO THE PREMISES SHALL REMAIN THE PROPERTY OF THE VENDOR AND THE VENDOR SHALL HAVE THE RIGHT TO REMOVE ITS NETWORK AT ANY TIME. IT IS UNDERSTOOD THAT THE NETWORK SHALL REMAIN A PROPERTY OF THE VENDOR DESPITE THAT THE NETWORK MAY BE IN PART OR IN WHOLE ATTACHED TO THE PREMISES AND IT SHALL NOT AT ANY TIME BECOME A FIXTURE TO THE PREMISES. THE OWNER AGREES TO PROVIDE THE VENDOR AND/OR ITS AUTHORIZED CONSTRUCTION CONTRACTOR ACCESS TO THE PREMISES DURING ALL REASONABLE BUSINESS HOURS EXCEPT THAT IN SITUATIONS OF EMERGENCY, THE VENDOR AND/OR ITS AUTHORIZED CONSTRUCTION CONTRACTOR SHALL HAVE ACCESS AT ANY AND ALL TIMES THAT IT REQUIRES FOR THE PURPOSE OF INSTALLING, MAINTAINING, REPAIRING AND OPERATING THE NETWORK. THE ENCLOSED DRAWINGS OF THE PROPOSED TELECOMMUNICATIONS INSTALLATIONS ARE SUBMITTED PURSUANT TO THE LICENSE AGREEMENT BETWEEN THE LANDLORD AND THE VENDOR. THE LANDLORD IS REQUESTED TO DISCLOSE IN WRITING, THE IDENTITY AND LOCATION OF ANY HAZARDOUS SUBSTANCE LOCATED AT OR ADJACENT TO THE VENDOR 'S PROPOSED TELECOMMUNICATIONS INSTALLATIONS.

SECTION NO.	1	2	3	4	5	6	7	8	9	10	11	12
LEGS (350W)	HSS 8.625x0.3125	HSS 6.625x0.3125		SR 2 3/4		SR 2 1/2 (300W)	SR 2 1/2		SR 2 1/4		SR 2	SR 1 5/8
DIAGONALS		L2 1/2x2 1/2x1/4 (300W)			SR 0 7/8 (300W)					SR 0 3/4 (300W)		
HORIZONTALS				SR 1 1/8 (300W)	SR 0 7/8 (300W)	SR 1 (300W)		SR 0 7/8 (300W)			SR 0 3/4 (300W)	
RED, SecH1			L2x2x1/4 (300W)									

EL. = 150.00'  
F.W. = 36.00"

EL. = 140.00'  
F.W. = 36.00"

EL. = 130.00'  
F.W. = 39.00"

EL. = 120.00'  
F.W. = 42.00"

EL. = 110.00'  
F.W. = 45.00"

EL. = 100.00'  
F.W. = 48.00"

EL. = 90.00'  
F.W. = 51.00"

EL. = 80.00'  
F.W. = 54.00"

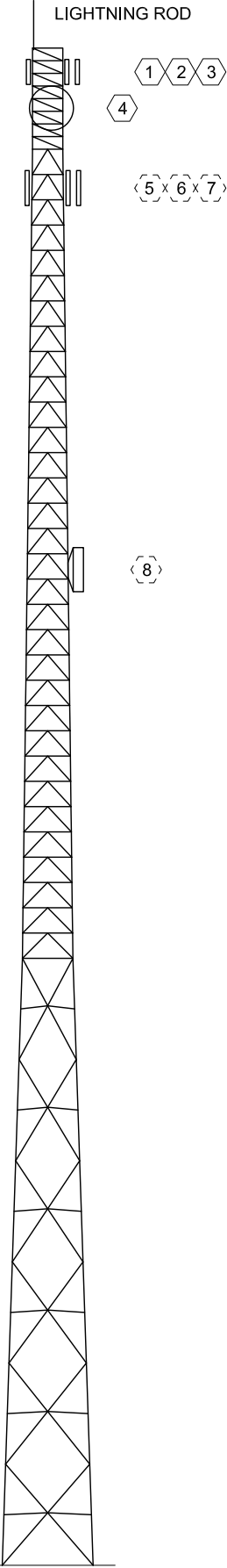
EL. = 70.00'  
F.W. = 57.00"

EL. = 60.00'  
F.W. = 60.00"

EL. = 40.00'  
F.W. = 76.00"

EL. = 20.00'  
F.W. = 92.00"

EL. = 0.00'  
F.W. = 108.00"



TOWER PROFILE \*

\* THIS TOWER PROFILE IS ONLY FOR PRESENTATION PURPOSE, TOWER STRUCTURAL MEMBERS AND TOWER FACE WIDTH TO BE DESIGNED FOR SPECIFIC TOWER SITE.

ANTENNA LIST						
ANTENNA No.	ANTENNA TYPE	ELEVATION (m)	AZIMUTH (°)	MAIN TX-LINE	EQUIPMENT AT ANTENNA ELEVATION LEVEL	STATUS
1	«ALPHA WIRELESS» AW3506	45.0	0	(1/1) HYBRID FIBER/PWR	(1) RRU3256	INITIAL
2	«ALPHA WIRELESS» AW3506	45.0	120	(1/1) HYBRID FIBER/PWR	(1) RRU3256	INITIAL
3	«ALPHA WIRELESS» AW3506	45.0	240	(1/1) HYBRID FIBER/PWR	(1) RRU3256	INITIAL
4	4 FT DISH	44.0	240	(1) CAT-5	-	INITIAL
5	«ALPHA WIRELESS» AW3519	41.5	0	(1/1) HYBRID FIBER/PWR	(1) RRU3256	FUTURE
6	«ALPHA WIRELESS» AW3519	41.5	120	(1/1) HYBRID FIBER/PWR	(1) RRU3256	FUTURE
7	«ALPHA WIRELESS» AW3519	41.5	240	(1/1) HYBRID FIBER/PWR	(1) RRU3256	FUTURE
8	4 FT DISH	30.0	0	(1) CAT-5	-	FUTURE

NOTE:

- THE ELEVATION OF THE ANTENNAS "OMNI" IS THAT OF THE INTERSECTION OF THE RADOME OF THE ANTENNA WITH ITS METAL BASE. THE ELEVATION OTHER TYPES OF ANTENNA IS THAT OF THE GEOMETRIC CENTER OF THE ANTENNA;
- THE ELEVATIONS OF THE ANTENNAS ARE GIVEN WITH RESPECT TO THE BOTTOM OF THE TOWER BASE PLATES;
- THE TRANSMISSION LINES TO BE PROPERLY ATTACHED TO THE WELDED Tx BRACKETS PROVIDED ON THE TOWER SECTIONS.

DESIGN NOTE:

DESIGN SPECIFICATION :	CSA-S37-13
WIND PRESSURE :	≤ 500 Pa
RADIAL ICE :	25 mm /S37-13
STEEL :	G40.21 300W LEGS < 1-5/8"Ø 350W LEGS 1-5/8"Ø & >
FINISH :	HOT-DIPPED GALVANIZED
IMPORTANCE FACTOR :	1.00
SERVICEABILITY FACTOR :	1.00
TERRAIN CATEGORY :	OPEN
MAX DEFLECTION :	0.65° @ M/W

DISCLAIMER: **Page 17 of 133**

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NOT FOR CONSTRUCTION



6300 Ordan Drive, Mississauga, Ontario Canada L5T 1W6  
Ph: (905) 595-8000 Fax: (905) 595-7986  
Toll Free: 1 800-WESBELL  
www.wesbell.com

5			
4			
3			
2			
1			
0	FOR INFORMATION	RR	
No.	ISSUE/REVISION	BY	DATE

PROJECT: XPLORNET  
SELF SUPPORT TOWER

TITLE: 150' TOWER PROFILE

DRAWN BY: RR	PURCHASE ORDER NO.
CHECKED BY: MW	PROJECT NO.
APPROVED BY: MP	DRAWING NO. S02-01
DATE: 18/01/2017	SHEET 3 OF 12

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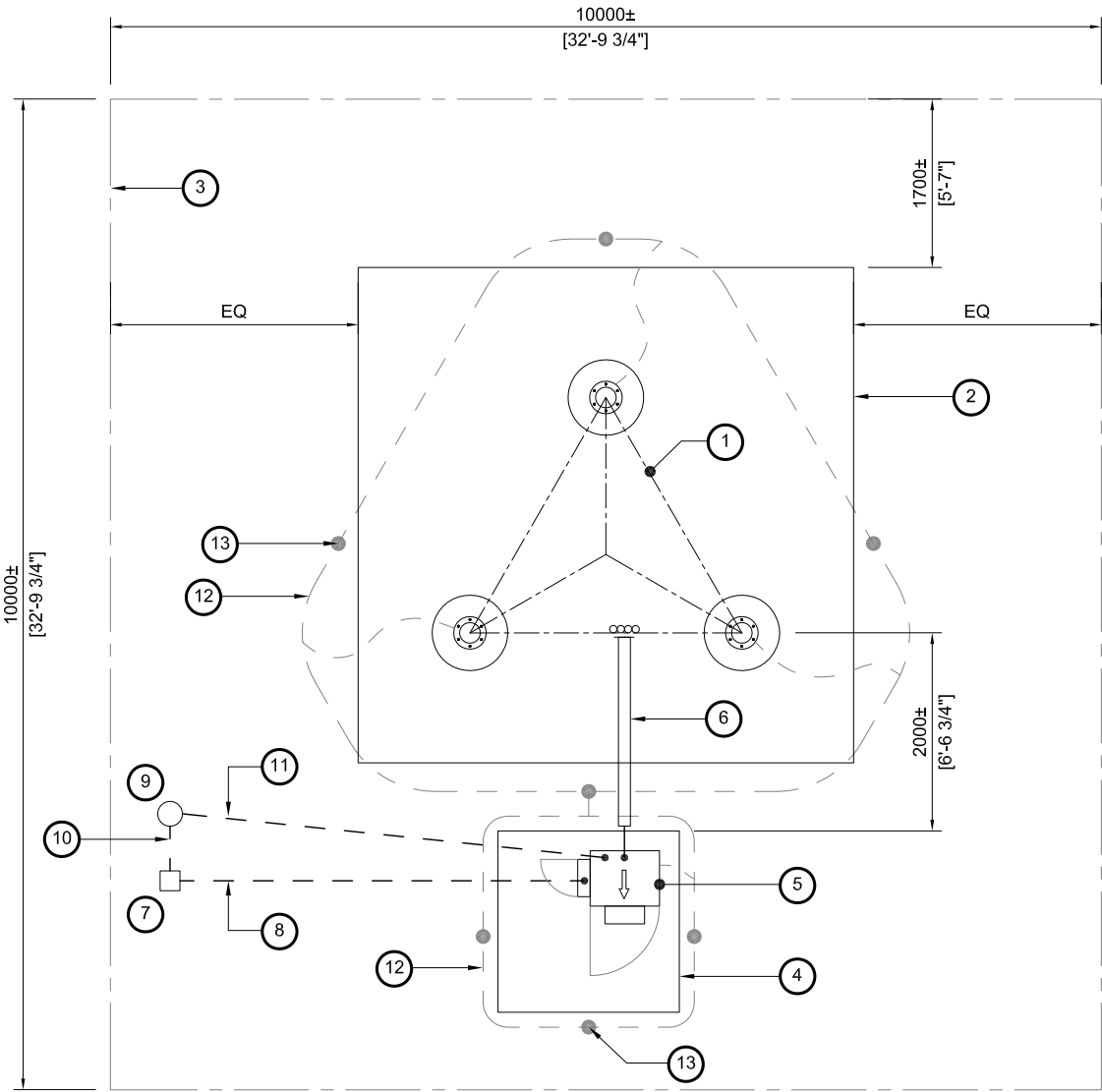
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NOTE:

- a. PRIOR TO MAKING A GROUND SYSTEM CONNECTION CLEAN THE CONNECTION PARTS OF PAINT OR OTHER FOREIGN MATTER
- b. ALL BURNDY CONNECTORS AND CONNECTING WIRE OR CABLE PARTS THAT COME IN CONTACT WITH THE BURNDY CONNECTOR SHALL BE CLEANED OF ALL RUST, OXIDE OR DIRT AND THEN GIVEN A LIBERAL APPLICATION OF NO-OX-ID 'A' SPECIAL SEALING COMPOUND PRIOR TO COMPLETING THE CONNECTIONS. (ABOVE GRADE ONLY)
- ALL GROUND WIRE ABOVE GRADE IS TO BE 7/16" GALV WIRE UNLESS NOTED
- WHERE THERE IS A CONTINUOUS FLOW OF GROUND WIRE (ie. LOOP AROUND BLDG OR TOWER) CONNECT WIRE TO ROD WITH CAD WELD #115 (MOLD GTC-182G)
- WHERE THERE IS GALV WIRE TO GALV WIRE CONNECTION ARE TO BE CLEAN AND FREE OF PAINT AT THE MATING SURFACE USE CAD WELD SHOT #115 (MOLD YRC-2G2G-LH OR RH)
- AT GROUND LEVEL, ALL CONDUCTORS SHALL BE BURIED MINIMUM 600mm BELOW FINISHED GRADE
- THE TOWER/ FOUNDATION/ CABINET ORIENTATION TO BE DETERMINED ON SITE WALK
- THE LOCATION AND ORIENTATION OF 7 8 9 10 11 TO BE DETERMINED PER SITE SPECIFIC REQUIREMENT

- 1 150' AWSS
- 2 FOUNDATION FOOTPRINT
- 3 10m x 10m LEASED AREA
- 4 1830 x 1830 x 150 (6' x 6' x 6") CABINET PAD
- 5 CABINET - ARROW INDICATES FRONT DOOR ORIENTATION
- 6 6" WIDE CABLE TRAY TO PASS CABLES FROM CABINET TO TOWER
- 7 8" x 8" WOOD POST - 30A 240V AC ELECTRICAL MAIN DISCONNECT
- 8 3" UNDERGROUND CONDUIT TO PASS ELECTRICAL FROM DISCONNECT TO CABINET
- 9 LAST UTILITY POLE w/ ELECTRICAL METER
- 10 UTILITY POWER IN 3" UNDERGROUND CONDUIT FROM ELECTRICAL METER TO MAIN DISCONNECT
- 11 3" UNDERGROUND CONDUIT FOR FIBRE TO CABINET w/ PULL STRING IN IT (IF POP SITE)
- 12 2/0 STRANDED BARE COPPER GROUND WIRE
- 13 3/4"Ø x 10'-0" COPPER CLAD GROUND ROD
- 14 GALV STEEL CABLE GROUND BAR
- 15 3m GALV. STEEL LIGHTNING ROD
- 16 COMPOUND FENCE IF REQUIRED



SITE LAYOUT & GROUNDING  
SCALE : NTS

NOT FOR  
CONSTRUCTION



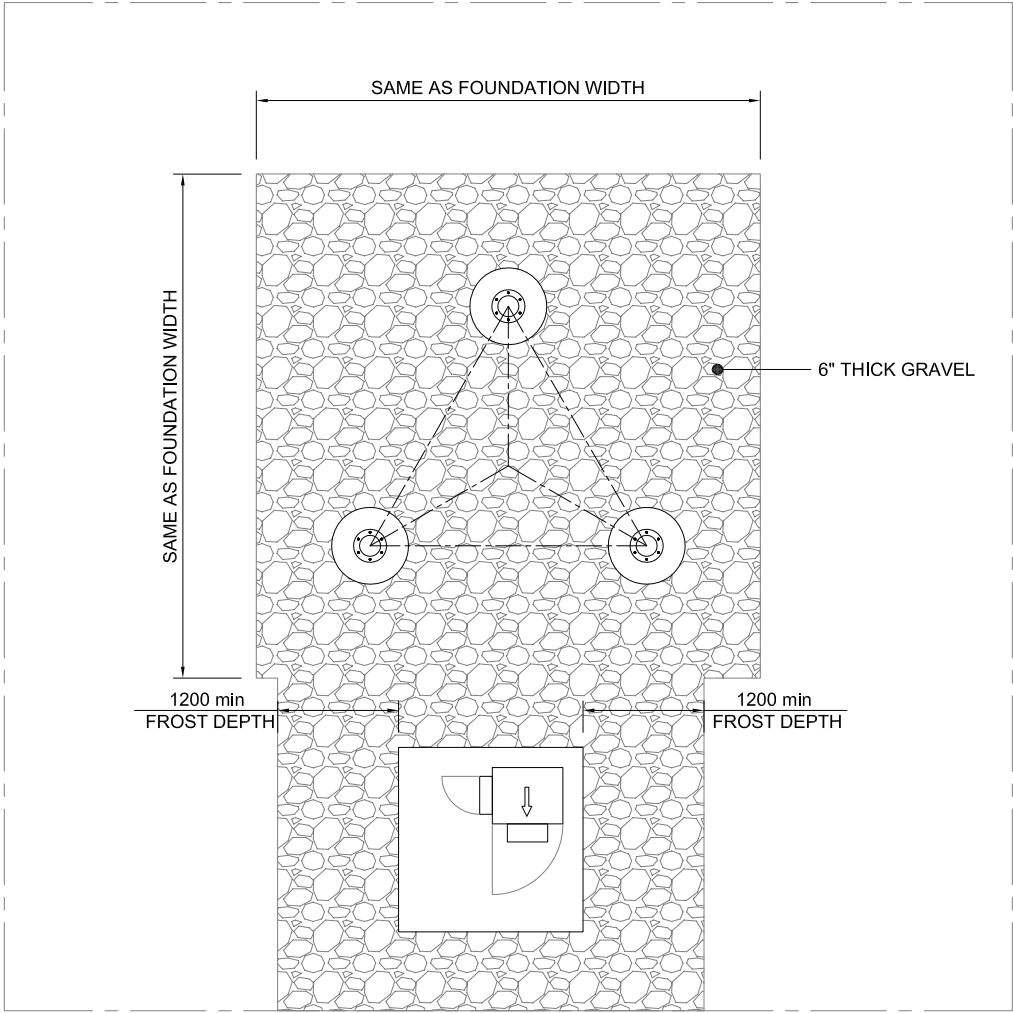
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No.	ISSUE/REVISION	BY	DATE

PROJECT:  
XPLORNET  
SELF SUPPORT TOWER

TITLE:  
COMPOUND LAYOUT & GROUNDING  
150' (45m) TOWER

DRAWN BY:	RR	PURCHASE ORDER NO.
CHECKED BY:	MW	PROJECT NO.
APPROVED BY:	MP	DRAWING NO. S03-01
DATE:	18/01/2017	SHEET 5 OF 22



COMPOUND LAYOUT  
- SURFACE BACKFILL  
SCALE : NTS

DISCLAIMER: **Page 19 of 133**

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No.	ISSUE/REVISION	BY	DATE
PROJECT:  XPLORNET SELF SUPPORT TOWER			
TITLE: COMPOUND LAYOUT - SURFACE BACKFILL 150' (45m) TOWER			
DRAWN BY:	RR	PURCHASE ORDER NO.	
CHECKED BY:	MW	PROJECT NO.	
APPROVED BY:	MP	DRAWING NO. S03-02	
DATE:	18/01/2017	SHEET	6 OF 22

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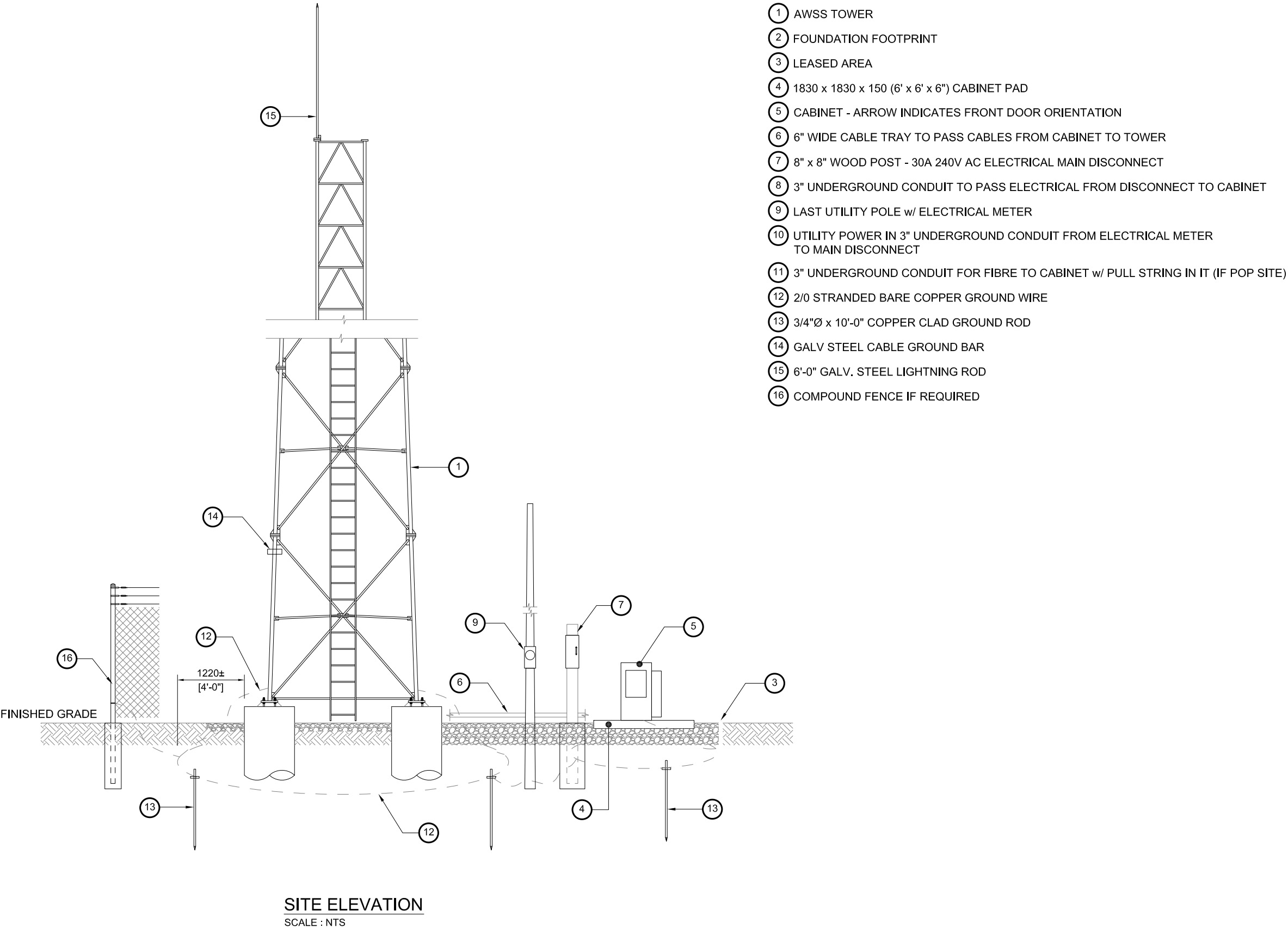
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No.	ISSUE/REVISION	BY	DATE

PROJECT: XPLORNET  
SELF SUPPORT TOWER

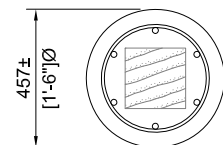
TITLE: SITE ELEVATION  
HYBRID TOWER

DRAWN BY: RR	PURCHASE ORDER NO.
CHECKED BY: MW	PROJECT NO.
APPROVED BY: MP	DRAWING NO. S03-03
DATE: 18/01/2017	SHEET 7 OF 22



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SCALE: 1:25

1. FOUNDATION DESIGNED ACCORDING TO GEOTECHNICAL SITE INVESTIGATION REPORT BY: DAVIES GEOTECHNICAL INC, PROJECT No. L011.
2. ALL CONCRETE WORK TO CONFORM WITH CSA-A23.3 TO A23.4. (SEE STRUCTURAL GENERAL NOTES)
3. MINIMUM SPECIFIED CONCRETE COMPRESSIVE STRENGTH,  $f_c = 30$  MPa.
4. AIR ENTRAINMENT = 5% TO 7%.
5. TOTAL VOLUME OF CONCRETE = 0.25 m<sup>3</sup>
7. CHAMFER EXPOSED EDGES 25 mm.
8. REINFORCING STEEL (DEFORMED BARS) AS PER G30.12 GRADE 400 MPa.
9. REBAR TO HAVE MIN. 50 mm CLEAR COVER.

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No.	ISSUE/REVISION	BY	DATE

XPLORNET

SELF SUPPORT TOWER

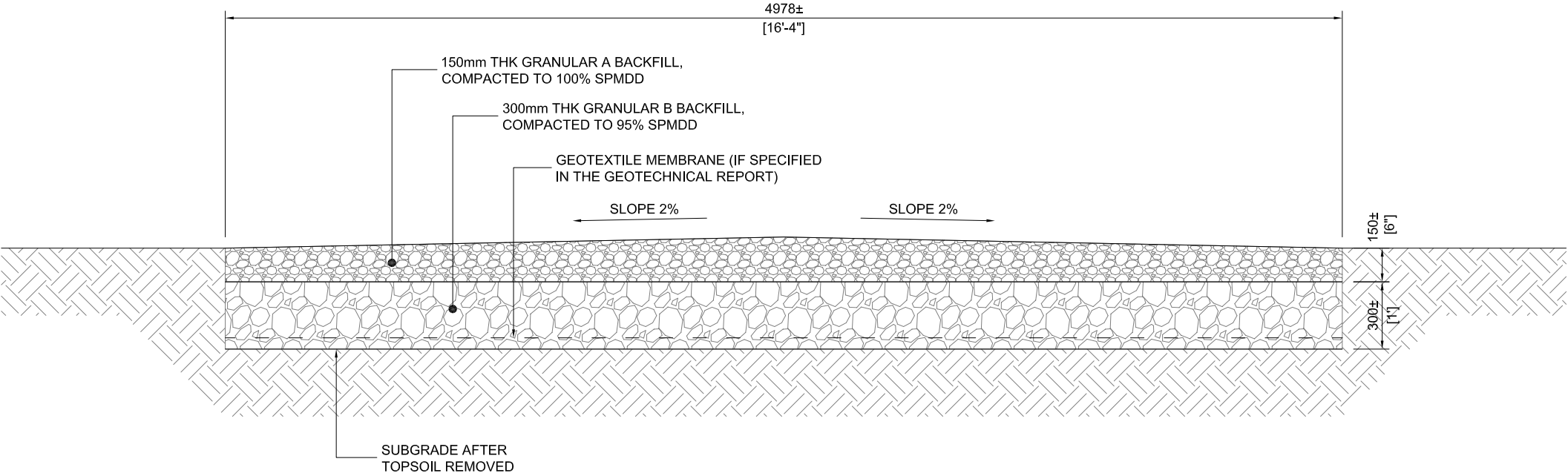
## 8" x 8" WOOD POST INSTALLATION

DRAWN BY:	RR	PURCHASE ORDER NO.
CHECKED BY:	MW	PROJECT NO.
APPROVED BY:	MP	DRAWING NO. S03-04
DATE:	18/01/2017	SHEET 8 OF 22

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**ACCESS ROAD  
TYPICAL CROSS-SECTION**  
SCALE: 1:25

NOTE:

1. ACCESS ROAD LENGTH, LOCATION AND ORIENTATION TO BE PROPOSED BY THE CONTRACTOR PER SITE SPECIFIC REQUIREMENT
2. THE CONTRACTOR TO PROVIDE ACCESS ROAD LAYOUT TO THE CLIENT AND THE TOWER DESIGN ENGINEER FOR REVIEW AND APPROVAL PRIOR TO THE CONSTRUCTION WORK

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No.	ISSUE/REVISION	BY	DATE

PROJECT:  
  
XPLORNET  
SELF SUPPORT TOWER

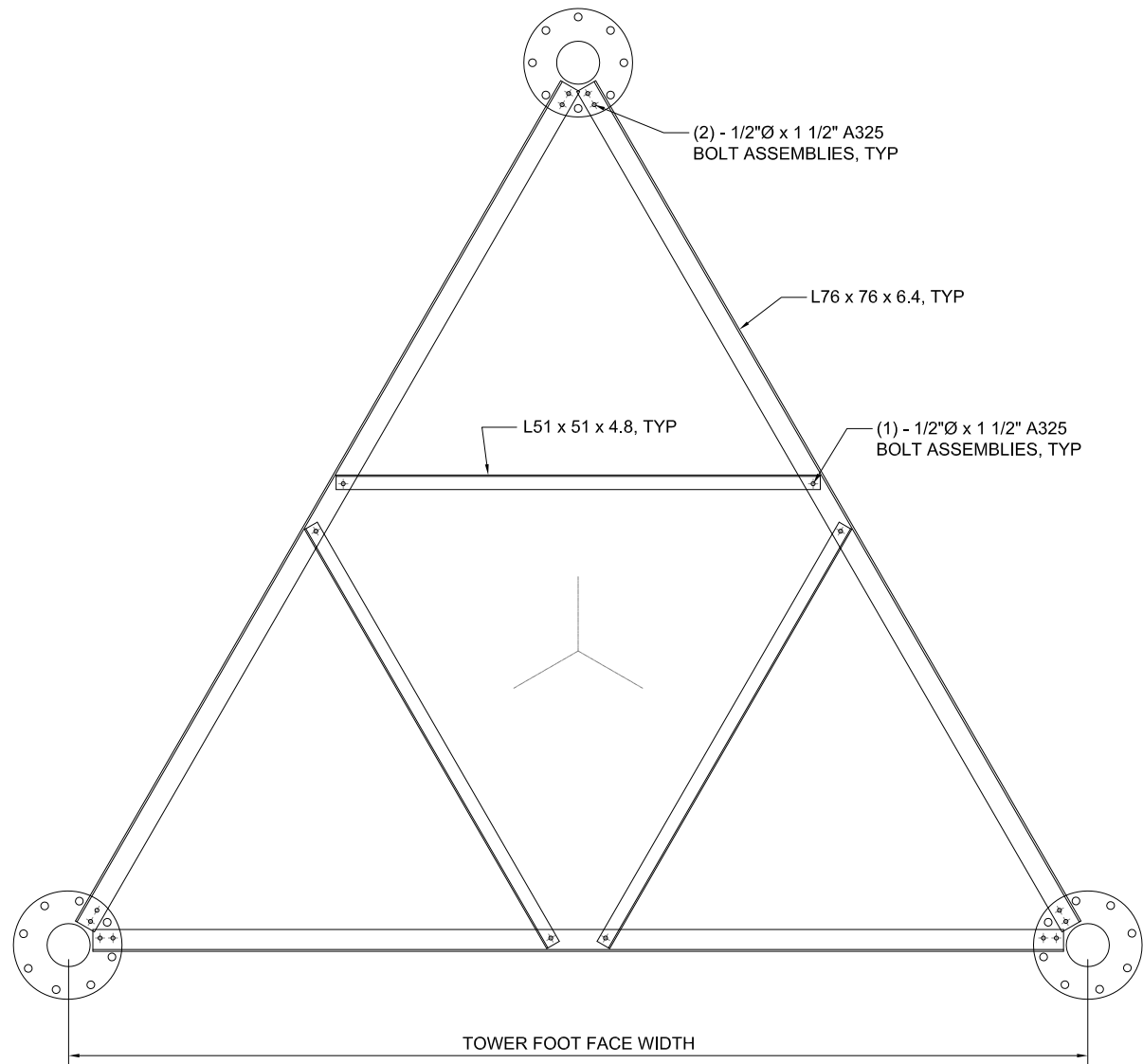
TITLE:  
  
ACCESS ROAD DETAILS

DRAWN BY:	RR	PURCHASE ORDER NO.
CHECKED BY:	MW	PROJECT NO.
APPROVED BY:	MP	DRAWING NO. S03-07
DATE:	18/01/2017	SHEET 11 OF 22

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**NOTE:**

- 1. THE ANCHOR BOLT TEMPLATE ASSEMBLY ON THE DRAWING IS FOR THE QUOTATION OF INSTALLATION ONLY
- 2. THE ACTUAL STEEL SIZES MAY CHANGE AS PER SITE SPECIFIC TOWER PROFILES

**ANCHOR BOLT TEMPLATE ASSEMBLY**  
SCALE: 1:25

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No.	ISSUE/REVISION	BY	DATE

PROJECT: XPLORNET  
SELF SUPPORT TOWER

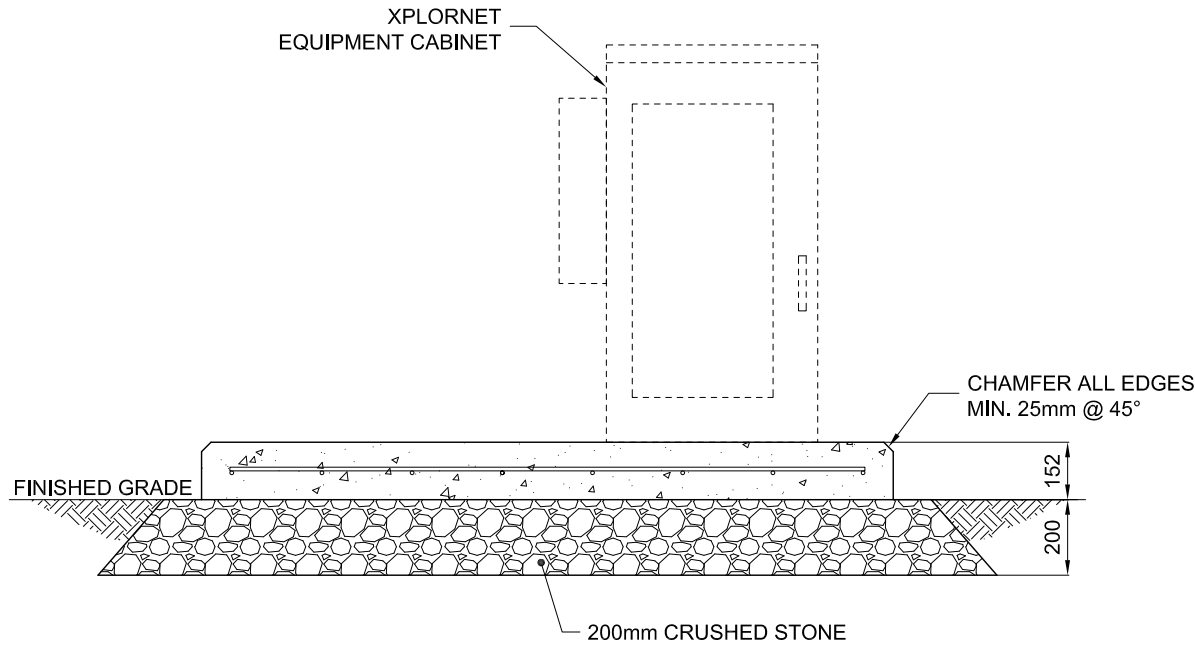
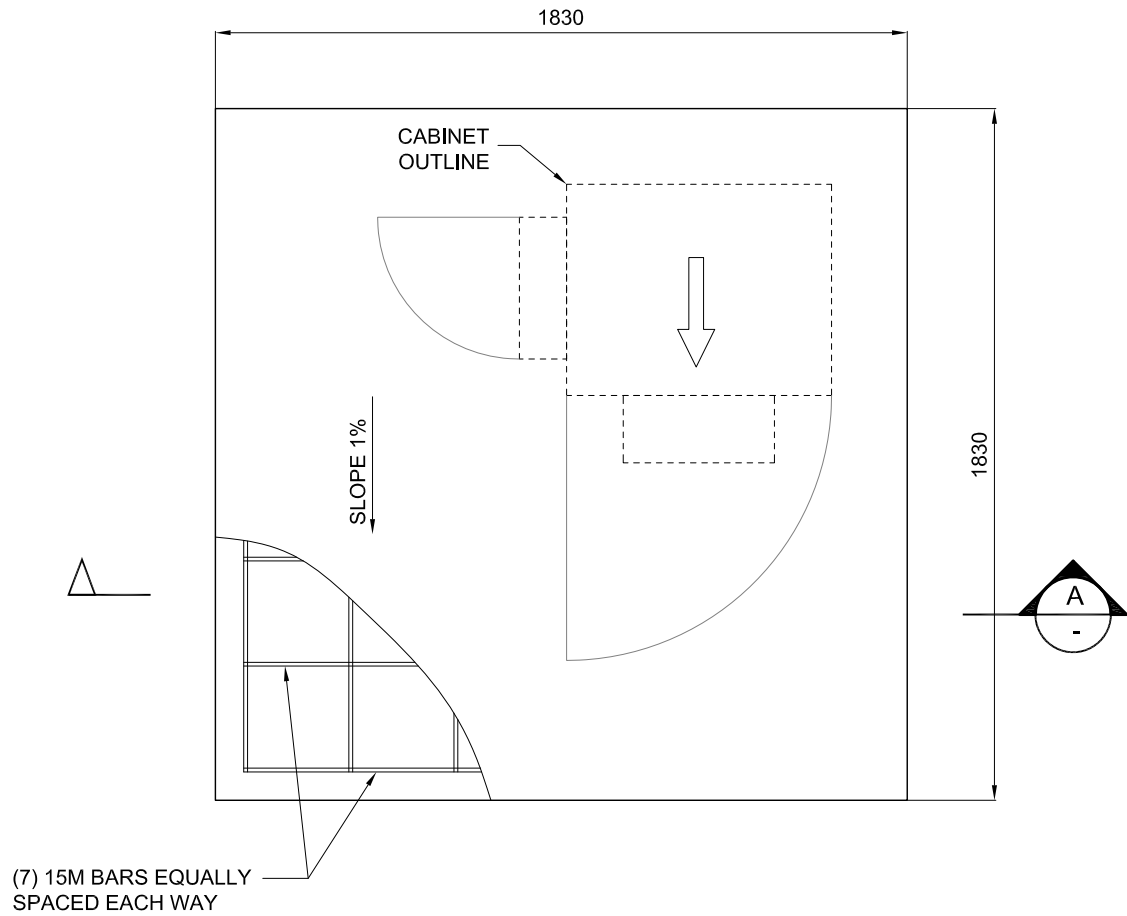
TITLE: ANCHOR BOLT TEMPLATE ASSEMBLY

DRAWN BY: RR	PURCHASE ORDER NO.
CHECKED BY: MW	PROJECT NO.
APPROVED BY: MP	DRAWING NO. S04-03
DATE: 18/01/2017	SHEET 14 OF 22

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**A** SECTION A-A  
N.T.S.

FOUNDATION DESIGN NOTES:

- 1. REFER TO STRUCTURAL GENERAL NOTES.
- 2. MINIMUM CONCRETE COMPRESSIVE STRENGTH: 30MPa AT 28 DAYS; AIR ENTRAINMENT: 5 - 7%; MAXIMUM SIZES OF COARSE AGGREGATE: 19mm; MAXIMUM SLUMP: 75mm ± 25mm.
- 3. THE CONCRETE COVER OVER REINFORCING STEEL (REBAR) SHALL BE MINIMUM 75mm (3"), UNLESS OTHERWISE NOTED ON THE DRAWING.
- 4. THE REINFORCING STEEL (REBAR) SHALL CONFORM TO CSA STANDARD G30.18 WITH MINIMUM YIELD STRENGTH OF 400MPa (GRADE 400).
- 5. THE ESTIMATED VOLUME OF CONCRETE = 0.51 cu.m

NOT FOR  
CONSTRUCTION



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No.	ISSUE/REVISION	BY	DATE

PROJECT: XPLORNET  
SELF SUPPORT TOWER

TITLE: CABINET CONCRETE PAD

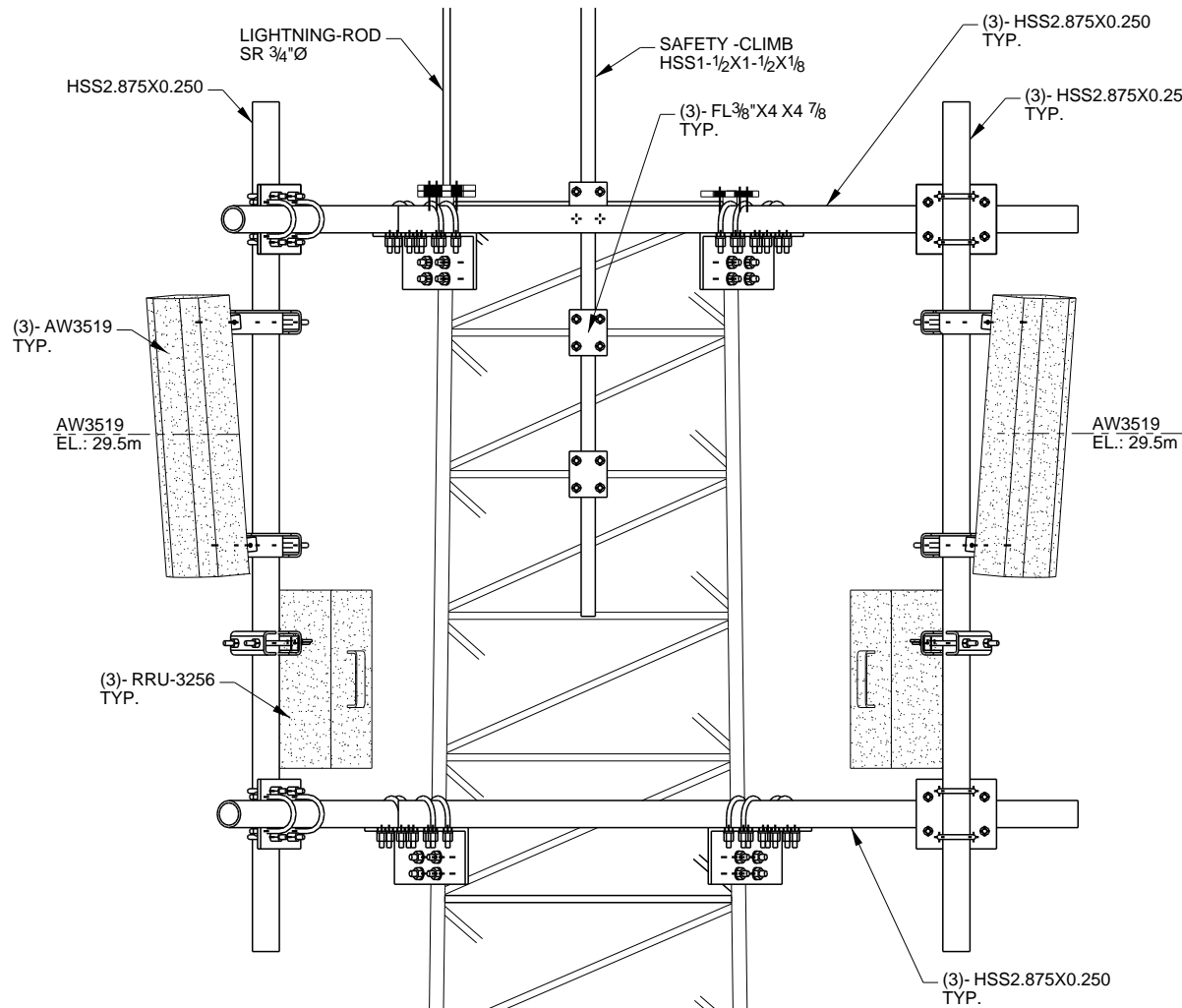
DRAWN BY:	RR	PURCHASE ORDER NO.
CHECKED BY:	MW	PROJECT NO.
APPROVED BY:	MP	DRAWING NO. S04-04
DATE:	18/01/2017	SHEET 15 OF 22

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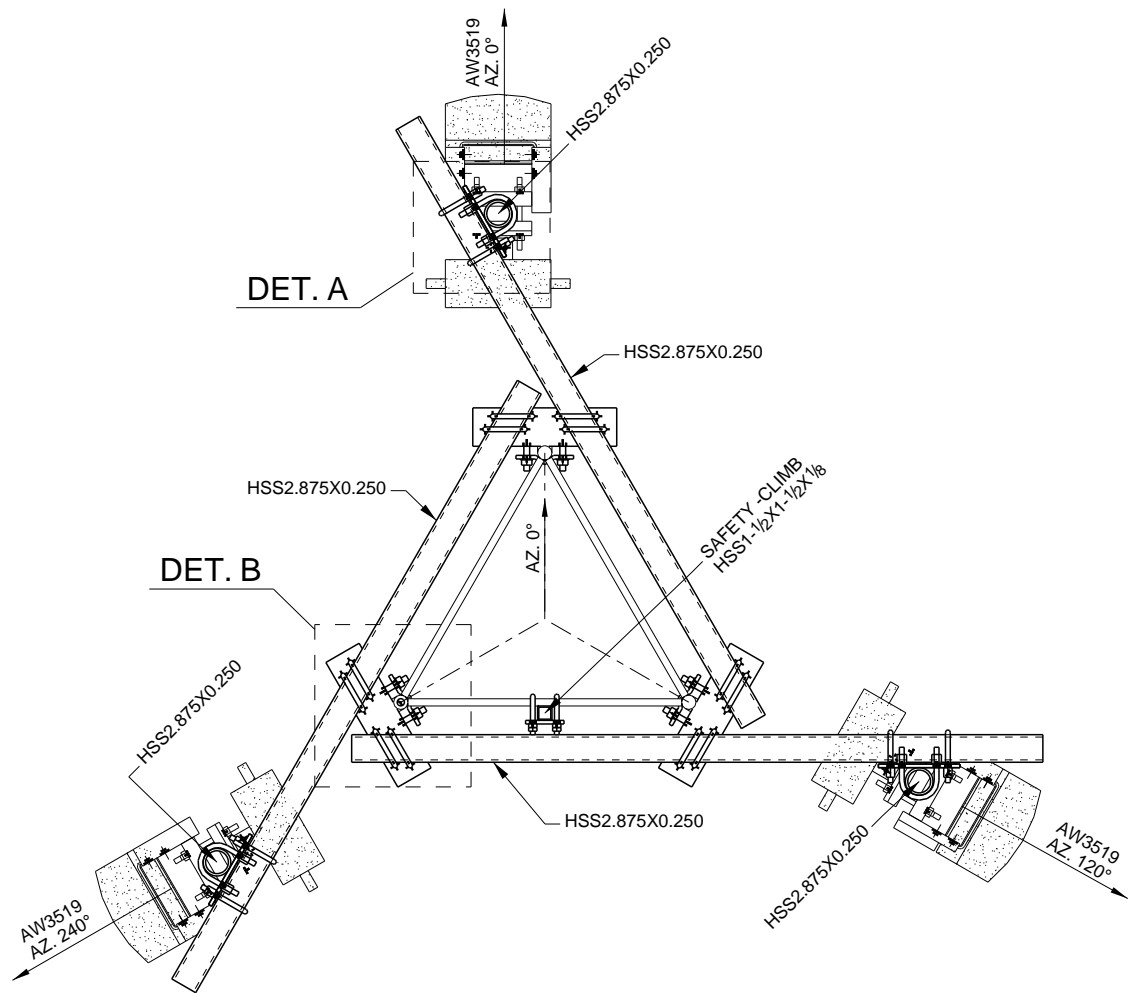
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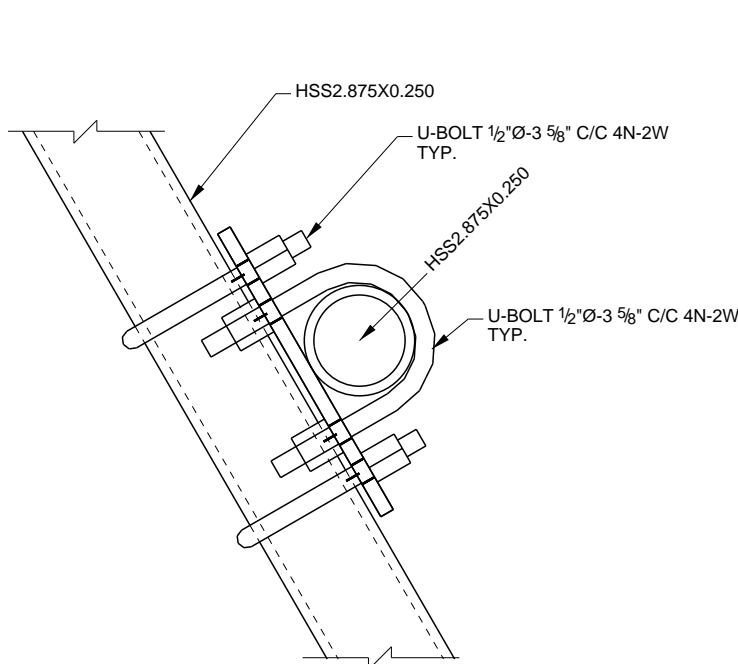
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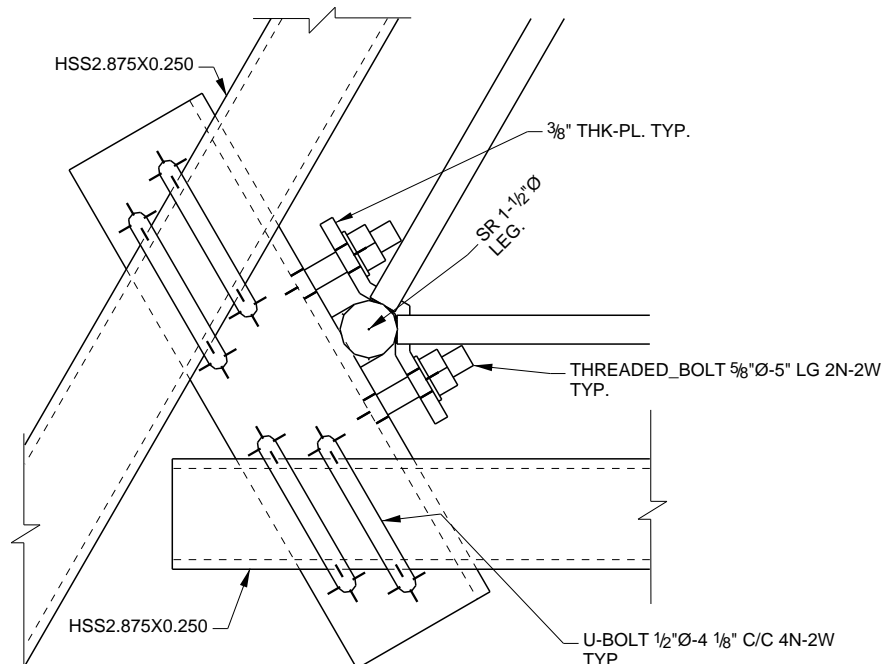
ELEVATION VIEW



PLAN VIEW



DETAIL A



DETAIL B

NOTE:  
1. ANTENNA INFO., AZIMUTH, ELEVATIONS AND MAMBER SIZES WILL VARRY TO SUIT SITE SPECIFIC REQUIREMENTS

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TECHNOLOGIES

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0	FOR INFORMATION	RR	02/02/2017
No.	ISSUE/REVISION	BY	DATE

PROJECT:  
**SAMPLE AWSS TOWER  
ANTENNA MOUNT DETAILS**

TITLE: **ANTENNA MOUNT AT EL. 29.5m**

DRAWN BY:	RR	PURCHASE ORDER No.	
CHECKED BY:	MW	PROJECT NO.	8_Crestomere
APPROVED BY:		DRAWING No.	S05-01
DATE:	02/02/2017	SHEET	17 OF 22

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CONSTRUCTION



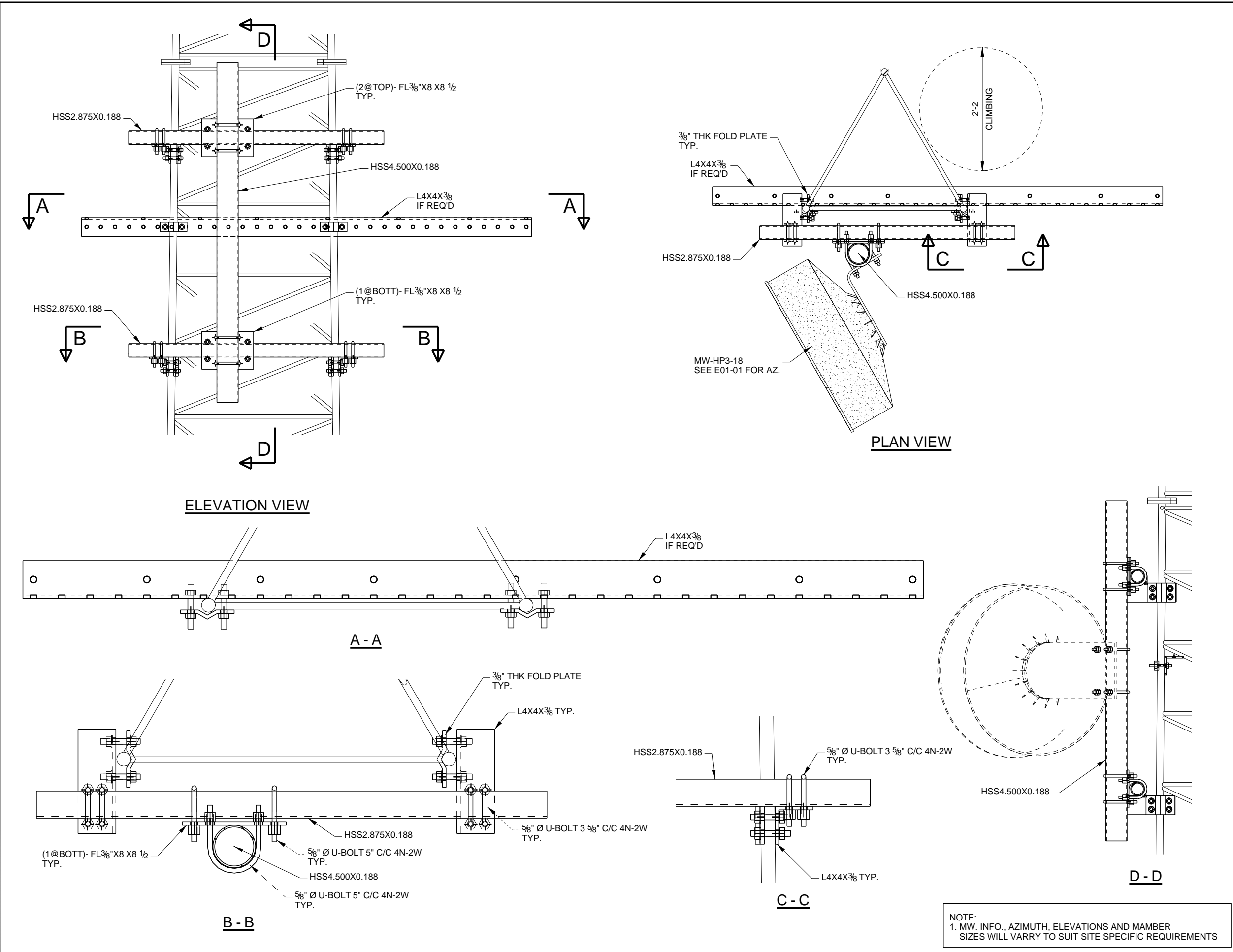
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0	FOR INFORMATION	RR	02/02/2017
No.	ISSUE/REVISION	BY	DATE

PROJECT: **SAMPLE AWSS TOWER  
MW. MOUNT DETAILS**

TITLE: **MW DISH MOUNT AT EL. 26.5m**

DRAWN BY:	RR	PURCHASE ORDER No.	
CHECKED BY:	MW	PROJECT NO.	8_Crestomere
APPROVED BY:	MP	DRAWING No.	S06-01
DATE:	02/02/2017	SHEET	18 OF 22





## Decision of the Municipal Planning Commission

This is not a development permit

Xplornet Communications Inc. c/o Scott Telecom Services  
Suite 900, 202 6 Ave SW  
Calgary, AB T2P 2R9

**Development file #:** PRDP20211823

**Issue Date:** May 27, 2021

**Roll #:** 04801003

**Legal description:** NW-01-24-04-W05

The Municipal Planning Commission conditionally approves the following:

### Description:

1. That a *Commercial Communication Facility, Type C*, may be situated on the subject parcel in accordance with the approved Site Plan and details submitted with the application, and includes the following:
  - i. Placement of one monopole self-support telecommunications tower, approximately 45.00 m (147.64 ft.) high; tower base area: 225.00 sq. m (2,421.88 sq. ft.);
  - ii. Placement of an equipment shelter; 4.46 sq. m (48.00 sq. ft.) in area; and
  - iii. Installation of a 2.10 m (6.89 ft.) high-security fence.

### Permanent:

2. That the Applicant/Owner shall contact County Road Operations with haul details for materials and equipment needed during construction/site development to confirm if Road Use Agreements will be required for any hauling along the County road system and to confirm the presence of County road ban restrictions.
  - i. That Applicant/Owner shall also submit a New Road Approach application to County Road Operations, for the proposed gravel approach off Range Road 41. The approach shall be constructed in accordance with County Servicing Standards and all required inspections completed.
3. That no topsoil shall be removed from the site.
4. That the Commercial Communication Facility shall be neutral in colour and blend with the surroundings, mitigation of the visual aspects of the facility should include painting, decorative fencing, screening, landscaping, and should not clash with the sky or landscape.

This is not a development permit

5. That should the Commercial Communication Facility become deactivated or unused; the Commercial Communication Facility shall be removed from the parcel within six months of becoming deactivated or unused.
6. That where possible, light-shielding shall be considered to minimize the impact of the lighting to the adjacent landowners.
7. That if the development authorized by this Development Permit has not commenced with reasonable diligence within 12 months from the date of issue, and completed within 24 months of the issue, the permit is deemed to be null and void, unless an extension to this permit shall first have been granted by the Development Authority.

**Advisory:**

8. That during construction, all construction and building materials shall be maintained on-site, in a neat and orderly manner. Any debris or garbage shall be stored/placed in garbage bins and disposed of at an approved disposal facility.
9. That a Building Permit, if applicable, shall be obtained for the equipment shelter through Building Services, prior to any construction taking place.
10. That any other federal, provincial, or County permits, approvals, and/or compliances are the sole responsibility of the Applicant/Owner.
  - i. That a Roadside Development Permit be obtained from Alberta Transportation.

It is the responsibility of the applicant to meet and always follow the conditions outlined in this decision. Fines or enforcement action may occur if operating outside of the conditions of approval. Please contact Planning and Development Services at [development@rockyview.ca](mailto:development@rockyview.ca) or 403-520-8158 for assistance with this decision or the process for meeting development conditions.

An appeal of the Municipal Planning Commission's decision must be filed to the Subdivision and Development Appeal Board (SDAB) in accordance with section 686 of the *Municipal Government Act*. To file an appeal or for assistance with filing an appeal, please contact Legislative Services at [sdab@rockyview.ca](mailto:sdab@rockyview.ca) or 403-230-1401. More information on the SDAB can also be found at [www.rockyview.ca](http://www.rockyview.ca).



Municipal Planning Commission



Jerry Gautreau, Chair

This is not a development permit

Notice of Appeal  
Subdivision and Development Appeal Board  
Enforcement Appeal Committee

<b>Appellant Information</b>			
Name of Appellant(s) Kenneth W Robinson			
Mailing Address 241102 Range Road 41	Municipality Calgary	Province AB	Postal Code T3Z 3E3
[Redacted Address Line]			
<b>Site Information</b>			
Municipal Address N/A		Legal Land Description (lot, block, plan OR quarter-section-township-range-mersidian) NW 1-24-4 W 5m.	
Property Roll #		Development Permit, Subdivision Application, or Enforcement Order # PRDP20211823- file # 04801003.	
I am appealing: (check one box only)			
<b>Development Authority Decision</b> <input checked="" type="checkbox"/> Approval <input type="checkbox"/> Conditions of Approval <input type="checkbox"/> Refusal	<b>Subdivision Authority Decision</b> <input type="checkbox"/> Approval <input type="checkbox"/> Conditions of Approval <input type="checkbox"/> Refusal	<b>Decision of Enforcement Services</b> <input type="checkbox"/> Stop Order <input type="checkbox"/> Compliance Order	
<b>Reasons for Appeal</b> (attach separate page if required)			
<p>There has been no requested visual improvement to the tower. Company that applied will not communicate with affected landowner.</p> <p>The municipal approval did not have any bearing on affected landowner request to have any visual improvements</p> <p>There is enough construction with only profits and no visual impacts taken into consideration.</p> <p>The lifespan of a tower is 50 years so the tower needs to have better visual appearance.</p>			
<small>This information is collected for Rocky View County's Subdivision and Development Appeal Board or Enforcement Appeal Committee under section 33(1) of the Freedom of Information and Protection of Privacy Act (FIPPA) and will be used to process your appeal and create a public record of the appeal hearing. Your name, legal land descriptions, street address, and reasons for appeal will be made available to the public in accordance with section 40(2)(c) of the FIPPA Act. Your personal contact information, including your phone number and email address, will be redacted prior to your appeal being made available to the public. If you have questions regarding the collection or release of this information, please contact the Municipal Clerk at 403-233-1401.</small>			
 Appellant's Signature		 Date	

Received by Legislative Services  
June 9, 2021



# DEVELOPMENT PERMIT APPLICATION

FOR OFFICE USE ONLY

Page 30 of 133

B-1

APPLICATION NO.	
ROLL NO.	
RENEWAL OF	
FEES PAID	
DATE OF RECEIPT	

**APPLICANT/OWNER**

Applicant Name: Xplornet Communications Inc. C/O Scott Telecom Services		Email: jmeikle@scotland.ca
Business/Organization Name (if applicable): Xplornet Communications Inc.		
Mailing Address: Suite 900, 202 6 Ave SW, Calgary AB		Postal Code: T2P 2R9
Telephone (Primary): 780-781-1940	Alternative:	
Landowner Name(s) per title (if not the Applicant): HCS INVESTMENT HOLDINGS LTD. (Previously 2013401 Alberta Ltd.) - LOA Attached		
Business/Organization Name (if applicable):		
Mailing Address: 1003, 200 La Caille Place SW, Calgary AB		Postal Code: T2P 5E2
Telephone (Primary):	Email:	

**LEGAL LAND DESCRIPTION - Subject site**

All/part of: NW ¼	Section: 1	Township: 24	Range: 4	West of: 5	Meridian	Division: 01
All parts of Lot(s)/Unit(s):		Block:	Plan:	Parcel Size (ac/ha): 150.3 ac		
Municipal Address:				Land Use District: A-GEN		

**APPLICATION FOR - List use and scope of work**

Xplornet Communications Inc. is proposing to construct a telecommunications installation on a portion of NW 1-24-4 W5M located in Rocky View County. The proposed installation is a 45m (148ft.) self-support tower with the approximate corresponding GPS coordinates of 51.022319, -114.432157.

Variance Rationale included: ☐ YES ☐ NO ☒ N/ADP Checklist Included: ☒ YES ☐ NO**SITE INFORMATION**

- |   |   |
|---|---|
| a. Oil or gas wells present on or within 100 metres of the subject property(s)  | <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO |
| b. Parcel within 1.5 kilometres of a sour gas facility (well, pipeline or plant)  | <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO |
| c. Abandoned oil or gas well or pipeline present on the property<br>(Well Map Viewer: <a href="https://extmapviewer.aer.ca/AERAbandonedWells/Index.html">https://extmapviewer.aer.ca/AERAbandonedWells/Index.html</a> ) | <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO |
| d. Subject site has direct access to a developed Municipal Road (accessible public roadway)   | <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO |

**AUTHORIZATION**

I, Jaclyn Meikle (Full name in Block Capitals), **hereby certify** (initial below):

jm That I am the registered owner **OR** jm That I am authorized to act on the owner's behalf.

jm That the information given on this form and related documents, is full and complete and is, to the best of my knowledge, a true statement of the facts relating to this application.

jm That I provide consent to the public release and disclosure of all information, including supporting documentation, submitted/contained within this application as part of the review process. I acknowledge that the information is collected in accordance with s.33(c) of the *Freedom of Information and Protection of Privacy Act*.

jm **Right of Entry:** I authorize/acknowledge that Rocky View County may enter the above parcel(s) of land for purposes of investigation and enforcement related to this application in accordance with Section 542 of the Municipal Government Act.

Applicant Signature Jmeikle  
Date April 16, 2021

Landowner Signature \_\_\_\_\_  
Date LOA Attached



### DEVELOPMENT PERMIT APPLICATION CHECKLIST - GENERAL

All plans shall be submitted as one (1) legible hard copy and in DIGITAL form (pdfs)

Select [v] all that are included within application package. Incomplete applications may not be accepted for processing

- ☐ **APPLICATION FORM(S) AND CHECKLIST:** All parts completed and signed.
- ☐ **APPLICATION FEE:** Refer to Planning and Development Fee Schedule within the [Master Rates Bylaw](#).
- ☐ **CURRENT LAND TITLES CERTIFICATE COPY - dated within 30 days of application, and:**
  - ☐ Digital copy of non-financial instruments/caveats registered on title
- ☐ **LETTER OF AUTHORIZATION:** Signed by the registered landowner(s) authorizing person acting on behalf (if not the Applicant). If registered owner on title is a company, authorization to be provided on a company letterhead or as an affidavit (signed by a Commissioner of Oaths).
- ☐ **COVER LETTER, shall include:**
  - ☐ Proposed land use(s) and scope of work on the subject property
  - ☐ Detailed rationale for any variances requested
  - ☐ For businesses - Complete operational details including days/hours of work, number of employees, parking provisions, types of vehicles, outdoor storage areas, site access/approach, traffic management, etc.
  - ☐ Reference to any *Supporting Documents*, images, studies, plans etc. provided within application package
- ☐ **SITE PLAN, shall include:**
  - ☐ Legal description and municipal address
  - ☐ North arrow
  - ☐ Property dimensions (all sides)
  - ☐ Setbacks/dimensions from all sides of the property line(s) to existing/proposed buildings, structures (cantilevers, decks, and porches), outdoor storage areas etc.
  - ☐ Dimensions of all buildings/structures
  - ☐ Location and labels for existing/proposed approach(s)/access to property
  - ☐ Identify names of adjacent internal/municipal roads and highways
  - ☐ Identify any existing/abandoned/proposed oil wells, septic fields/tanks, or water wells on site, including their distances to existing/proposed buildings
  - ☐ Identify any existing/proposed site features such as trees, shelterbelts, canals, waterbodies, etc.
  - ☐ Identify site slopes greater than 15% and distances from structures
  - ☐ Location and labels for easements and/or rights-of-way on title
- ☐ **FLOOR PLANS/ELEVATIONS, shall include:**
  - ☐ Overall dimensions on floor plans for all buildings/structures (for new construction, additions, renovations etc.)
  - ☐ Indicate floor area and existing/proposed uses on floor plans and height(s) on elevations
  - ☐ Indicate type of building/structure on floor plans and elevations
- ☐ **COLOUR PHOTOGRAPHS (Min. 3) - one hard and digital copy:** Of existing site, building(s), structure(s), signage, site features, taken from all sides including surrounding context, and when existing floor plans/elevations are not available
- ☐ **SUPPORTING DOCUMENTS (as applicable):** Include technical studies/reports and any additional plans relating to the proposed development (lot grading, site lighting, storm water management plans etc.). Refer to the Land Use Bylaw for use or district specific requirements.

### FOR OFFICE USE ONLY

Proposed Use(s):	Land Use District:
Applicable ASP/CS/IDP/MSDP:	
Included within file: <input type="checkbox"/> Information Sheet <input type="checkbox"/> Parcel Summary <input type="checkbox"/> Site Aerial <input type="checkbox"/> Land Use Map Aerial <input type="checkbox"/> Site Plan	
<b>NOTES:</b>	
Staff Signature: _____	



April 16, 2021

Rocky View County  
262075 Rocky View Point  
Rocky View County, AB, T4A 0X2

Attention: To Whom it May Concern

**RE: Proposed Xplornet Telecommunications Installation  
Located on a portion of NW 1-24-4 W5M  
Development Permit and Request for Concurrence  
Xplornet File: AB1379**

---

According to the Radiocommunication Act, the Minister of Industry retains sole jurisdiction over approving proposed radiocommunication antenna systems, including cell towers. Proponents must follow Innovation, Science and Economic Development Canada's antenna tower siting procedures, titled Radiocommunication and Broadcasting Antenna Systems (CPC-2-0-03).

Federal regulations require that Xplornet follow the below process:

- Investigate sharing or using existing infrastructure before proposing new antenna-supporting structures.
- Contact the land-use authority (LUA) to determine local requirements regarding antenna systems.
- Undertake public notification and address relevant concerns, whether by following local LUA requirements or Innovation, Science and Economic Development Canada's default process, as is required and appropriate.
- Satisfy Innovation, Science and Economic Development Canada's default process, as is required and appropriate.

In accordance with these policies, public consultation has been completed following ISEDC requirements and Rocky View County requirements. A notification package was prepared and 21 pre-stamped envelopes were mailed to Rocky View County on March 9, 2021 for distribution to affected residents. A public notice was included in the March 16, 2021 issue of the Rocky View Weekly. The public consultation period concluded on April 15, 2021. To date, six stakeholders have provided comments regarding the proposal. Ken Robinson sent an email and forwarded a comment sheet on March 15, 2021 with concerns regarding aesthetics. The original response was sent on March 17, 2021 with additional correspondence received and responded to. Warren McNabb sent an email on March 16, 2021 and a response was sent on March 25, 2021. Tracey Feist sent an email on April 1, 2021 opposed to the tower location. A response was sent on April 1, 2021 replying to Ms. Feist's comments. Stan and Mary Robinson sent a comment sheet on April 6, 2021 with concerns regarding the tower location. A response was sent on April 6, 2021 with details as to the determination of the location. Cindy Kucyk left a voicemail and sent on a comment sheet on April 7, 2021 with concerns regarding location, consultation process, long term effects and lighting. A response was sent on April 8, 2021 addressing the concerns. M.E. Dusdal sent a letter on April 12, 2021 with concerns regarding location in the notification, tower location and Alberta Transportation plans for Highway 8. A response was sent addressing the concerns on April 13, 2021, allowing for a 21 day response period as per default ISED public consultation requirements. A copy of all correspondence has been included in this package. Scott Telecom Services is pre-submitting following a conversation on March 26, 2021 between Rocky View County, Xplornet Communications and Scott Telecom Services.

We respectfully request that Rocky View County review the following attachments. The attachments are enclosed either as required by your guidelines, or in addition to your guidelines, in order to provide sufficient information to make a decision regarding concurrence:

- Communications Facilities Application Form
- Certificate of Title
- Digital copy of non-financial instruments/caveats registered on title
- Letter of Authorization
- Site Plan
- Elevation Drawings
- Photo Simulation
- Landowner Notification Package
- Public Notice Tearsheet
- Comments Received & Responses Sent
- Invitations to Co-Locate and Response Received

Xplornet makes every attempt to develop as sensitively as possible, while balancing the technical requirements and customer demand for improving service in an area. The location for the proposed telecommunications tower was identified by qualified radiofrequency engineers. It is central to an area experiencing poor signal coverage and that is susceptible to capacity limitations. Xplornet attests that the installation will be installed and operated on an ongoing basis to comply with Health Canada's Safety Code 6.

In conformance with Innovation, Science and Economic Development Canada's (ISED) (formerly Industry Canada) policy for approving new telecommunications installations, Xplornet has researched all existing antenna systems and other infrastructure capable of entertaining telecommunications equipment in the area. There were no existing structures found within a 2km radius of the targeted area on which to collocate Xplornet's equipment. All equipment necessary to operate this facility will reside within an equipment cabinet at the base of the tower. Xplornet attests that the installation will respect good engineering practices, including structural adequacy.

Should you have any questions or concerns, please do not hesitate to contact me.

Thank you,



Jaclyn Meikle  
Project Manager  
Scott Telecom Services  
Cell: 780-702-5687  
jmeikle@scottland.ca



## LAND TITLE CERTIFICATE

S

LINC	SHORT LEGAL	TITLE NUMBER
0035 129 568	5;4;24;1;NW	121 049 137
0025 607 144	5;4;24;1;SW	

## LEGAL DESCRIPTION

## FIRST

MERIDIAN 5 RANGE 4 TOWNSHIP 24

SECTION 1

QUARTER NORTH WEST

CONTAINING 64.7 HECTARES (160 ACRES) MORE OR LESS

EXCEPTING THEREOUT:

PLAN	NUMBER	HECTARES	ACRES	MORE OR LESS
ROAD	368LK	2.45	6.07	
ROAD	1210529	1.467	3.63	

EXCEPTING THEREOUT ALL MINES AND MINERALS

## SECOND

MERIDIAN 5 RANGE 4 TOWNSHIP 24

SECTION 1

QUARTER SOUTH WEST

CONTAINING 64.7 HECTARES ( 160 ACRES) MORE OR LESS

EXCEPTING THEREOUT:

	HECTARES	(ACRES)	MORE OR LESS
A) PLAN 9311911 SUBDIVISION	1.203	( 2.97)	

EXCEPTING THEREOUT ALL MINES AND MINERALS

ESTATE: FEE SIMPLE

MUNICIPALITY: ROCKY VIEW COUNTY

REFERENCE NUMBER: 051 023 709 +1

REGISTERED OWNER(S)				
REGISTRATION	DATE (DMY)	DOCUMENT TYPE	VALUE	CONSIDERATION
121 049 137	28/02/2012	ROAD PLAN		

## OWNERS

2013401 ALBERTA LTD.  
 OF 1003, 200 LA CAILLE PLACE SW  
 CALGARY

ALBERTA T2P 5E2

(DATA UPDATED BY: CHANGE OF NAME 171021703)

-----  
ENCUMBRANCES, LIENS & INTERESTS

REGISTRATION

NUMBER	DATE (D/M/Y)	PARTICULARS
1200KX .	26/03/1971	UTILITY RIGHT OF WAY GRANTEE - ALBERTA GOVERNMENT TELEPHONES. AFFECTED LAND: 5;4;24;1;NW
791 172 075	16/10/1979	CAVEAT RE : PUBLIC WORK CAVEATOR - HER MAJESTY THE QUEEN IN RIGHT OF ALBERTA AS REPRESENTED BY MINISTER OF TRANSPORTATION AFFECTED LAND: 5;4;24;1;NW (DATA UPDATED BY: 151094209 )
881 176 480	30/09/1988	UTILITY RIGHT OF WAY GRANTEE - CANADIAN WESTERN NATURAL GAS COMPANY LIMITED. "PORTION DESCRIBED IN INSTRUMENT"
881 231 122	19/12/1988	UTILITY RIGHT OF WAY GRANTEE - PIRMEZ CREEK WATER ASSOCIATION LTD.

TOTAL INSTRUMENTS: 004

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN  
ACCURATE REPRODUCTION OF THE CERTIFICATE OF  
TITLE REPRESENTED HEREIN THIS 31 DAY OF MARCH,  
2021 AT 12:58 P.M.

ORDER NUMBER: 41341727

CUSTOMER FILE NUMBER: XPL-0001.083

\*END OF CERTIFICATE\*



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THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED FOR THE SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER, SUBJECT TO WHAT IS SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION, APPRAISAL OR OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS PART OF THE ORIGINAL PURCHASER APPLYING PROFESSIONAL, CONSULTING OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT(S) .

# **ALBERTA GOVERNMENT SERVICES LAND TITLES OFFICE**

**IMAGE OF DOCUMENT REGISTERED AS:**

# **1200KX .**

**ORDER NUMBER: 41341765**

## **ADVISORY**

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AFFIDAVIT OF EXECUTION

CANADA ) I, JAMES D. IRWIN of the  
PROVINCE OF ALBERTA ) CITY of EDMONTON  
TO WIT: ) in the Province of Alberta, MAKE OATH AND SAY:

1. THAT I was personally present and did see JAMES HARWOOD named in the within instrument, who is personally known to me to be the person named therein, duly sign and execute the same for the purpose named therein.
2. THAT the same was executed at the CITY of CALGARY in the Province of Alberta and that I am the subscribing witness thereto.
3. THAT I know the said JAMES HARWOOD and HE is in my belief of the full age of twenty-one years.

SWORN BEFORE ME at the CITY )  
of CALGARY in the )  
Province of ALBERTA )  
this 18 day of MARCH )  
A. D. 19 71 )  
[Signature]  
A COMMISSIONER FOR OATHS  
A NOTARY PUBLIC (SEAL)

1200 KX  
5-5

DATED 5 A.D. 19



James Harwood  
TO  
ALBERTA GOVERNMENT TELEPHONES  
67R12

RIGHT-OF-WAY  
In Dup 67R12

REGN. FEE	5
EXTRA REG. CERT.	
EXTRA NEW TITLE	
ABSTRACT	
GEN. CERT.	
CERT. OF CHG.	
ASSEC. FUND.	
NEW VALUE	
OLD VALUE	
TOTAL FEES	5
CLERK D.B.	30

K X Cam.

RE: D. C. T. # 67-R-12  
RE: PROPERTY

Alberta Government Telephones,  
P.O. Box 2411,  
Edmonton 15, Alberta.  
I certify that the within instrument  
has duly been filed for registration in the  
Land Titles Office for the Province of Alberta  
and that the same is now on file in the  
Registry Office.  
Filed for Reg. 10  
Clerk A. March 26 1971  
as numbered 1200 KX  
Folio 35  
Registered  
SALE

FORM A - CONSENT OF SPOUSE

I, \_\_\_\_\_ being married to the above named \_\_\_\_\_, do hereby give my consent to the disposition of our homestead, made in this (or the annexed) instrument, and I have executed this document for the purpose of giving up my life estate and other dower rights in the said property given to me by the DOWER ACT, to the extent necessary to give effect to the said disposition.

\_\_\_\_\_  
(signature of spouse)

FORM C - CERTIFICATE OF ACKNOWLEDGEMENT BY SPOUSE

1. This document was acknowledged before me by \_\_\_\_\_  
\_\_\_\_\_ apart from her husband (or his wife).
2. \_\_\_\_\_ acknowledged to me that she  
(or he):
  - (a) is aware of the nature of the disposition (or agreement);
  - (b) is aware that the DOWER ACT, gives her (or him) a life estate in the homestead and the right to prevent disposition of the homestead by withholding consent;
  - (c) consents to the disposition (or agreement) for the purpose of giving up the life estate and other dower rights in the homestead given to her (or him) by the DOWER ACT, to the extent necessary to give effect to the said disposition (or agreement);
  - (d) is executing the document freely and voluntarily without any compulsion on the part of her husband (or his wife).

Dated at \_\_\_\_\_, in the Province of Alberta, this \_\_\_\_\_  
day of \_\_\_\_\_, A. D. 19 \_\_\_\_\_.

A COMMISSIONER FOR OATHS IN AND FOR THE PROVINCE OF ALBERTA

FORM B - AFFIDAVIT

I, JAMES HARWOOD of CALGARY  
in the Province of Alberta, \_\_\_\_\_, make oath and say:  
(occupation)

1. That I am the Grantor ~~(or the duly appointed agent acting under power of attorney in my favor dated the \_\_\_\_\_ day of \_\_\_\_\_, A. D. 19 \_\_\_\_\_)~~ *JD*
2. That I am ~~(my principal is)~~ not married. *JD*

OR

Neither myself nor my spouse (my principal nor his spouse) has resided on the within mentioned land at any time since our (their) marriage.

OR

A judgment for damages was obtained against me by my spouse (my principal by his spouse) and registered in the Land Titles Office as No. \_\_\_\_\_ dated the \_\_\_\_\_ day of \_\_\_\_\_, A. D. 19 \_\_\_\_\_.

SWORN before me at CALGARY  
in the Province of ALBERTA  
this 18 day of MARCH  
A. D. 19 71 *JD*

\_\_\_\_\_  
A COMMISSIONER FOR OATHS (or as the case may be)

*80*  
JAMES HARWOOD OF STRATHMORE, ALBERTA

(referred to as "the Grantor") being the registered owner of lands described as follows:

THE NORTH HALF OF SECTION ONE (1) TOWNSHIP TWENTY-FOUR (24) RANGE FOUR (4) WEST OF THE FIFTH MERIDIAN AND BEING MORE SPECIFICALLY DESCRIBED UNDER CERTIFICATE OF TITLE #67-R-12

(the land)

DOES HEREBY in consideration of payment of ONE DOLLAR dollars \_\_\_\_\_ and other good and valuable consideration, the receipt of which is hereby acknowledged, GRANT AND TRANSFER to Alberta Government Telephones, (referred to as "AGT") the rights and privileges of a right-of-way in, through, over and under this part of the land, namely:

A STRIP OF LAND TWENTY (20) FEET WIDE LYING BETWEEN TWO LINES PARALLEL TO AND PERPENDICULARLY DISTANT FORTY-NINE (49) FEET AND SIXTY-NINE (69) FEET RESPECTIVELY SOUTHERLY FROM THE SOUTH BOUNDARY OF THE ROAD AS SHOWN ON PLAN ~~8861-A-2~~ 8999 Q THROUGH OUT THE ABOVE NOTED LANDS.

RESERVING THEREOUT ALL MINES AND MINERALS

DESCRIPTION APPROVED  
DATE MAR 25 1971  
SURVEYOR TO THE L.T.O.  
PER [Signature]

(referred to as "the right-of-way") for digging, putting down, taking up, relaying, connecting, disconnecting, constructing, repairing, replacing, maintaining, inspecting and operating telephone, telegraph and telecommunication lines or any one or more of them, together with all other AGT telecommunication facilities, (all referred to as the facilities) to be laid in, under, on, over or across the right-of-way, the said rights and privileges being subject to the following terms and conditions, namely:

1. The right-of-way hereby granted shall be effective APRIL 1, 1968 for such length of time as the facilities are required by AGT.

2. AGT, its employees, agents, contractors and subcontractors shall have the right to ingress, egress and to pass and repass on the right-of-way either on foot or by means of vehicles or necessary machines, and to remain on the right-of-way for all purposes of digging, putting down, taking up, relaying, connecting, disconnecting, constructing, repairing, replacing, maintaining, inspecting and operating the facilities.

3. AGT, in carrying out such operations will do so in workmanlike manner and will cause as little damage and inconvenience to the owner or occupier of the said lands as is possible, and any excavations or workings AGT makes shall, so far as is reasonably practicable, be restored to their former condition. The replacement of trees, shrubs and landscaping other than grass is not practical and AGT is under no liability for replacement but shall pay crop loss and damages resulting from such operations.

4. The Grantor covenants that (he) it will not build, erect or maintain nor permit or suffer to be built, erected or maintained on the right-of-way any building or structure, and will not plant or maintain, nor allow or suffer to be planted or maintained thereon any trees, shrubs, or landscaping which would or could prevent or hinder the exercise by AGT of any of the rights granted to it.

5. Subject to Clause 3, AGT will indemnify and save harmless the Grantor from and against all claims, damages, debts, dues, suits, actions and causes of actions or costs that the Grantor may suffer or be put to by reason of anything done by AGT in the exercise of the rights and privileges granted to it.

6. This right-of-way and the covenants granted AGT are and shall be covenants running with the land.

7. The rights, privileges and obligations of AGT and the Grantor shall extend to and shall be binding upon Alberta Government Telephones, its successors and assigns, and upon the Grantor, its successors and assigns.

8. Other conditions:

J. D. Smith  
Witness

X J. H. Harwood MARCH 18, 1977  
REGISTERED OWNER Date

\_\_\_\_\_  
Witness

\_\_\_\_\_  
REGISTERED OWNER

\_\_\_\_\_  
Date

Instructions: All registered owners must sign before a witness.  
If they are limited companies, the company seal must be stamped on, and then no witness is required.

**ALBERTA GOVERNMENT SERVICES  
LAND TITLES OFFICE**

**IMAGE OF DOCUMENT REGISTERED AS:**

**791172075**

**ORDER NUMBER: 41341765**

**ADVISORY**

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79-2 172075

Oct 16 '79

*Carcat*

Is duly Elected  
Titles Office for the State of California  
Registration Laws that Govern

*Amelia S. Soto* Registrar  
SALRD

AT-7

Alberta

TRANSPORTATION

CAVEAT

File No.: 6-SR-77 (3)

To the Registrar of the ..... South ..... Alberta Land Registration District:

Take notice that HER Majesty the QUEEN in the Right of the Province of Alberta as represented by the Minister of Transportation claims an interest in the Ptn. N.E. ¼ Section 1-24-4-W5th M. .... (C. of T. 761090632) and N½ Section 1-24-4-W5th M. (C. of T. 791142856) .....

under an Agreement dated the ..... Twentieth ..... day of ..... September .....

19 79, and made between ..... Samuel Earl Harwood .....

of ..... and HER Majesty the QUEEN, as aforesaid, .....

whereby the said ..... Samuel Earl Harwood .....

agreed on certain consideration to transfer to the Caveator a portion of the aforementioned land required for the establishing of a public work upon the said land standing in the register in the name of .....

..... Samuel Earl Harwood .....

and I forbid the registration of any person as transferee or owner of, or of any interest affecting the said estate or interest, unless the instrument or certificate of title, as the case may be, is expressed to be subject to such claim.

I appoint the Property Services Branch of the Transportation Department at Edmonton as the place at which notices and proceedings relating hereto may be served.

Dated this ..... Twelfth ..... day of ..... October ..... 19 79 .....

For:

Minister of Transportation

Director, Property Services  
Alberta Transportation  
8th Floor, College Plaza  
8215 - 112th Street  
Edmonton, Alberta  
T6G 2M2

I, ..... D. C. Holmberg ..... make oath and say:

1. I am the agent for the above named Caveator.
2. I believe that the Caveator has a good and valid claim upon the said land and I say that this Caveat is not being filed for the purpose of delaying or embarrassing any person interested in or proposing to deal therewith.

Sworn before me at Edmonton in the  
Province of Alberta, this ..... 12th ..... day  
of ..... October ..... 19 79 .....

A Commissioner for Oaths

**ALBERTA GOVERNMENT SERVICES  
LAND TITLES OFFICE**

IMAGE OF DOCUMENT REGISTERED AS:

**881176480**

**ORDER NUMBER: 41341765**

**ADVISORY**

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Please contact the Land Titles Office at (780) 422-7874 if the image of the document is not legible.

88-176480

SEP 30 '88

I certify that the within instrument is duly Entered and Registered in the Land Titles Office for the South Alberta Land Registration District at Calgary.

gistar  
541 RD

SAMUEL EARL HARWOOD

- and -

CANADIAN WESTERN NATURAL GAS COMPANY LIMITED

EASEMENT

EASEMENT

MADE the 14 day of SEPTEMBER A.D., 1988

BETWEEN: SAMUEL EARL HARWOOD  
of CALGARY  
in the Province of Alberta  
(hereinafter called "the Grantor")

- and -

CANADIAN WESTERN NATURAL GAS COMPANY LIMITED  
a body corporate having its registered office  
at 909 Eleventh Avenue Southwest, in the City  
of Calgary, in the Province of Alberta,  
(hereinafter called "the Grantee")

WHEREAS the Grantor is the registered owner (or is entitled to become the registered owner under an Agreement for Sale or unregistered Transfer or otherwise) of all that certain piece or parcel of land lying and being in the Province of Alberta and more particularly described as follows:

SECTION 1,-24-4 W5M  
CONTAINING 259 HECTARES (640 ACRES) MORE OR LESS  
EXCEPTING OUT OF THE NORTH EAST QUARTER THAT PORTION OF THE CANAL RIGHT-OF-WAY ON PLAN IRR.3 WHICH LIES TO THE SOUTH OF THE ROADWAY ON PLAN 8999 Q., CONTAINING 8.82 HECTARES (21.79 ACRES) MORE OR LESS  
EXCEPTING THEREOUT ROADWIDENING ON PLAN 368 L.K., CONTAINING 1.98 HECTARES (4.89 ACRES) MORE OR LESS IN THE NORTH EAST QUARTER AND 2.45 HECTARES (6.07 ACRES) MORE OR LESS, IN THE NORTH WEST QUARTER  
EXCEPTING THEREOUT ALL MINES AND MINERALS

(hereinafter called "the said lands");

AND WHEREAS the Grantee desires to construct, maintain, operate, repair and/or replace and renew a gas pipeline or pipeline and appurtenance necessarily incidental thereto, over, across, under and through the said lands;

AND WHEREAS the Grantor has agreed to grant an Easement over, across, under and through a portion of the said lands described as follows:

THAT PORTION OF THE W 1/2 1-24-4 W5M DESCRIBED AS FOLLOWS:  
THE WESTERLY 6.0 METRES IN PERPENDICULAR WIDTH LYING NORTH OF THE SOUTHERLY 326.94 METRES, AND LYING SOUTH OF ROADWIDENING (ON PLAN 368 L.K.) CONTAINING 1.83 ACRES± (0.741 HA±)

(hereinafter called "the strip of land");

NOW THEREFORE THIS AGREEMENT WITNESSETH that in consideration of the sum of One Dollar (\$1.00) paid by the Grantee to the Grantor (the receipt whereof the Grantor doth hereby acknowledge) and of the covenants, conditions and stipulations herein contained, the Grantor does and does hereby grant to the Grantee an Easement over, across, under and through the said strip of land for the purpose of putting down, taking up, relaying, connecting, disconnecting, erecting, repairing, maintaining and operating a gas pipeline or pipeline and appurtenance necessarily incidental thereto for as long as the Grantee shall require the strip of land for the conveyance of natural gas subject only to the following terms and conditions, namely:

- 2 -

1. The Grantor covenants and agrees:

(a) That upon the execution of these presents and at all times thereafter the Grantee, or any person, firm or corporation, acting on its behalf, may enter upon and occupy the strip of land with its or their agents, servants, workmen and contractors and with or without vehicles, machinery and equipment for the purposes aforesaid.

(b) That he will not erect any buildings or structures within, upon, over or under the strip of land, nor will he add to or reduce the cover over the said pipeline or pipeline without the consent of the Grantee.

(c) That the Grantee performing and observing the covenants and conditions herein contained, shall peaceably hold and enjoy all the rights, privileges, liberties and covenants hereby granted without any hindrance and interruption from the Grantor or any person or persons claiming by, through, under or in trust for them or any person or persons whatsoever.

2. The Grantee covenants and agrees:

(a) That it will lay down, take up, relay, erect, connect, disconnect, maintain and operate the said pipeline or pipeline in a proper and workmanlike manner in accordance with good engineering practice.

(b) That where practicable, after the installation of any pipeline or pipeline, it will level off the area affected by the said installation.

(c) That it will not fence the strip of land excepting those portions upon which appurtenance necessarily incidental to the operation of the said pipeline or pipeline are situated and which the Grantee deems to require the protection of fencing. If at any time hereafter it shall be necessary for the Grantee, or any person, firm or corporation, acting on its behalf to move fences situated at each end of the strip of land for the purpose of repairing the said pipeline or pipeline or otherwise, it will replace the said fences in the same position and in as good condition as the same were in prior to their being moved.

(d) That it will make compensation to the Grantor for any and all damage that may be done to any buildings, fences, growing crops or livestock belonging to the Grantor and arising out of or by reason of or in the course of the construction, maintenance, repair and/or replacement and renewal of the said pipeline or pipeline and appurtenance necessarily incidental thereto, provided that the Grantee shall not be liable for any damage caused through interference by anyone other than the Grantee, its officers, agents or employees or persons acting under the authority of the Grantee, with any pipeline or pipeline or works of the Grantee laid or constructed on the strip of land.

(e) That the Grantor shall have the right to farm the strip of land and shall have a right of ingress and egress over the same but not so as to interfere in any manner with the use and occupation thereof by the Grantee.

(f) That nothing herein contained shall be deemed to vest in the Grantee any right, title or interest in any mines or minerals, in and under the strip of land, except only the parts thereof that are necessary to be dug, carried away or used in the construction, maintenance or repair of the pipeline or pipeline or works of the Grantee.

3. The Grantor and Grantee mutually covenant and agree:

(a) That this agreement shall enure to the benefit of and shall be binding upon the respective heirs, executors, administrators, successors and assigns of the parties hereto.

- 3 -

(b) That wherever the singular or the masculine pronouns are used throughout this agreement, the same shall be construed as meaning the plural, the feminine or the neuter where the context or parties so require.

(c) That this agreement and the covenants herein contained are and shall be covenants running with the land.

(d) All notices to be given hereunder may be given by registered letter addressed to the Grantor at: [REDACTED]

and to the Grantee at: 909 - 11th Avenue S. W.  
Calgary, Alberta, Canada T2R 1L8

IN WITNESS WHEREOF the Grantee has hereunto set his hand and seal (or, if a body corporate has hereunto caused to be affixed its corporate seal duly attested by the hands of its proper officers duly authorized in that behalf) and the Grantee has caused its corporate seal to be affixed, authenticated by the signatures of its proper officers the day and year first above written.

SIGNED, SEALED AND DELIVERED  
by the said Grantor in the presence of }

Larry Smiles

L.E. Harwood (SEAL)

CANADIAN WESTERN NATURAL GAS COMPANY LIMITED



W.E. Popowich  
Vice-President

Engineering & Construction  
THE DOWER ACT - CONSENT OF SPOUSE

I,

being married to the within named  
do hereby give my consent to the  
disposition of our homestead, made in the annexed instrument, and I have executed this  
document for the purpose of giving up my life estate and other dower rights in the said  
property given to me by The Dower Act to the extent necessary to give effect to the said  
disposition.

- 4 -

AFFIDAVIT

I, SAMUEL EARL HARWOOD of CALGARY  
in the Province of Alberta, FARMER make oath and say:  
(Occupation)

1. THAT I am the Grantor named in the annexed instrument.
- ~~2. THAT I am not married.~~
3. THAT neither myself nor my spouse has resided on the  
within mentioned land at any time since our marriage.

SWORN before me at CALGARY  
in the Province of Alberta, this 14  
day of SEPTEMBER, A.D., 1988

Larry Snider  
A Commissioner for Oaths in and for the  
Province of Alberta

LARRY D. SNIDER  
A Commissioner for Oaths in and for  
the Province of Alberta  
My Commission Expires July 28, 1991

AFFIDAVIT OF EXECUTION

I, LARRY SNIDER  
of CALGARY  
in the Province of Alberta,  
make oath and say:

1. THAT I was personally present and did see SAMUEL EARL HARWOOD  
named in the within instrument, who is personally known to me to be the person  
named therein, duly sign and execute the same for the purpose named therein.
2. THAT the same was executed at CALGARY in the Province of Alberta, and that I  
am the subscribing witness thereto.
3. THAT I know the said SAMUEL EARL HARWOOD  
and he is in my belief the full age of eighteen years.

SWORN before me at CALGARY  
in the Province of Alberta, this 15  
day of SEPTEMBER, A.D., 1988

D. J. Handby  
A Commissioner for Oaths in and for the  
Province of Alberta

D. J. HANDBY  
COMMISSIONER FOR OATHS  
EXPIRES NOVEMBER 11, 1988

**ALBERTA GOVERNMENT SERVICES  
LAND TITLES OFFICE**

IMAGE OF DOCUMENT REGISTERED AS:

**881231122**

**ORDER NUMBER: 41341765**

**ADVISORY**

This electronic image is a reproduction of the original document registered at the Land Titles Office. Please compare the registration number on this coversheet with that on the attached document to ensure that you have received the correct document. Note that Land Titles Staff are not permitted to interpret the contents of this document.

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\*\*\*\*\*

SAMUEL EARL HARWOOD

- and -

PIRMEZ CREEK WATER ASSOCIATION

\*\*\*\*\*

EASEMENT

\*\*\*\*\*

LEACH & DAVISON  
Barristers & Solicitors  
#1010, 505 - 5th Street S.W.  
Calgary, Alberta, T2P 3J2

File No. 6325/GBD

*Colin MacIsaac*  
is duly Entered and Registered in the Land  
Registration Office for the South Alberta Land  
Registration District at Calgary.  
A.D. Registrar  
SALRO

720 1988


UTILITY RIGHT OF WAY  
EASEMENT

MADE the 29 day of September, A.D. 1988.

BETWEEN:

SAMUEL EARL HARWOOD (Farmer)  
of the City of Calgary,  
in the Province of Alberta,  
(hereinafter called "the Grantor")

- and -

 PIRMEZ CREEK WATER ASSOCIATION LTD.  
a corporation incorporated in the  
Province of Alberta, pursuant to the  
Rural Utilities Act, S.A. 1985,  
Ch. R-21 and amendments thereto  
(hereinafter called "the Grantee")

WHEREAS the Grantor is the registered owner of those  
lands in the Province of Alberta and more particularly described  
as follows:

Section One (1)  
In Township Twenty-Four (24)  
Range Four (4)  
West of the Fifth Meridian  
Containing 269 hectares (640 acres) more or less

Excepting out of the Northeast quarter that portion of  
the Canal Right of Way on Plan Irr.3 which lies to the  
South of the Roadway on Plan 8999 Q., containing 8.82  
hectares (21.79 acres) more or less

Excepting thereout road widening on Plan 368 L.K.,  
containing 1.98 hectares (4.89 acres) more or less in  
the Northeast quarter and 2.45 hectares (6.07 acres)  
more or less, in the Northwest quarter.

Excepting thereout all mines and minerals.

(hereinafter called "the said lands");

AND WHEREAS the Grantee desires to construct, maintain,  
operate, repair and/or replace and renew a water line or water  
lines and appurtenances necessarily related thereto, over, across,  
under and through the said lands;

- 2 -

AND WHEREAS the Grantor has agreed to grant an Easement over, across, under and through the said lands described above;

NOW THEREFORE THIS AGREEMENT WITNESSETH that in consideration of the sum of One Dollar (\$1.00) paid by the Grantee to the Grantor (the receipt whereof the Grantor doth hereby acknowledge) and of the covenants, conditions and stipulations herein contained, the Grantor does hereby grant to the Grantee an Easement over, across, under and through the said lands for the purpose of putting down, taking up, relaying, connecting, disconnecting, erecting, repairing, maintaining and operating a water line or water lines and the appurtenances necessarily incidental thereto for as long as the Grantee shall require the said lands for the conveyance of water, subject only to the following terms and conditions, namely:

1. The Grantor covenants and agrees:

(a) That upon the execution of these presents, and at all times thereafter, the Grantee, or any person, firm or corporation, acting on its behalf, may enter upon and remain upon the said lands with its or their agents, servants, workmen and contractors and with or without vehicles, machinery and equipment for the purposes aforesaid.

(b) That they will not erect any buildings or structures within, upon, over or under the water line or water lines nor will they add to or reduce the cover over the said water line or water lines without the consent of the Grantee.

(c) That the Grantee performing and observing the covenants and conditions herein contained, shall peaceably hold and enjoy all the rights, privileges, liberties and covenants hereby granted without any hindrance and interruption from the Grantor or any person or persons claiming by, through, under or in trust for them or any person or persons whatsoever.

- 3 -

2. The Grantee covenants and agrees:

(a) That it will lay down, take up, relay, erect, connect, disconnect, maintain and operate the said water line or water lines in a proper and workmanlike manner in accordance with good engineering practice.

(b) That where practicable, after the installation of any water line or water lines, it will level off the area affected by the installation.

(c) That it will not fence the said lands excepting those portions upon which appurtenance necessarily incidental to the operation of the said water line or water lines are situated and which the Grantee deems to require the protection of fencing. If at any time, hereafter, it shall be necessary for the Grantee, or any person, firm or corporation, acting on its behalf, to move fences situated at each end of the said lands for the purpose of repairing the said water line or water lines or otherwise, it will replace the said fences in the same position and in as good condition as the same were in prior to their being moved.

(d) That it will make compensation to the Grantor for any and all damage that may be done to any buildings, fences, growing crops or livestock belonging to the Grantor and arising out of or by reason of or in the course of the construction, maintenance, repair and/or replacement and renewal of the said water line or water lines and the appurtenance necessarily incidental thereto, provided that the Grantee shall not be liable for any damage caused through interference by anyone other than the Grantee, its officers, agents or employees or persons acting under the authority of the Grantee, with any water line or water lines or the appurtenances thereto of the Grantee laid or constructed on the said lands.

- 4 -

(e) That the Grantor shall have the right of ingress and egress over the same but not so as to interfere in any manner with the use and occupation by the Grantee.

(f) That nothing herein contained shall be deemed to vest in the Grantee any right, title or interest in any mines or minerals, in and under the said lands, except only the parts thereof that are necessary to be dug, carried away or used in the construction, maintenance or repair of the water line or water lines or appurtenances thereto of the Grantor.

3. The Grantor and Grantee mutually covenant and agree:

(a) That this agreement shall enure to the benefit of and shall be binding upon the respective heirs, executors, administrators, successors and assigns of the parties hereto.

(b) That wherever the singular or the masculine pronouns are used throughout this agreement, the same shall be construed as meaning the plural, the feminine or the neuter where the context or parties so require.

(c) That this agreement and the covenants herein contained are and shall be covenants running with the land.

(d) All notices to be given hereunder may be given by registered letter addressed to the Grantor at:



and to the Grantee at:

Pirmez Creek Water Association Ltd.  
c/o Box 8, Site 2, R.R. 1  
Calgary, Alberta  
T2P 2G4

- 5 -

IN WITNESS WHEREOF the Grantor has hereunto set his hand and seal and the Grantee has hereunto caused to be affixed its corporate seal duly attested by the hands of its proper officers duly authorized in that behalf the day and year first above written.

SIGNED, SEALED AND DELIVERED )  
by the said Grantor in the )  
presence of:

[Signature]  
WITNESS

[Signature]  
SAMUEL EARL HARWOOD

PIRMEZ CREEK WATER ASSOCIATION LTD.

Per: [Signature]

Per: [Signature]

I, SAMUEL EARL HARWOOD, of the City of Calgary, in the Province of Alberta, Rancher (Occupation) MAKE OATH AND SAY:

1. That I am the Grantor named in the within instrument.
2. ~~That I am not married.~~
3. That neither myself nor my spouse has resided on the within mentioned land at any time since our marriage.

SWORN BEFORE ME at the City  
of Calgary, in the Province  
of Alberta, this 29 day  
of September, 1988.

~~SAMUEL EARL HARWOOD~~

A Commissioner for Oaths in &  
for the Province of Alberta.

G. BRIAN DAVIDSON

C A N A D A

PROVINCE OF ALBERTA

TO WIT:

1. G. Brian Davidson,  
of the City of Calgary,  
in the Province of Alberta,  
Lawyer (Occupation)  
MAKE OATH AND SAY:

1. That I was personally present and did see SAMUEL EARL HARWOOD, named in the within instrument, who is personally known to me to be the person named therein, duly sign and execute the same for the purpose named therein.
2. That the same was executed at the City of Calgary, in the Province of Alberta, and that I am the subscribing witness thereto.
3. That I know the said Samuel Earl Harwood, and he is in my belief the full age of eighteen (18) years.

SWORN BEFORE ME at the City  
of Calgary, in the Province  
of Alberta, this 2nd day of  
October, 1988.

A Commissioner for Oaths in &  
for the Province of Alberta.

AUDREY Z. MacLEAN  
My Commission Expires  
June 11, 1995

CERTIFICATE OF ACKNOWLEDGEMENT BY SPOUSE

1. This document was acknowledged before me by \_\_\_\_\_, apart from \_\_\_\_\_.
2. \_\_\_\_\_ acknowledged to me that he/she:
  - (a) is aware of the nature of the disposition/agreement.
  - (b) is aware that The Dower Act gives him/her a life estate in the homestead and the right to prevent disposition on the homestead by withholding consent.
  - (c) consents to the disposition/agreement for the purpose of giving up the life estate and other dower rights in the homestead given to him/her by The Dower Act to the extent necessary to give effect to the said disposition/agreement.
  - (d) is executing the document freely and voluntarily without any compulsion on the part of \_\_\_\_\_.

DATED at the City of Calgary, in the Province of Alberta, this \_\_\_\_ day of \_\_\_\_\_, A.D. 1988.

\_\_\_\_\_  
A Commissioner for Oaths in &  
for the Province of Alberta.

THE DOWER ACT - CONSENT OF SPOUSE

I, \_\_\_\_\_, being married to the within named SAMUEL EARL HARWOOD, do hereby give my consent to the disposition of our homestead, made in the annexed instrument, and I have executed this document for the purpose of giving up my life estate and other dower rights in the said property given to me by The Dower Act to the extent necessary to give effect to the said disposition.

\_\_\_\_\_

**SCHEDULE D**  
**AUTHORIZATION LETTER**

**FROM:** HCS INVESTMENT HOLDINGS LTD.  
1003, 200 La Caille Place SW  
Calgary, Alberta T2P 5E2

**TO WHOM IT MAY CONCERN:**

**Re:** NW 1-24-4 WSM  
**Site:** AB1379

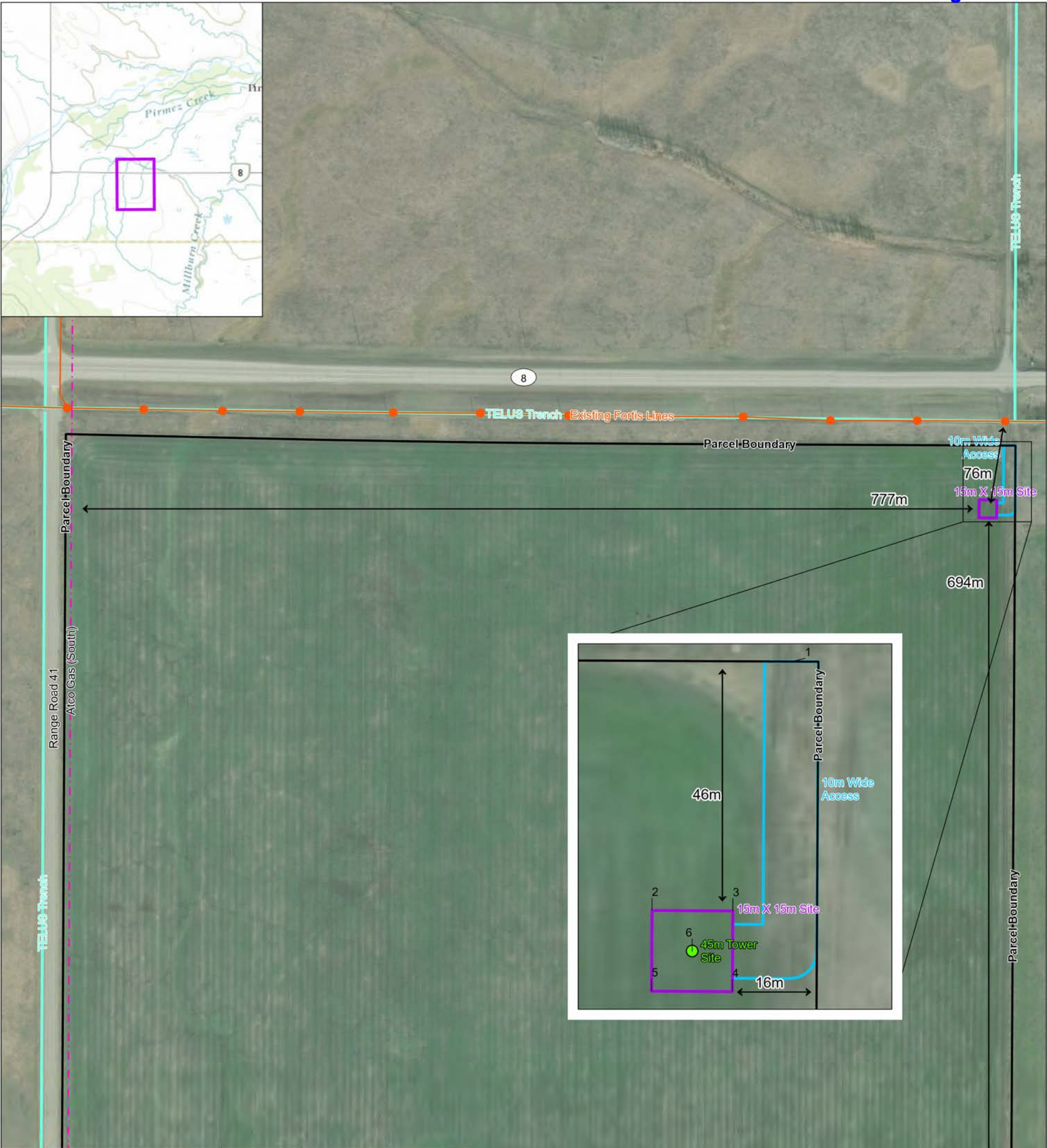
We/I, HCS INVESTMENT HOLDINGS LTD., the owner of the above mentioned property, hereby give Xplornet Communications Inc. and its agents permission to act as our agent to acquire the necessary permits, drawings and/or buildings structural blue-prints, hydro information from the public utility and information from the municipality or other authorities concerned, needed to approve the construction of the telecommunications site at the address indicated above and as shown on the attached plans.

Sincerely,



---

Hank Swartout



SITE:	See Dimensions	HEIGHT:	45m	ELEVATION:	1209m
PT. #	Description	LATITUDE		LONGITUDE	
1	Approach	51.022803		-114.431899	
2	Corner	51.022386		-114.432264	
3	Corner	51.022386		-114.432050	
4	Corner	51.022252		-114.432050	
5	Corner	51.022252		-114.432264	
6	Tower	51.022319		-114.432157	

Site Sketch

5;4;24;1;NW

45m Tower Site

15m X 15m Site

10m Wide Access

Parcel Boundaries

Existing Power Lines

Low-pressure Pipelines

TELUS Trenches

Municipality: Rockyview County

Access Length: 72 Metres

Distance to Power: 76 Metres

WARNING: This map is based on overlaid public data sets and may be inaccurate. Do not use this map for construction. It is not a legal survey. Buried hazards or infrastructure such as pipelines, powerlines or cables may not be shown accurately or at all. The same is true for facilities and geographical features. Relying on the accuracy or completeness of this map could cause serious injury or death. Use it at your own risk.

N

W

E

S

Metres

0

110

220

Scale: 1:3,500

Coordinate System: NAD 1983 3TM 114

Author: Dave Taylor

Contact: (403) 261-6529

Publish Date: 2021-03-02

XPL-0001.083

SCOTT TELECOM

SERVICES

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ISSUED FOR INFORMATION

FEBRUARY 2017

PROJECT INFORMATION

SITE NAME: 150' SELF SUPPORT TOWER

ADDRESS: SITE ADDRESS

CITY: CITY OF CANADA

COORDINATES: TBD

DRAWING LIST

SHEET No	DWG No	DESCRIPTION	SHEET No	DWG No	DESCRIPTION .
1	S01-01	STRUCTURAL GENERAL NOTES	19	S07-01	ANTI-CLIMB DETAILS
2	S01-02	STRUCTURAL GENERAL NOTES	20	E01-01	ELECTRICAL GENERAL NOTES
3	S01-03	ROCK ANCHOR INSTALLATION PROCEDURE	21	E02-01	CABLING DIAGRAM HUAWAI 3-SECTOR
4	S02-01	TOWER PROFILE	22	E02-02	CABLING DIAGRAM HORIZON QUANTUM BACKHAUL (XPIC)
5	S03-01	COMPOUND LAYOUT & GROUNDING			
6	S03-02	COMPOUND LAYOUT - SURFACE BACKFILL			
7	S03-03	SITE ELEVATION			
8	S03-04	8" x 8" WOOD POST INSTALLATION			
9	S03-05	CABLE TRAY DETAILS			
10	S03-06	FENCE DETAILS			
11	S03-07	ACCESS ROAD DETAILS			
12	S04-01	MAT FOUNDATION			
13	S04-02	ROCK ANCHOR FOUNDATION			
14	S04-03	ANCHOR BOLT TEMPLATE ASSEMBLY			
15	S04-04	CONCRETE PAD			
16	S04-05	FOUNDATION REBAR LIST			
17	S05-01	ANTENNA MOUNT DETAILS			
18	S06-01	MW FACE MOUNT DETAILS			



6300 Ordan Drive Mississauga, Ontario Canada, L5T 1W6  
Ph: (905) 595-8000 Fax: (905) 595-7986  
Toll Free: 1 800-WESBELL  
www.wesbell.com

SITE KEY PLAN (N.T.S.)



STRUCTURE PHOTO



PROPERTY MANAGER / LANDLORD APPROVAL

SIGNED: \_\_\_\_\_ DATE: \_\_\_\_\_

PRINT NAME: \_\_\_\_\_

THE OWNER (OR ITS AUTHORIZED REPRESENTATIVES) HEREBY APPROVES THE INSTALLATIONS AND/OR REWIRING OF THE CABLES, WIRES, COMMUNICATION FACILITIES AND EQUIPMENT (THE "NETWORK") BY THE VENDOR AND/OR ITS AUTHORIZED CONSTRUCTION CONTRACTOR AT THE PREMISES AS SHOWN ON THE PLAN ATTACHED HERETO. ALL THE NETWORK INSTALLED BY THE VENDOR AND/OR ITS AUTHORIZED CONSTRUCTION CONTRACTOR OR ITS PREDECESSORS ON OR TO THE PREMISES SHALL REMAIN THE PROPERTY OF THE VENDOR AND THE VENDOR SHALL HAVE THE RIGHT TO REMOVE ITS NETWORK AT ANY TIME. IT IS UNDERSTOOD THAT THE NETWORK SHALL REMAIN A PROPERTY OF THE VENDOR DESPITE THAT THE NETWORK MAY BE IN PART OR IN WHOLE ATTACHED TO THE PREMISES AND IT SHALL NOT AT ANY TIME BECOME A FIXTURE TO THE PREMISES. THE OWNER AGREES TO PROVIDE THE VENDOR AND/OR ITS AUTHORIZED CONSTRUCTION CONTRACTOR ACCESS TO THE PREMISES DURING ALL REASONABLE BUSINESS HOURS EXCEPT THAT IN SITUATIONS OF EMERGENCY, THE VENDOR AND/OR ITS AUTHORIZED CONSTRUCTION CONTRACTOR SHALL HAVE ACCESS AT ANY AND ALL TIMES THAT IT REQUIRES FOR THE PURPOSE OF INSTALLING, MAINTAINING, REPAIRING AND OPERATING THE NETWORK. THE ENCLOSED DRAWINGS OF THE PROPOSED TELECOMMUNICATIONS INSTALLATIONS ARE SUBMITTED PURSUANT TO THE LICENSE AGREEMENT BETWEEN THE LANDLORD AND THE VENDOR. THE LANDLORD IS REQUESTED TO DISCLOSE IN WRITING, THE IDENTITY AND LOCATION OF ANY HAZARDOUS SUBSTANCE LOCATED AT OR ADJACENT TO THE VENDOR 'S PROPOSED TELECOMMUNICATIONS INSTALLATIONS.

GENERAL

1. THE GENERAL STRUCTURAL NOTES ARE INTENDED TO AUGMENT THE DRAWINGS AND SPECIFICATIONS. SHOULD CONFLICTS EXIST BETWEEN THE DRAWINGS, SPECIFICATIONS AND/OR THE GENERAL STRUCTURAL NOTES, THE STRICTEST PROVISION SHALL GOVERN.
2. READ STRUCTURAL DRAWINGS IN CONJUNCTION WITH THE REMAINDER OF THE CONTRACT DRAWINGS AND PROJECT SPECIFICATIONS.
3. CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE AND COMPARE THEM WITH THOSE SHOWN ON THE CONTRACT DRAWINGS BEFORE CONSTRUCTION. ANY DISCREPANCIES OR ERRORS MUST BE REPORTED TO THE ENGINEER PRIOR TO THE COMMENCEMENT OF WORK.
4. ALL DIMENSIONS ARE IN MILLIMETERS (mm), UNLESS NOTED OTHERWISE. DO NOT SCALE DRAWINGS.
5. UNLESS NOTED OR EXPLICITLY STATED BY THE ENGINEER, ALL WORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH THE LATEST EDITION OF ONTARIO BUILDING CODE, NATIONAL BUILDING CODE, CSA S37 "ANTENNAS, TOWERS AND ANTENNA-SUPPORTING STRUCTURES", CSA-S16, THE OCCUPATIONAL HEALTH & SAFETY ACT AND WITH GOOD CONSTRUCTION PRACTICE.
6. THE CONSTRUCTION LOADS ON THE EXISTING OR PROPOSED STRUCTURES SHALL NOT EXCEED THE DESIGN LIVE LOADS INDICATED ON THE DRAWINGS.
7. FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE OF THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.
8. ALL EQUIPMENT MUST BE INSTALLED FOLLOWING THE MANUFACTURER'S REQUIREMENTS AND SPECIFICATIONS.
9. THE DESIGN OF CABINETS AND ANY OTHER PRE-MANUFACTURED ITEMS IS THE RESPONSIBILITY OF OTHERS.
10. STRUCTURAL DRAWINGS ARE NOT TO BE USED OR CONSIDERED AS FABRICATION DRAWINGS.
11. WHENEVER EXISTING EQUIPMENT SHOULD HINDER THE WORKS, IT SHALL BE TEMPORARILY REMOVED AND LATER REINSTALLED IN THE SAME OR BETTER THAN PREVIOUS CONDITIONS AFTER COMPLETION OF THE WORKS. REMOVAL OF EXISTING EQUIPMENT SHALL BE COORDINATED WITH THE OWNER AND APPROVED BY THE ENGINEER.

MATERIALS

1. STRUCTURAL STEEL: NEW STOCK (NOT WEATHERED OR RUSTED), TO CONFORM TO CAN/CSA G40.20-04/G40.21, GRADE 350W.
2. HOLLOW STRUCTURAL SECTIONS (HSS): NEW STOCK, TO CONFORM TO CAN/CSA G40.20-04/G40.21, GRADE 350W, CLASS H, UNLESS NOTED OTHERWISE.
3. PLATES, ANGLES AND CHANNELS: CAN/CSA G40.20-04/G40.21, GRADE 300W.
4. COLD FORMED SECTIONS: NEW STOCK, TO CONFORM TO ASTM A446, GRADE 345W OR APPROVED EQUIVALENT.
5. PIPES (DN): ASTM A53 GRADE B.
6. HIGH STRENGTH BOLTS AND NUTS: ASTM A325 OR A490.
7. U-BOLTS, CAST-IN-PLACE ANCHOR BOLTS: ASTM A325.
8. THREADED RODS : ASTM A193 B7.
9. WELDED STEEL: CSA W59-03.
10. WELDING ELECTRODES AND EQUIPMENT: CSA W48-06 & W55.3-08.
11. STAINLESS STEEL: ASTM A276-10, TYPE 304 OR 316.

CAST-IN-PLACE CONCRETE

1. CRETE MATERIAL AND METHODS OF CONCRETE CONSTRUCTION: CAN/CSA-A23.1 AND A23.2 (THE LATEST EDITION).
2. FORMS AND SHORING SHALL NOT BE REMOVED UNTIL THE CONCRETE IS ADEQUATELY SET. THEIR REMOVAL SHALL BE DONE IN SUCH A MANNER AS TO ENSURE THE COMPLETE SAFETY OF THE STRUCTURE.
3. ALL EXPOSED CONCRETE CORNERS SHALL BE SMOOTHED USING STEEL TROWEL AND SHALL BE 25mm x 25mm CHAMFERED.
4. ALL REINFORCING STEEL SHALL BE DEFORMED BARS CONFORMING TO CSA - G30.18 (THE LATEST EDITION), GRADE 400, UNLESS NOTED OTHERWISE.
5. WELDED WIRE FABRIC SHALL HAVE A MINIMUM YIELD STRENGTH OF 450MPa AND CONFORM TO CSA-G30.5 (THE LATEST EDITION).
6. ALL REINFORCING BARS SHALL BE SUPPORTED IN THE FORMS AND SPACED WITH STANDARD ACCESSORIES SO THAT THERE IS NO MOVEMENT DURING CONCRETE PLACEMENT.
7. REINFORCING IS TO BE GENERALLY DETAILED IN ACCORDANCE WITH RSIC MANUAL OF STANDARD PRACTICE (THE LATEST EDITION).
8. ALL REINFORCEMENT SPLICES SHALL BE OF LENGTH EQUAL TO THE GREATER OF 40 BAR DIAMETERS OR A CLASS "B" SPLICE.

STRUCTURAL STEEL

1. ALL WORK TO BE EXECUTED ACCORDING TO CSA S37 (THE LATEST EDITION); FABRICATION AND ERECTION OF STEEL WORK SHALL CONFORM TO CSA S16 (THE LATEST EDITION).
2. ALL EXPOSED STEEL, INCLUDING THREADED RODS, BOLTS, NUTS, WASHERS AND OTHER HARDWARES SHALL BE HOT DIPPED GALVANIZED AFTER FABRICATION , UNLESS NOTED OTHERWISE.
3. ALL WELDS SHOWN ON DRAWINGS ARE PRE-WELDED AND CERTIFIED BY THE STEEL FABRICATOR. FIELD WELDING IS PROHIBITED UNLESS INDICATED ON THE DRAWINGS.
4. ALL ELEMENTS SHALL BE ASSEMBLED ON SITE USING BOLTED CONNECTION.BOLTED CONNECTION SHALL BE MADE USING HIGH TENSILE STRENGTH BOLTS. BOLTS SHALL BE IN FULL BEARING WITH THREADS EXCLUDED FROM THE SHEAR PLANE.
5. ALL STRUCTURE ASSEMBLY BOLTS ARE TO BE INSERTED OUT AND/OR UP (WITH NUTS AND PAL NUTS ON OUTSIDE OF TOWER FACE AND/OR ON TOP FLANGE PLATES), U.N.O.
6. WITH THE EXCEPTION OF THE FOUNDATION ANCHOR BOLTS WHICH ARE REQUIRED TO BE SNUG TIGHT. ALL BOLTS SHALL BE INSTALLED UTILIZING 'TURN OF NUT' METHOD.
7. ALL U-BOLTS SHALL BE INSTALLED WITH FOUR (4) NUTS AND TWO (2) FLAT WASHERS EACH, UNLESS NOTED OTHERWISE.
8. WHEN U-BOLT SHALL BE FIXED TO PAINTED MEMBERS, REMOVE THE PAINT USING A STEEL BRUSH AND BRING ROUGH AREAS IN CONTACT WITH BOLTS OR CONNECTION PLATE. ZINC COATING SHALL NOT THINNED SIGNIFICANTLY.
9. DO NOT REUSE EXISTING BOLTS ONCE REMOVED.
10. USE OF WELDING TORCH TO CORRECT ERRORS ON SITE OR TO ENLARGE HOLES IS PROHIBITED. FIELD HOLES SHALL BE DRILLED BY ROTATION ONLY. HAMMER DRILLING IS PROHIBITED.
11. ALL DAMAGED SURFACES SHALL BE CLEANED, WIRE BRUSHED AND APPLIED WITH TWO (2) COATS OF ZINC-RICH PAINT.
12. PROVIDE TEMPORARY BRACING NECESSARY TO KEEP THE STRUCTURE TRUE AND PLUMB DURING CONSTRUCTION UNTIL PERMANENT BRACING IS INSTALLED.
13. IN REPLACING DIAGONALS, HORIZONTALS OR BOLTS, TEMPORARY MEANS SHALL BE TAKEN TO ENSURE THAT THERE IS NO DISTORTION OF ANY MEMBER. ONLY ONE DIAGONAL OR HORIZONTAL MEMBER SHALL BE RELEASED AT ANY ONE TIME. NONE SHALL BE MISSING WHENEVER THE CREW IS OFF THE SITE.
14. MATERIAL MAY BE CUT BY SHEARING, SAWING, OR CUTTING WITH A ROUTER OR GAS CUT. MATERIAL GREATER THAN 30mm (1 3/16") THICKNESS SHALL NOT BE SHEARED.
15. CUT EDGES SHALL BE TRUE AND SMOOTH, AND FREE FROM EXCESSIVE BURRS AND RAGGED BREAKS. SHEARED EDGES OF THICK PLATES SHALL BE PLANED TO A DEPTH OF 6mm (1/4"). RE-ENTRANT CUTS SHALL BE AVOIDED.
16. TOLERANCES AS INDICATED IN THE CSA S16 (THE LATEST EDITION) SHALL BE CAREFULLY FOLLOWED DURING FABRICATION.
17. PROVIDE HOLES AT EXTREMITIES OF CLOSED TUBULAR ASSEMBLIES TO ALLOW ADEQUATE GALVANIZING AND DRAINAGE.
18. THE CONTRACTOR SHALL NOT UNDER ANY CIRCUMSTANCE REMOVE OR MODIFY TOWER MEMBERS UNLESS A WRITTEN NOTICE IS PROVIDED BY THE ENGINEER.

TURN-OF-NUT METHOD *		
DISPOSITION OF OUTER FACES OF BOLTED PARTS	BOLT LENGTH †	TURN
BOTH FACES NORMAL TO BOLT AXIS OR ONE FACE NORMAL TO AXIS AND OTHER FACE SLOPED 1:20 MAX. (BEVELLED WASHERS NOT USED)	UP TO AND INCLUDING 4 DIAMETERS	1/3
	OVER 4 DIAMETERS AND NOT EXCEEDING 8 DIAMETERS OR 200mm	1/2
	EXCEEDING 8 DIAMETERS OR 200mm	2/3
BOTH FACES SLOPED 1:20 MAX. FROM NORMAL TO BOLT AXIS (BEVELLED WASHERS NOT USED) ‡	ALL LENGTHS OF BOLTS	3/4
* NUT ROTATION IS ROTATION RELATIVE TO A BOLT REGARDLESS OF WHETHER THE NUT OR BOLT IS TURNED. THE TOLERANCE ON ROTATION IS 30° OVER OR UNDER. THIS TABLE APPLIES TO COARSE-THREAD HEAVY-HEX STRUCTURAL BOLTS OF ALL SIZES AND LENGTHS USED WITH HEAVY-HEX SEMI-FINISHED NUTS. † BOLT LENGTH IS MEASURED FROM THE UNDERSIDE OF THE HEAD TO THE EXTREME END OF POINT. ‡ BEVELLED WASHERS ARE NECESSARY WHEN A 490, A 490M, OR F2280 BOLTS ARE USED.		

FOUNDATION

1. CONTRACTOR SHALL COOPERATE WITH AND PROVIDE ACCESS TO THE GEOTECHNICAL ENGINEER TO ALLOW INSPECTIONS OF WORK AREA AND TO INSTALL AND TAKE READING ON REQUIRED MONITORING DEVICES.
2. ALL EXCAVATION SHALL BE KEPT DRY (BY PUMPING IF NECESSARY) BEFORE POURING CONCRETE AND SHALL BE KEPT DRY UNTIL BACKFILLING IS IN PLACE.
3. BRACING, SHORING AND SLOPING EXCAVATION SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL AND FEDERAL CODES AND SAFETY REGULATIONS. REFER TO THE GEOTECHNICAL REPORT FOR EXCAVATION/ DRILLING CONDITIONS AND PROCEDURES.
4. MAINTAIN THE UNSUPPORTED SIDES OF THE EXCAVATION ONLY IF THE SAFE INCLINATION OF THE SIDES OF THE EXCAVATION IS PROVIDED IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.
5. SOIL BEARING CAPACITY AND ROCK STRENGTHS SPECIFIED IN THE GEOTECHNICAL REPORT MUST BE VERIFIED BY THE GEOTECHNICAL ENGINEER PRIOR TO THE PLACING OF THE FOUNDATIONS AND ANY NON-CONFORMANCE WITH THE SPECIFIED MINIMUM CAPACITIES MUST BE IMMEDIATELY REPORTED TO THE STRUCTURAL ENGINEER.
6. SOFT AREAS UNCOVERED ON EXCAVATION SHALL BE SUB EXCAVATED TO SOUND MATERIAL AND FILLED WITH GRANULAR 'A' SOIL COMPACTED TO 100% SPMDD.
7. FOR ROCK FOUNDATIONS, LOOSE WEATHERED ROCK SHALL BE REMOVED BEFORE POURING CONCRETE. FOUNDATION SEAT LEVEL SHALL BE CLEANED OF ALL DEBRIS.
8. INSPECT BOTTOM OF EXCAVATION PRIOR TO PLACING THE STEEL REINFORCING CAGE AND CONCRETE, TO ENSURE NO SIGNIFICANT AMOUNTS OF LOOSE SOIL OR FOREIGN MATERIAL REMAINS.
9. CONCRETE SHALL BE PLACED INTO EXCAVATION WITHOUT UNDUE DELAY, WITH THE USE OF A CHUTE OR HOPPER DEVICE TO DIRECT THE CONCRETE TO FALL WITHIN THE CENTER OF THE STEEL CAGE. CONCRETE SHALL NOT BE ALLOWED TO HIT THE STEEL CAGE IN A MANNER WHICH WOULD CAUSE SEGREGATION OF THE MATERIAL.
10. REFER TO THE GEOTECHNICAL REPORT FOR RECOMMENDED BACKFILL/ COMPACTED FILL PROCEDURES. IF SUCH INFORMATION IS NOT AVAILABLE, BACKFILL MATERIAL SHALL HAVE A MINIMUM DRY DENSITY OF 17.3 kN/ cu.m. FILL MATERIALS SHALL PERFERABLY CONSIST OF GRANULAR MATERIAL AND SHALL BE FREE OF LARGER ROCKS, DEBRIS, WATER, ORGANIC MATERIAL, ICE AND FROZEN MATERIAL, ETC.
11. BACKFILL SHALL BE PLACED IN HORIZONTAL LIFTS NO THICKER THAN 150mm (6") AND COMPACTED TO MINIMUM OF 95% OF STANDARD PROCTOR DENSITY. IF SHALLOW WATER IS ENCOUNTERED, THEN IT IS RECOMMENDED THAT FIRST LIFTS OF BACKFILL BE COMPACTED USING A STATIC ROLLER NEAR THE WATER TABLE (±0.6M) AND TO VOID THE USE OF VIBRATORY EQUIPMENT.
12. BACKFILL AGAINST FOUNDATION WALL IN SUCH A MANNER THAT THE LEVEL OF BACKFILLING ON ONE SIDE OF THE WALL IS NEVER MORE THAN 450mm DIFFERENT FROM THE LEVEL ON THE OTHER SIDE OF THE WALL EXCEPT WHERE TEMPORARY SUPPORT FOR THE WALL IS PROVIDED.
13. SULPHATE RESISTANCE CEMENT SHALL BE USED FOR ALL FOUNDATION CONCRETE IN CONTACT WITH SOIL SUSCEPTIBLE TO SULPHATE ATTACK. CONCRETE SHALL BE MANUFACTURED IN ACCORDANCE WITH THE CURRENT CSA STANDARD.
14. CONCRETE IN FOUNDATIONS MUST BE POURED IN CONTINUOUS POURS BETWEEN CONSTRUCTION JOINTS. NO CONSTRUCTION JOINTS OTHER THAN THOSE SHOWN ON SITE SPECIFIC DRAWINGS WILL BE PERMITTED. THE CONTRACTOR SHALL PROVIDE EFFICIENT EQUIPMENT TO COMPLETE THE POURING OF EACH SECTION IN ONE CONTINUOUS POUR.
15. CONCRETE SHALL BE PLACED AGAINST UNDISTURBED SOIL FREE OF WATER AND ALL FOREIGN OBJECTS AND MATERIALS. SPACING DEVICES SHALL BE USED AS REQUIRED TO MAINTAIN THE SIDE CLEARANCE BETWEEN THE REINFORCING STEEL (REBAR) AND THE EXCAVATION WALL.
16. CONCRETE SHALL BE PLACED INTO EXCAVATION WITHOUT UNDUE DELAY AND WITH THE USE OF A CHUTE OR HOPPER DEVICE TO DIRECT THE CONCRETE TO FALL WITHIN THE CENTER OF THE STEEL CAGE. CONCRETE SHALL NOT BE ALLOWED TO HIT THE STEEL CAGE WHICH WOULD CAUSE SEGREGATION OF THE MATERIAL.
17. CONCRETE TEST CYLINDERS SHALL BE TAKEN AND STORED IN ACCORDANCE WITH CSA STANDARDS REQUIREMENT. A SINGLE CONCRETE TEST CYLINDER SHALL BE BROKEN PRIOR TO THE INSTALLATION TO CONFIRM THE CONCRETE HAS ACHIEVED THE SPECIFIC STRENGTH.
18. WELDING OF REINFORCING STEEL (REBAR) AND EMBEDMENTS IS PROHIBITED UNLESS OTHERWISE NOTED ON THE DRAWINGS.
19. BENDING, STRAIGHTENING OR REALIGNING (HOT OR COLD) OF THE ANCHOR BOLTS BY ANY METHOD IS PROHIBITED.

DISCLAIMER: **Page 64 of 133**

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No.	ISSUE/REVISION	BY	DATE

PROJECT:
XPLORNET SELF SUPPORT TOWER

TITLE:
STRUCTURAL GENERAL NOTES

DRAWN BY:	RR	PURCHASE ORDER NO.
CHECKED BY:	MW	PROJECT NO.
APPROVED BY:	MP	DRAWING NO. S01-01
DATE:	05/01/2017	SHEET <u>1</u> OF <u>22</u>

RADIO EQUIPMENT, ANTENNAS, CABLES AND CONDUIT ROUTINGS

1. ALL RADIO EQUIPMENT AND ANTENNAS ARE TO BE SUPPLIED BY THE CLIENT.
2. THE ELEVATION OF ANTENNAS INDICATED ON THE DRAWINGS IS THE MID-HEIGHT OF THE ANTENNA.
3. ALL JUMPERS, CONNECTORS, AND ANTENNA ASSOCIATED EQUIPMENT ARE TO BE SUPPLIED BY THE CLIENT UNLESS OTHERWISE SPECIFIED IN CONTRACT DOCUMENTS.
4. SPACING FOR SUSPENDING TRANSMISSION LINES IS TO BE AS PER MANUFACTURER'S RECOMMENDATIONS (1000mm MAXIMUM INTERVAL). MAINTAIN MINIMUM BENDING RADIUS AT ALL LOCATIONS AS PER MANUFACTURER'S RECOMMENDATIONS.
5. DO NOT EXCEED THE MANUFACTURER'S RECOMMENDATIONS FOR PULL ON THE TRANSMISSION LINE.
6. UNLESS NOTED OTHERWISE, ALL VERTICAL PIPE MOUNTS ARE TO BE PLUMB.
7. CORE THROUGH ROOF, FLOORS AND WALLS AS DESCRIBED IN NOTES ON STRUCTURAL DRAWINGS FOR TRANSMISSION LINES, CABLES AND CONDUITS. LOCATE REINFORCING STEEL AND EMBEDDED SERVICES BEFORE CORING HOLES IN CONCRETE. DO NOT CUT ANY REINFORCING STEEL OR SERVICES IN CONCRETE. DO NOT CORE THROUGH CONCRETE COLUMNS, BEAMS, CAPITALS OR DROP PANELS. CORE HOLES FOR EACH INDIVIDUAL TRANSMISSION LINE, CABLE AND CONDUIT AT MINIMUM DIAMETER OF HOLE (HOLE DIAMETER NOT TO EXCEED 100mm UNLESS NOTED OTHERWISE). CLEAR SPACING BETWEEN CORES MUST BE AT LEAST 75mm. SEAL AND FIRESTOP HOLES AS SPECIFIED.

TOWER STACKING/ERECTION

1. THE TOWER INSTALLERS SHOULD COMPLY WITH ALL INSTALLATION PROCEDURES, SAFEGUARDS AND MEANS AND METHODS OF CONSTRUCTION. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENT OF OHSA AND CANADA LABOUR CODE, PART II.STACKING/ERECTION METHODS, VERTICALITY AND TWIST TOLERANCES SHALL COMPLY WITH CSA S37 (THE LATEST EDITION).
2. IN ORDER TO ENSURE A SAFE WORKING CONDITION, IT IS RECOMMENDED TO STACK/ERECT THE TOWER UNDER THE FOLLOWING WEATHER CONDITIONS:
  - (a). WIND VELOCITY IS LESS THAN 25 km/h (15.5 mph) AT GROUND LEVEL.
  - (b). THERE IS NO THUNDERSTORMS FORECASTED.
  - (c). THERE IS NO ICE ON THE GUYS OF GUYED STRUCTURES.
3. TOWER SHALL BE PLUMBED IN CALM WEATHER CONDITIONS (THE WIND VELOCITY IS LESS THAN 25 km/h, THERE IS NO THUNDERSTORMS FORECASTED AND THERE IS NO ICE ON THE GUYS OF GUYED STRUCTURE).
4. AT THE COMPLETION OF THE WORK, THE SITE SHALL BE CLEANED OF ALL DEBRIS TO THE SATISFACTION OF THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED BY ONE'S WORK TO EXISTING INSTALLATIONS OR EQUIPMENTS.

SUBMITTALS AND QUALITY CONTROL

1. IN ADDITION TO CONTRACTOR'S QUALITY CONTROL PROGRAM, INDEPENDENT TESTING AND INSPECTION MAY BE PERFORMED BY OWNER OR OWNER'S REPRESENTATIVE.
2. SUBMIT RED-LINED COPY OF CONSTRUCTION DRAWINGS UPON COMPLETION OF CONSTRUCTION HIGHLIGHTING CHANGES IN THE AS-BULIT CONDITION FROM SHOWN ON THE DRAWINGS.

DISCLAIMER: **Page 65 of 133**

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No.	ISSUE/REVISION	BY	DATE

PROJECT:

XPLORNET  
SELF SUPPORT TOWER

TITLE:

STRUCTURAL GENERAL NOTES

DRAWN BY:	RR	PURCHASE ORDER NO.
CHECKED BY:	MW	PROJECT NO.
APPROVED BY:	MP	DRAWING NO. S01-02
DATE:	05/01/2017	SHEET <u>2</u> OF <u>22</u>

INSTALLATION PROCEDURES FOR WILLIAMS SPIN-LOCK ROCK BOLTS:

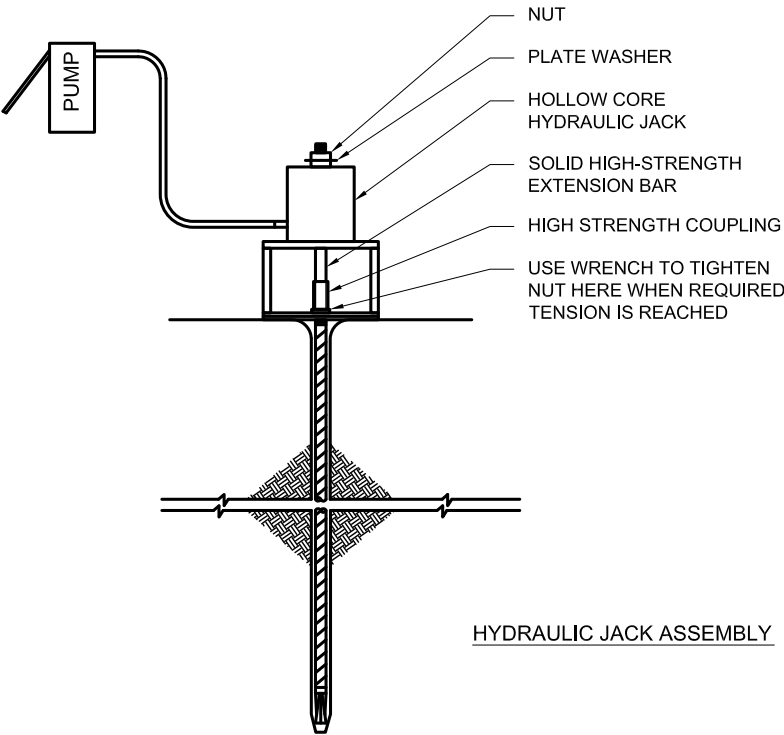
1. SURFACE PREPARATION
- 1.1 CLEAR THE SLAB OR ROCK SURFACE OF LOOSE MATERIAL.
2. DRILLING
- 2.1 DRILL THE REQUIRED HOLE SIZE FOR THE SPECIFIED ANCHOR BOLT ASSEMBLY. THE HOLE SHOULD BE DRILLED DEEPER BY ABOUT 300mm (1'-0") TO ALLOW FOR THE ROCK SEGMENTS DROPPING INTO THE BOTTOM OF THE HOLE. IT IS ACCEPTABLE TO DRILL THE UPPER PORTION OF THE HOLE LARGER THAN REQUIRED TO EXPEDITE INSTALLATION, PROVIDED THAT AT LEAST THE LOWER 1830mm (6'-0") IS THE CORRECT SIZE.
3. BOLT PLACEMENT
- 3.1 BEFORE INSERTING THE ROCK BOLT, CLEAN THE HOLE OF ANY CUTTING, MUD, ETC.
- 3.2 POSITIONING THE THRUST RING, EXPANSION SHELL AND CONE ON THE BOTTOM THREADED PORTION OF THE BOLT.
- 3.3 INSTALL THE KEY HOLE PLATE, WASHER (WASHERS) AND NUT ON THE OUTER PORTION OF THE ANCHOR BOLT AND LOWER THE ANCHOR BOLT ASSEMBLY INTO THE DRILLED HOLE. IF THE ROCK BOLT BECOMES STUCK BECAUSE OF CROOKED HOLE OR DEBRIS IN THE HOLE, LOCK TWO NUTS ON THE END OF THE BOLT AND TAP BOLT INTO PLACE WITH A SLEDGE HAMMER OR AIR HAMMER. THE PURPOSE OF LOCKING TWO NUTS TOGETHER IS TO PROTECT THE THREADS ON THE BOTTOM END OF THE ROCK ANCHOR WHEN STRIKING WITH A HAMMER.
4. SETTING THE ANCHOR
- 4.1 SET THE EXPANSION ANCHOR BY TORQUING THE ANCHOR BOLT TO THE REQUIRED TORQUE (SEE SPIN-LOCK ROCK BOLT CHART). THIS IS DONE BY TURNING THE SETTING TOOL IN A CLOCKWISE DIRECTION USING EITHER A PNEUMATIC OR MANUAL TORQUE WRENCH. THIS TORQUING ACTION MIGRATES THE CONE INTO THE SHELL, THUS EXPANDING IT. NOTE THAT, WHERE APPLICABLE, THE BOLT CAN BE SET WITHOUT THE STEEL BEARING PLATE IN PLACE AND WITH ANY DESIRED AMOUNT OF THREAD EXTENDING BEYOND THE NUT. IF THE SHELL TENDS TO SLIP, ALLOWING THE BOLT TO ROTATE, MOVE THE BOLT UP OR DOWN SLIGHTLY UNTIL IT CATCHES.
5. TESTING THE ANCHOR BOLT BY TENSIONING WITH A HYDRAULIC JACK AND PRETENSIONING
- 5.1 INSTALL A HIGH STRENGTH COUPLER (THREADS CHASED FOR COUPLING GALVANIZED RODS), SOLID HIGH STRENGTH EXTENSION BAR, HOLLOW CORE HYDRAULIC JACK WITH STOOL, PLATE WASHER AND NUT.
- 5.2 TEST THE ROCK BOLT BY JACKING THE ROCK BOLT TO THE REQUIRED TENSION. USE THE TORQUE VALUES OR PROOF LOAD VALUES SHOWN IN THE TABLE UNLESS THE FOUNDATION DRAWING FOR THE PROJECT SPECIFY OTHERWISE.
- 5.3 PRETENSION BY USING A WRENCH TO TIGHTEN THE ROCK BOLT NUT, THUS TRANSFERRING THE LOAD FROM THE JACK TO THE ROCK BOLT. SOME HELPFUL DETAILS CAN BE OBTAINED FROM THE NOTES FOR HYDRAULIC JACK ASSEMBLY.
6. GROUTING
- 6.1 PUMP NON-SHRINK FLOWABLE GROUT INTO THE HOLE THROUGH THE KEY HOLE PLATE USING A GROUT TUBE UNTIL A CONTINUOUS FLOW OF GROUT IS SEEN COMING OUT AT THE TOP OF HOLE.
- (NOTE: IF THE FOUNDATION DESIGN INCLUDES A BEARING PLATE AND CONTINUOUS COIL OR THREADED ROD IS USED, THE KEY HOLE PLATE CAN BE REMOVED AND REUSED AFTER THE GROUT HAS CURED TO 60% OF ITS COMPRESSIVE STRENGTH).
- 6.2 IF THE FOUNDATION DESIGN INCLUDES A BEARING PLATE, PLACE A MIX OF STIFF, NON-SHRINKABLE GROUT ON THE CLEANED ROCK SURFACE IN THE AREA OF THE BEARING PLATE. THE GROUT PAD IS TO BE OF SUFFICIENT THICKNESS (APPROXIMATELY 100mm - 125mm OR 4" - 5") TO MAINTAIN CLEARANCE BETWEEN THE KEY HOLE PLATE, NUTS, AND SHEAR BARS ON THE UNDERSIDE OF THE BEARING PLATE. INSTALL THE BEARING PLATE WHILE THE GROUT IS SOFT. LEVEL THE BEARING PLATE AND ALLOW THE GROUT TO CURE BEFORE TORQUING THE RETAINER NUTS.

WILLIAMS HIGH TENSILE "SPIN-LOCK" ROCK AND CONCRETE ANCHOR BOLTS ASTM A-108/C1045

DIA.	RECOMMENDED DESIGN LOAD AT APPROX. 2:1 SAFETY FACTOR	MAXIMUM WORKING LOAD TO YIELD	AVERAGE ULTIMATE STRENGTH (6)	ROCK TYPE	DRILL HOLE DIA. (1)	TYPE HEAD ASSY	TORQUE ft.-lbs.		PART NUMBER
							TO EXPAND SHELL (2)	ON NUT	
1/2" - 13 (13mm)	9,000 lbs. (40.0 kN)	13,000 lbs. (57.8 kN)	18,000 lbs. (80.1 kN)	HARD & MEDIUM HARD & MEDIUM HARD & MEDIUM	1-1/4" - 32mm 1-5/8" - 41mm 1-3/4" - 44mm	A 10 A 13 A 14	50 (Do not exceed 70)	85	R1S-04 - A 10 R1S-04 - A 13 R1S-04 - A 14
5/8" - 11 (16mm)	11,250 lbs. (50.0 kN)	18,000 lbs. (80.0 kN)	25,000 lbs. (100.0 kN)	HARD & MEDIUM HARD & MEDIUM HARD & MEDIUM	1-1/4" - 32mm 1-5/8" - 41mm 1-3/4" - 44mm	A 10 A 13 A 14	125 (Do not exceed 140)	125	R1S-05 - A 10 R1S-05 - A 13 R1S-05 - A 14
3/4" - 10 (19mm)	19,000 lbs. (84.5 kN)	30,000 lbs. (133.5 kN)	38,000 lbs. (169.0 kN)	HARD & MEDIUM HARD & MEDIUM MEDIUM & WEAK WEAK ROCK & CONCRETE	1-5/8" - 41mm 1-3/4" - 44mm 1-3/4" - 44mm 1-3/4" - 44mm	A 13 A 14 B 14 C 14	210 (Do not exceed 250)	210	R1S-06 - A 13 R1S-06 - A 14 R1S-06 - B 14 R1S-06 - C 14
7/8" - 9 (22mm)	29,000 lbs. (129.0 kN)	46,000 lbs. (204.6 kN)	58,000 lbs. (258.0 kN)	HARD & MEDIUM HARD & MEDIUM MEDIUM & WEAK WEAK ROCK & CONCRETE	1-5/8" - 41mm 1-3/4" - 44mm 1-3/4" - 44mm 1-3/4" - 44mm	A 13 A 14 B 14 C 14	390 (Do not exceed 410)	390	R1S-07 - A 13 R1S-07 - A 14 R1S-07 - B 14 R1S-07 - C 14
1" - 8 (25mm)	37,500 lbs. (166.7 kN)	60,000 lbs. (266.8 kN)	75,000 lbs. (333.5 kN)	HARD & MEDIUM HARD & MEDIUM MEDIUM & WEAK WEAK ROCK & CONCRETE	1-5/8" - 41mm 1-3/4" - 44mm 1-3/4" - 44mm 1-3/4" - 44mm	A 13 A 14 B 14 C 14	500 (Do not exceed 600)	550	R1S-08 - A 13 R1S-08 - A 14 R1S-08 - B 14 R1S-08 - C 14
1-1/8" - 7 (29mm)	42,500 lbs. (189.0 kN)	67,000 lbs. (298.0 kN)	85,000 lbs. (377.8 kN)	HARD & MEDIUM ROCK & CONCRETE	2" - 51mm 2-1/4" - 57mm	B 16 C 18	550 (Do not exceed 600)	770	R1S-09 - B 16 R1S-09 - C 18
1-1/4" - 7 (32mm)	60,000 lbs. (266.8 kN)	90,000 lbs. (400.4 kN)	120,000 lbs. (533.7 kN)	ROCK & CONCRETE ROCK & CONCRETE	2-1/4" - 57mm 2-1/2" - 63mm	C 18 B 20	750 (Do not exceed 1200)	1000	R1S-10 - C 18 R1S-10 - B 20
1-3/8" - 8 (35mm)	67,500 lbs. (300.3 kN)	110,000 lbs. (489.2 kN)	135,000 lbs. (600.4 kN)	WEAK ROCK & CONCRETE WEAK ROCK & CONCRETE	2-1/4" - 57mm 2-1/2" - 63mm	C 18 B 20	750 (Do not exceed 1600)	1525	R1S-11 - C 18 R1S-11 - B 20
2" - 6 (51mm)	155,000 lbs. (689.4 kN)	260,000 lbs. (1156.6 kN)	310,000 lbs. (1379 kN)	ROCK & CONCRETE	3-1/2" - 89mm	C 28	1000 (Do not exceed 4000)	Note (3)	R1S-16 - C 28

WILLIAMS "SPIN-LOCK" 150 KSI ROCK AND CONCRETE ANCHOR BOLTS ASTM A-722

1-1/2" - 6 (38mm)	105,000 lbs. (466.6 kN)	168,000 lbs. (746.5 kN)	210,000 lbs. (932.4 kN)	ROCK & CONCRETE	3" - 76mm	B 24	1000 (Do not exceed 1700)	Note (3)	R7S-12 - B 24
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NOTES FOR TABLE:

- (1) CARE SHOULD BE TAKEN TO DRILL A STRAIGHT PROPERLY SIZED HOLE.
- (2) A FUNCTION OF STRATA STRENGTH. MORE TORQUE MAY BE REQUIRED ON LONG BOLTS OR IN SPECIAL ROCK CONDITION. CONSULT YOUR WILLIAMS REPRESENTATIVE FOR MORE SPECIFIC DETAILS.
- (3) STRESS TO DESIRED TENSILE LOAD USING A HOLLOW RAM HYDRALIC JACK. CONSULT YOUR WILLIAMS REPRESENTATIVE.
- (4) WILLIAMS RESERVES THE RIGHT TO SHIP FULL LENGTH OR COUPLED UNITS AS NECESSARY.
- (5) ULTIMATE SIMPLE SHEAR STRENGTHS ARE APPROXIMATELY 0.75 X THE ULTIMATE TENSILE STRENGTHS. DESIGNERS SHOULD PROVIDE ADEQUATE SAFETY FACTORS FOR SAFE SHEAR STRENGTH BASED ON CONDITION OF USE.
- (6) INCONSISTENCIES IN ROCK FROM SITE TO SITE AND EVEN FROM HOLE TO HOLE MAY AFFECT ANCHOR PERFORMANCE. FISSURES, VOIDS, SEAMS, ROCK PSI, DRILLING THROUGH CLAY OR BENTONITE AND DIRECTION OF BEDDING PLANES ARE ALL POSSIBLE VARIABLES. SHOULD PROBLEMS OCCUR, CONSULT WILLIAMS FOR TROUBLESHOOTING.

NOTES FOR HYDRAULIC JACK ASSEMBLY:

1. IF OUTWARD MIGRATION OF BOLT IS NOTICED DURING TENSIONING, CHECK TO MAKE SURE THAT TENSION IS INCREASING ON PUMP GUAGE.
2. IF TENSION IS INCREASING ON GUAGE THE OUTWARD MIGRATION IS INDICATING THE ANCHOR IS FURTHER EXPANDING. IF MIGRATION IS EXCESSIVE, IT CAN BE MINIMIZED OR AVOIDED BY APPLYING MORE TORQUE TO SET THE ANCHOR. (FOR MAXIMUM TORQUE ALLOWED CHECK WITH YOUR WILLIAMS REPRESENTATIVE.)
3. IF TENSION IS NOT INCREASING ON GUAGE THIS OUTWARD MIGRATION MAY BE ANCHOR SLIPPAGE. THIS INDICATED THAT MORE TORQUE IS REQUIRED TO SET ANCHOR. (CHECK WITH YOUR WILLIAMS REPRESENTATIVE.)

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0	FOR INFORMATION	RR	
No.	ISSUE/REVISION	BY	DATE

PROJECT:		XPLORNET SELF SUPPORT TOWER	
TITLE:		ROCK ANCHOR INSTALLATION PROCEDURE	
DRAWN BY:	RR	PURCHASE ORDER NO.	
CHECKED BY:	MW	PROJECT NO.	
APPROVED BY:	MP	DRAWING NO. S01-03	
DATE:	05/01/2017	SHEET	3 OF 22

SECTION NO.	1	2	3	4	5	6	7	8	9	10	11	12
LEGS (350W)	HSS 8.625x0.3125	HSS 6.625x0.3125		SR 2 3/4		SR 2 1/2 (300W)	SR 2 1/2		SR 2 1/4		SR 2	SR 1 5/8
DIAGONALS		L2 1/2x2 1/2x1/4 (300W)			SR 0 7/8 (300W)					SR 0 3/4 (300W)		
HORIZONTALS				SR 1 1/8 (300W)	SR 0 7/8 (300W)	SR 1 (300W)		SR 0 7/8 (300W)			SR 0 3/4 (300W)	
RED, SecH1		L2x2x1/4 (300W)										

EL. = 150.00'  
F.W. = 36.00"

EL. = 140.00'  
F.W. = 36.00"

EL. = 130.00'  
F.W. = 39.00"

EL. = 120.00'  
F.W. = 42.00"

EL. = 110.00'  
F.W. = 45.00"

EL. = 100.00'  
F.W. = 48.00"

EL. = 90.00'  
F.W. = 51.00"

EL. = 80.00'  
F.W. = 54.00"

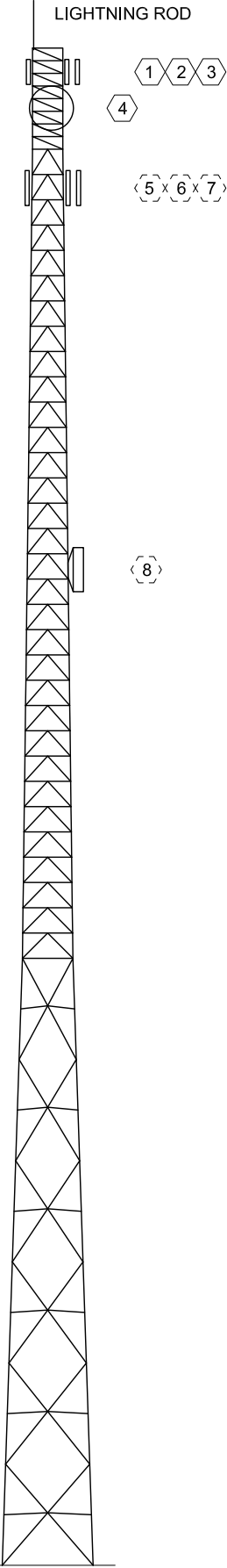
EL. = 70.00'  
F.W. = 57.00"

EL. = 60.00'  
F.W. = 60.00"

EL. = 40.00'  
F.W. = 76.00"

EL. = 20.00'  
F.W. = 92.00"

EL. = 0.00'  
F.W. = 108.00"



TOWER PROFILE \*

\* THIS TOWER PROFILE IS ONLY FOR PRESENTATION PURPOSE, TOWER STRUCTURAL MEMBERS AND TOWER FACE WIDTH TO BE DESIGNED FOR SPECIFIC TOWER SITE.

ANTENNA LIST						
ANTENNA No.	ANTENNA TYPE	ELEVATION (m)	AZIMUTH (°)	MAIN TX-LINE	EQUIPMENT AT ANTENNA ELEVATION LEVEL	STATUS
1	«ALPHA WIRELESS» AW3506	45.0	0	(1/1) HYBRID FIBER/PWR	(1) RRU3256	INITIAL
2	«ALPHA WIRELESS» AW3506	45.0	120	(1/1) HYBRID FIBER/PWR	(1) RRU3256	INITIAL
3	«ALPHA WIRELESS» AW3506	45.0	240	(1/1) HYBRID FIBER/PWR	(1) RRU3256	INITIAL
4	4 FT DISH	44.0	240	(1) CAT-5	-	INITIAL
5	«ALPHA WIRELESS» AW3519	41.5	0	(1/1) HYBRID FIBER/PWR	(1) RRU3256	FUTURE
6	«ALPHA WIRELESS» AW3519	41.5	120	(1/1) HYBRID FIBER/PWR	(1) RRU3256	FUTURE
7	«ALPHA WIRELESS» AW3519	41.5	240	(1/1) HYBRID FIBER/PWR	(1) RRU3256	FUTURE
8	4 FT DISH	30.0	0	(1) CAT-5	-	FUTURE

NOTE:

- THE ELEVATION OF THE ANTENNAS "OMNI" IS THAT OF THE INTERSECTION OF THE RADOME OF THE ANTENNA WITH ITS METAL BASE. THE ELEVATION OTHER TYPES OF ANTENNA IS THAT OF THE GEOMETRIC CENTER OF THE ANTENNA;
- THE ELEVATIONS OF THE ANTENNAS ARE GIVEN WITH RESPECT TO THE BOTTOM OF THE TOWER BASE PLATES;
- THE TRANSMISSION LINES TO BE PROPERLY ATTACHED TO THE WELDED Tx BRACKETS PROVIDED ON THE TOWER SECTIONS.

DESIGN NOTE:

DESIGN SPECIFICATION :	CSA-S37-13
WIND PRESSURE :	≤ 500 Pa
RADIAL ICE :	25 mm /S37-13
STEEL :	G40.21 300W LEGS < 1-5/8"Ø 350W LEGS 1-5/8"Ø & >
FINISH :	HOT-DIPPED GALVANIZED
IMPORTANCE FACTOR :	1.00
SERVICEABILITY FACTOR :	1.00
TERRAIN CATEGORY :	OPEN
MAX DEFLECTION :	0.65° @ M/W

DISCLAIMER: **Page 67 of 133**

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No.	ISSUE/REVISION	BY	DATE

PROJECT: XPLORNET  
SELF SUPPORT TOWER

TITLE: 150' TOWER PROFILE

DRAWN BY: RR	PURCHASE ORDER NO.
CHECKED BY: MW	PROJECT NO.
APPROVED BY: MP	DRAWING NO. S02-01
DATE: 18/01/2017	SHEET 3 OF 12

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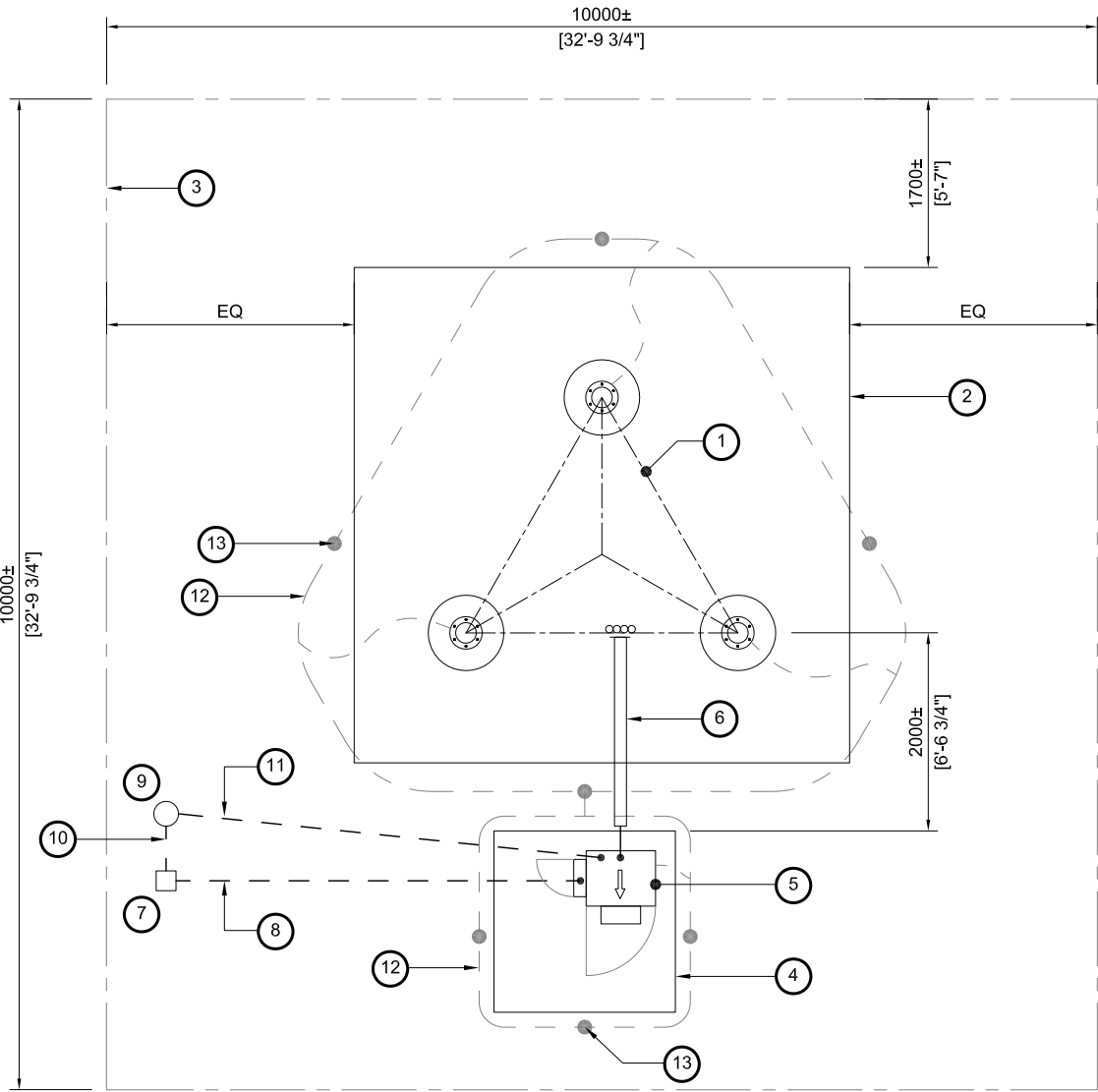
PROJECT:

XPLORNET  
SELF SUPPORT TOWER

TITLE:

COMPOUND LAYOUT & GROUNDING  
150' (45m) TOWER

DRAWN BY:	RR	PURCHASE ORDER NO.
CHECKED BY:	MW	PROJECT NO.
APPROVED BY:	MP	DRAWING NO. S03-01
DATE:	18/01/2017	SHEET 5 OF 22



SITE LAYOUT & GROUNDING  
SCALE : NTS

NOTE:

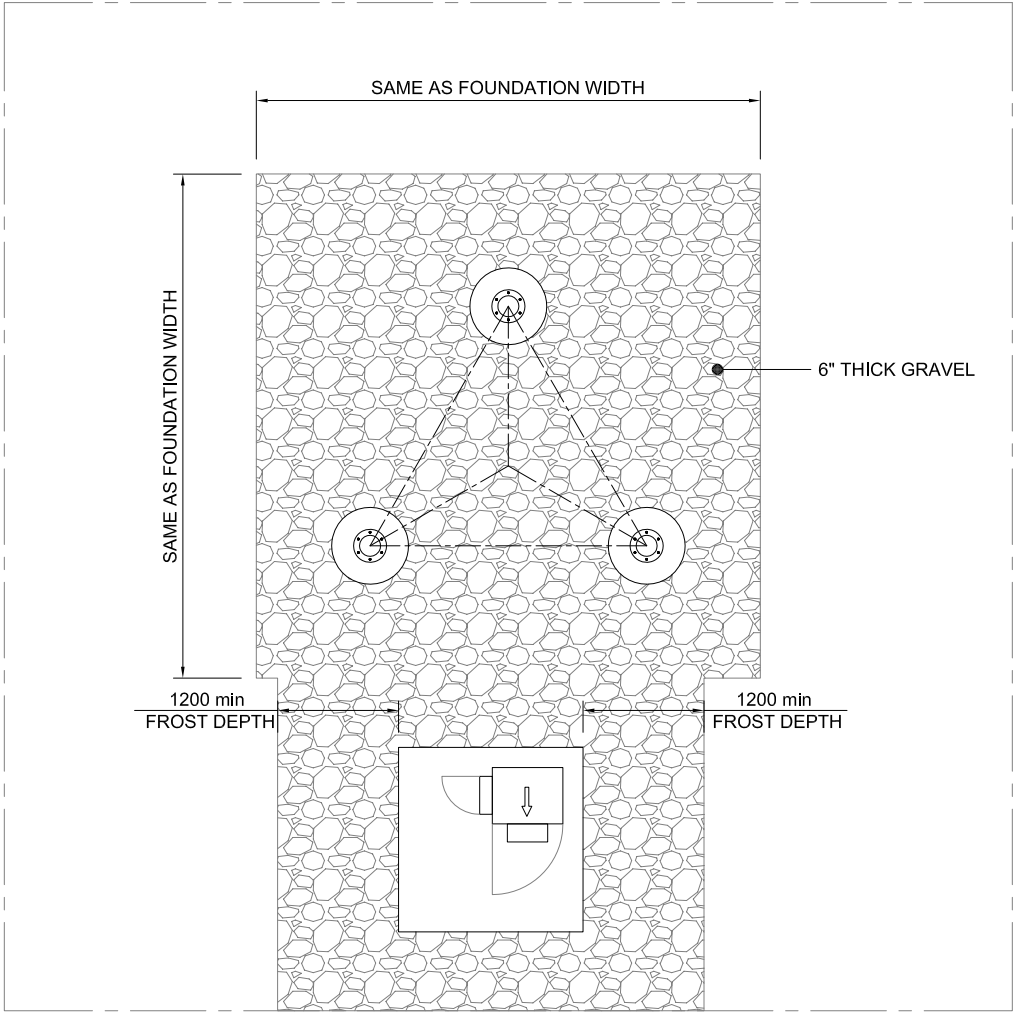
- a. PRIOR TO MAKING A GROUND SYSTEM CONNECTION CLEAN THE CONNECTION PARTS OF PAINT OR OTHER FOREIGN MATTER
- b. ALL BURNDY CONNECTORS AND CONNECTING WIRE OR CABLE PARTS THAT COME IN CONTACT WITH THE BURNDY CONNECTOR SHALL BE CLEANED OF ALL RUST, OXIDE OR DIRT AND THEN GIVEN A LIBERAL APPLICATION OF NO-OX-ID 'A' SPECIAL SEALING COMPOUND PRIOR TO COMPLETING THE CONNECTIONS. (ABOVE GRADE ONLY)
- ALL GROUND WIRE ABOVE GRADE IS TO BE 7/16" GALV WIRE UNLESS NOTED
- WHERE THERE IS A CONTINUOUS FLOW OF GROUND WIRE (ie. LOOP AROUND BLDG OR TOWER) CONNECT WIRE TO ROD WITH CAD WELD #115 (MOLD GTC-182G)
- WHERE THERE IS GALV WIRE TO GALV WIRE CONNECTION ARE TO BE CLEAN AND FREE OF PAINT AT THE MATING SURFACE USE CAD WELD SHOT #115 (MOLD YRC-2G2G-LH OR RH)
- AT GROUND LEVEL, ALL CONDUCTORS SHALL BE BURIED MINIMUM 600mm BELOW FINISHED GRADE
- THE TOWER/ FOUNDATION/ CABINET ORIENTATION TO BE DETERMINED ON SITE WALK
- THE LOCATION AND ORIENTATION OF 7 8 9 10 11 TO BE DETERMINED PER SITE SPECIFIC REQUIREMENT

- 1 150' AWSS
- 2 FOUNDATION FOOTPRINT
- 3 10m x 10m LEASED AREA
- 4 1830 x 1830 x 150 (6' x 6' x 6") CABINET PAD
- 5 CABINET - ARROW INDICATES FRONT DOOR ORIENTATION
- 6 6" WIDE CABLE TRAY TO PASS CABLES FROM CABINET TO TOWER
- 7 8" x 8" WOOD POST - 30A 240V AC ELECTRICAL MAIN DISCONNECT
- 8 3" UNDERGROUND CONDUIT TO PASS ELECTRICAL FROM DISCONNECT TO CABINET
- 9 LAST UTILITY POLE w/ ELECTRICAL METER
- 10 UTILITY POWER IN 3" UNDERGROUND CONDUIT FROM ELECTRICAL METER TO MAIN DISCONNECT
- 11 3" UNDERGROUND CONDUIT FOR FIBRE TO CABINET w/ PULL STRING IN IT (IF POP SITE)
- 12 2/0 STRANDED BARE COPPER GROUND WIRE
- 13 3/4"Ø x 10'-0" COPPER CLAD GROUND ROD
- 14 GALV STEEL CABLE GROUND BAR
- 15 3m GALV. STEEL LIGHTNING ROD
- 16 COMPOUND FENCE IF REQUIRED

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**COMPOUND LAYOUT  
- SURFACE BACKFILL**  
SCALE : NTS

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No.	ISSUE/REVISION	BY	DATE

PROJECT:

XPLORNET  
SELF SUPPORT TOWER

TITLE:

COMPOUND LAYOUT - SURFACE BACKFILL  
150' (45m) TOWER

DRAWN BY:	RR	PURCHASE ORDER NO.
CHECKED BY:	MW	PROJECT NO.
APPROVED BY:	MP	DRAWING NO. S03-02
DATE:	18/01/2017	SHEET <u>6</u> OF <u>22</u>

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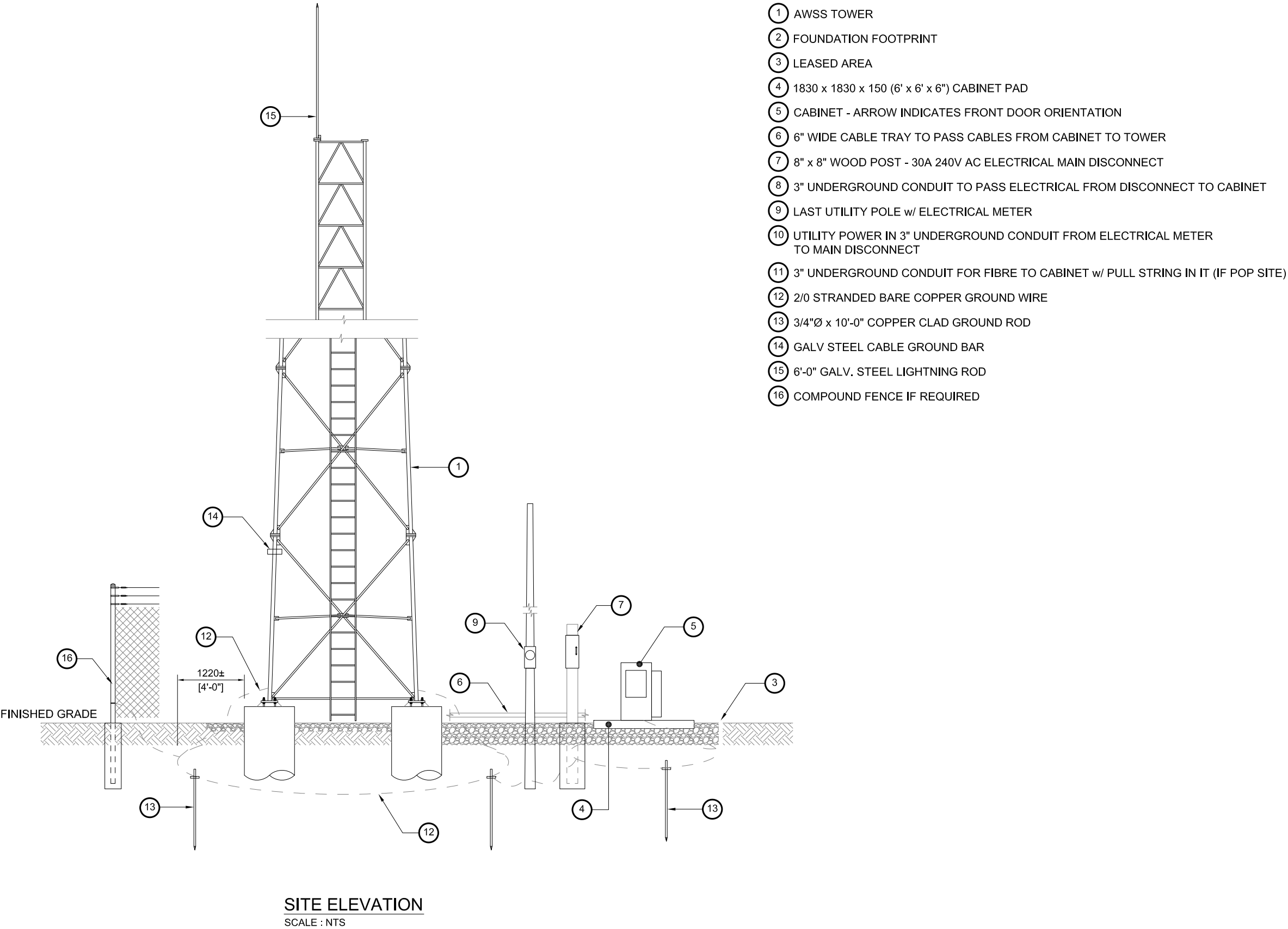
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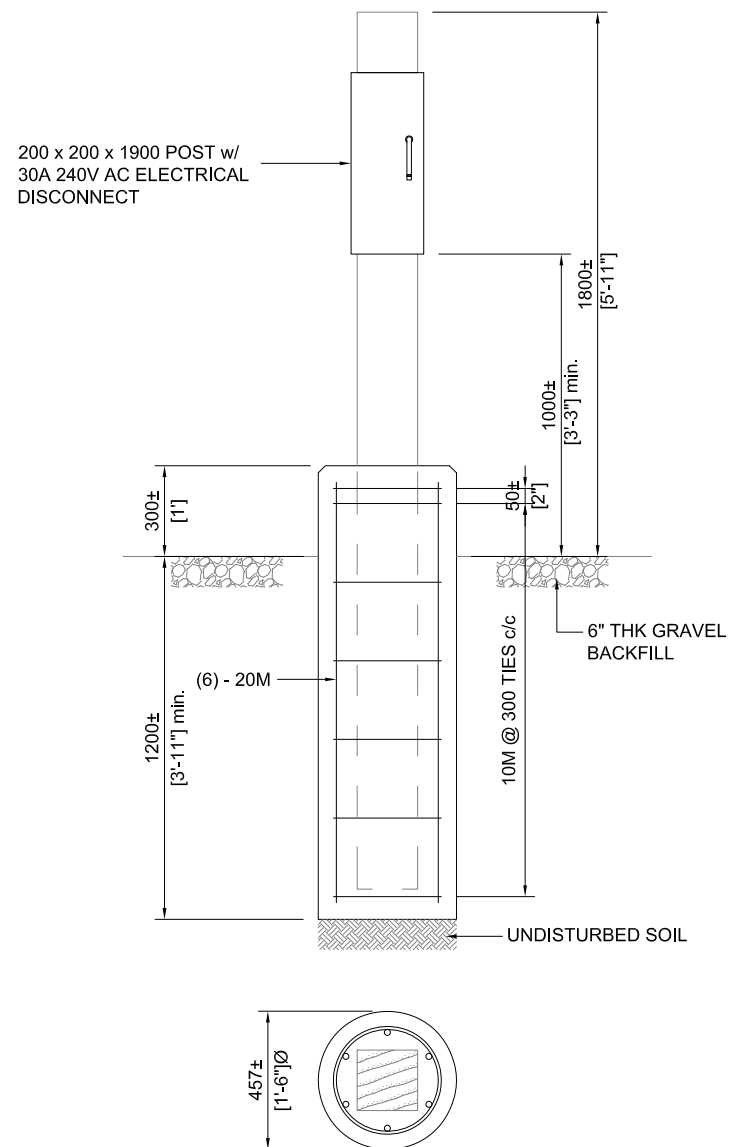
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PROJECT: XPLORNET  
SELF SUPPORT TOWER

TITLE: SITE ELEVATION  
HYBRID TOWER

DRAWN BY: RR	PURCHASE ORDER NO.
CHECKED BY: MW	PROJECT NO.
APPROVED BY: MP	DRAWING NO. S03-03
DATE: 18/01/2017	SHEET 7 OF 22





PIER DETAIL -  
8" x 8" WOOD POST

SCALE: 1:25

NOTE:

1. FOUNDATION DESIGNED ACCORDING TO GEOTECHNICAL SITE INVESTIGATION REPORT BY: DAVIES GEOTECHNICAL INC, PROJECT No. L011.
2. ALL CONCRETE WORK TO CONFORM WITH CSA-A23.3 TO A23.4. (SEE STRUCTURAL GENERAL NOTES)
3. MINIMUM SPECIFIED CONCRETE COMPRESSIVE STRENGTH,  $f_c = 30 \text{ MPa}$ .
4. AIR ENTRAINMENT = 5% TO 7%.
5. TOTAL VOLUME OF CONCRETE =  $0.25 \text{ m}^3$
6. CHAMFER EXPOSED EDGES 25 mm.
7. REINFORCING STEEL (DEFORMED BARS) AS PER G30.12 GRADE 400 MPa.
8. REBAR TO HAVE MIN. 50 mm CLEAR COVER.

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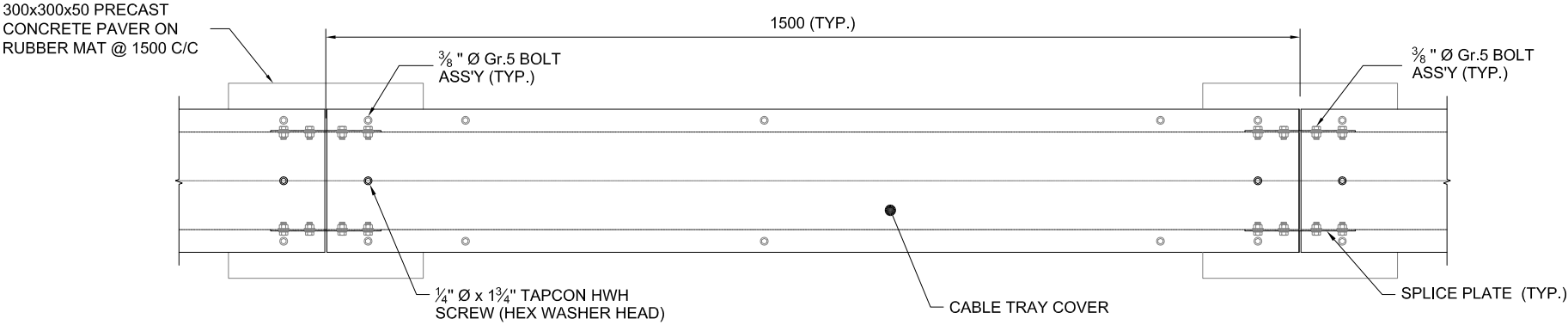
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PROJECT:  
XPLORNET  
SELF SUPPORT TOWER

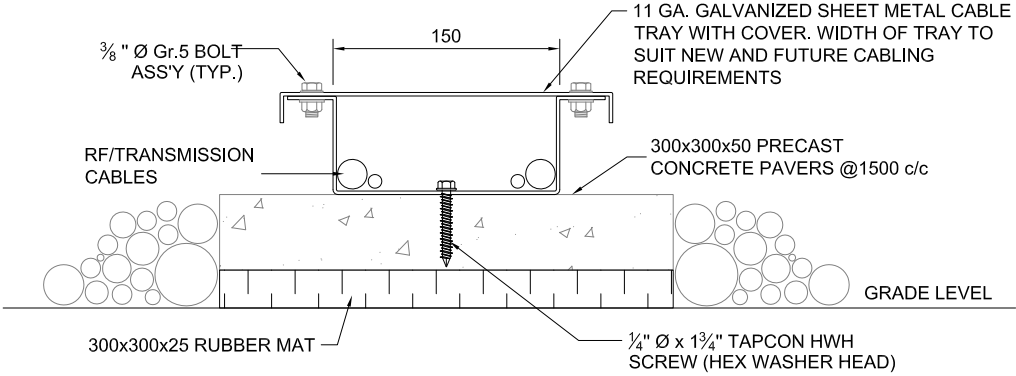
TITLE:

8" x 8" WOOD POST INSTALLATION

DRAWN BY:	RR	PURCHASE ORDER NO.
CHECKED BY:	MW	PROJECT NO.
APPROVED BY:	MP	DRAWING NO. S03-04
DATE:	18/01/2017	SHEET <u>8</u> OF <u>22</u>



CABLE TRAY LAYOUT  
SCALE 1:10



CABLE TRAY SECTION  
SCALE 1:5

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PROJECT: XPLORNET  
SELF SUPPORT TOWER

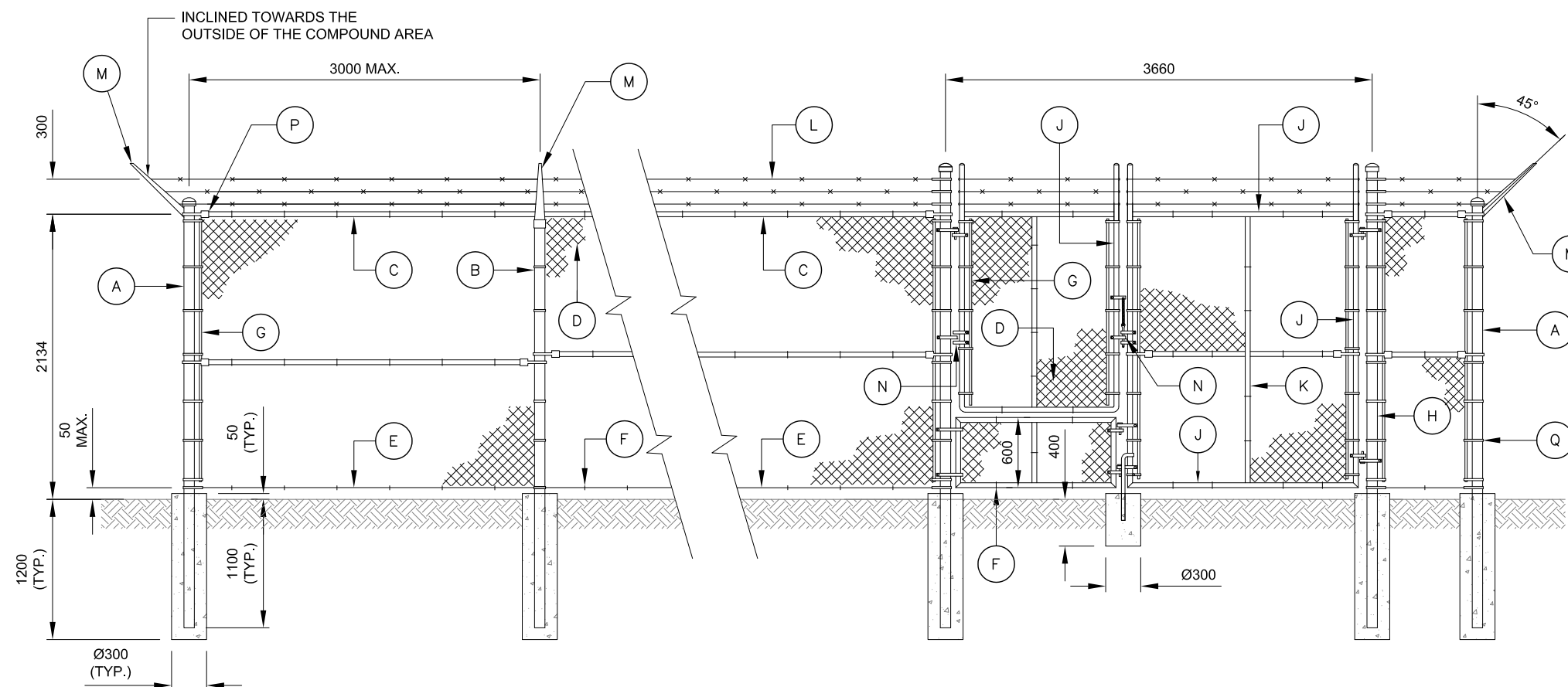
TITLE: CABLE TRAY DETAILS

DRAWN BY:	RR	PURCHASE ORDER NO.
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DATE:	18/01/2017	SHEET 9 OF 22

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COMPOUND AREA - FENCE DETAIL

SCALE: 1:50

- |   |   |
|---|---|
| (A) CORNER POST - HSS 89 x 4.8  | (H) GATE POST - HSS 89 x 4.8                              |
| (B) INTERMEDIATE POST - HSS 60 x 3.2  | (J) GATE FRAMING - HSS 48 x 3.2                           |
| (C) HORIZONTAL PIPE - HSS 48 x 3.2  | (K) GATE BRACING - HSS 48 x 3.2                           |
| (D) CHAIN LINK, HOP DIP GALVANIZED AFTER WEAVING,<br>#9 GAUGE STEEL WIRE WOVEN IN A 50mm MESH | (L) BARBED WIRE, THREE STRANDS OF 12.5 GA. SPACED @ 150mm |
| (E) ONE STRAND GALVANIZED TENSION WIRE 5 GA.  | (M) BARBED WIRE SUPPORT                                   |
| (F) WIRE MESH FASTENER SPACED AT 300mm c/c MAX  | (N) GATE LATCH  |
| (G) CHAIN LINK TENSION BAR  | (P) POST FITTING  |
|   | (Q) METALLIC CLAMP SPACED AT 600mm c/c MAX                |

NOTE:

1. ALL DIMENSIONS ARE IN MILLIMETERS, UNLESS NOTED OTHERWISE
2. IF ROCK IS ENCOUNTERED, DRILL 600mm INTO SOUND BEDROCK AND USE NON-SHRINK GROUT TO SET POSTS
3. CONCRETE: MINIMUM 20MPa at 28 DAYS; AIR ENTRAINMENT: 5% - 7%
4. REFER TO THE COMPOUND LAYOUT DRAWING TO LOCATE THE FENCE
5. FENCE GATE LOCATION AND ORIENTATION TO BE DETERMINED BY THE CONTRACTOR PER SITE SPECIFIC REQUIREMENT

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PROJECT: XPLORNET  
SELF SUPPORT TOWER

TITLE:	FENCE DETAILS (IF REQUIRED)
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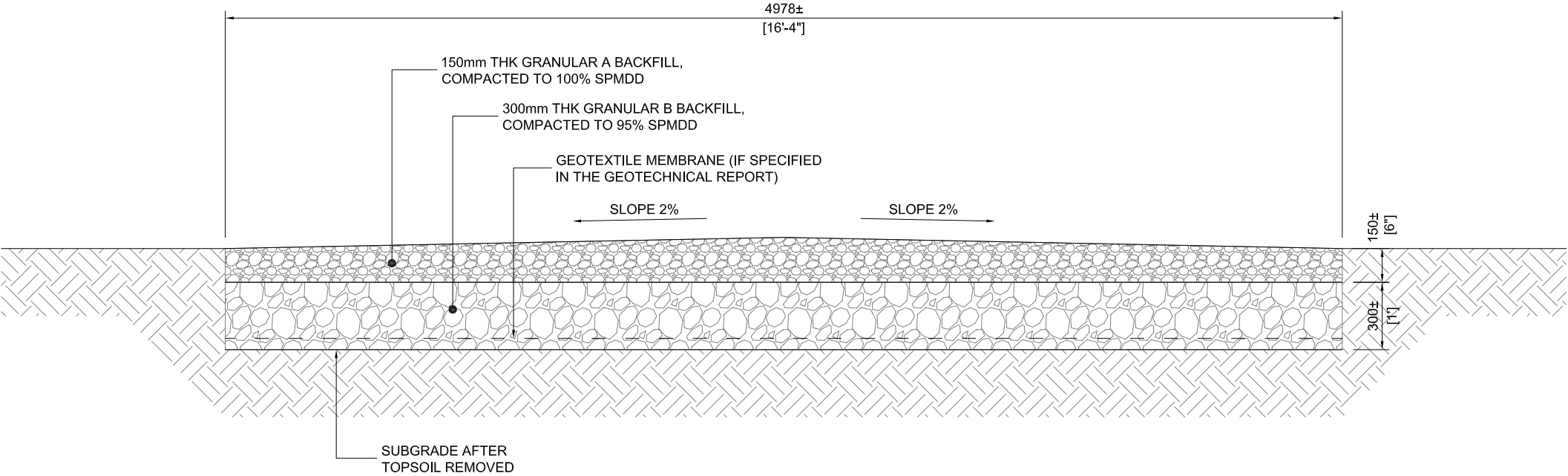
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CHECKED BY:	MW	PROJECT NO.
APPROVED BY:	MP	DRAWING NO. S03-06
DATE:	18/01/2017	SHEET 10 OF 22

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**ACCESS ROAD  
TYPICAL CROSS-SECTION**  
SCALE: 1:25

**NOTE:**

1. ACCESS ROAD LENGTH, LOCATION AND ORIENTATION TO BE PROPOSED BY THE CONTRACTOR PER SITE SPECIFIC REQUIREMENT
2. THE CONTRACTOR TO PROVIDE ACCESS ROAD LAYOUT TO THE CLIENT AND THE TOWER DESIGN ENGINEER FOR REVIEW AND APPROVAL PRIOR TO THE CONSTRUCTION WORK

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PROJECT:		XPLORNET SELF SUPPORT TOWER	
TITLE:		ACCESS ROAD DETAILS	
DRAWN BY:	RR	PURCHASE ORDER NO.	
CHECKED BY:	MW	PROJECT NO.	
APPROVED BY:	MP	DRAWING NO. S03-07	
DATE:	18/01/2017	SHEET	11 OF 22



- ## DESIGN NOTES:
1. REFER TO STRUCTURAL GENERAL NOTES.
  2. THE FOUNDATION IS DESIGNED BASED ON CSA A23.3 (THE LATEST EDITION), S37-13 AND THE SOIL REPORT PREPARED BY **XXXXXXXXXXXXXXXXXX**, DATE **XXXX XXX, XXXX**.
  3. THE FOUNDATION IS DESIGNED AS PER THE PARAMETERS PROVIDED BY THE GEOTECHNICAL REPORT:  
ALLOWABLE BEARING CAPACITY: **150 kPa**  
DESIGN GROUND WATER LEVEL: **3.0 m BELOW GRADE**  
DESIGN DEPTH OF FROST PENETRATION: **2.5 m BELOW GRADE**
  4. DESIGN OF TOWER FOUNDATION IS BASED ON THE FACTORED LOADS:  
DOWN = **SITE SPECIFIC kN**  
SHEAR = **SITE SPECIFIC kN**  
MOMENT = **SITE SPECIFIC kN.m**
  5. MINIMUM CONCRETE COMPRESSIVE STRENGTH: 30MPa AT 28 DAYS; AIR ENTRAINMENT: 5 - 7%; MAXIMUM SIZES OF COARSE AGGREGATE: 19mm; MAXIMUM SLUMP: 75mm ± 25mm.
  6. THE CONCRETE COVER OVER REINFORCING STEEL (REBAR) SHALL BE MINIMUM 75mm (3"), UNLESS OTHERWISE NOTED ON THE DRAWING.
  7. THE REINFORCING STEEL (REBAR) SHALL CONFORM TO CSA STANDARD G30.18 WITH MINIMUM YIELD STRENGTH OF 400MPa (GRADE 400).
  8. DRY-PACK, NON-FERROUS AND NON-SHRINK GROUT UNDER THE BASE PLATE SHALL CONSIST OF NON-METALLIC AGGREGATE, CEMENT, AND WATER REDUCING AGENTS CAPABLE OF DEVELOPING MINIMUM COMPRESSIVE STRENGTH OF 50MPa AT 28 DAYS, 30MPa AT 7 DAYS. GROUT SHALL BE SLOTTED TO PROVIDE A MEANS OF DRAINAGE.
  9. THE ESTIMATED VOLUME OF CONCRETE =15.65 cu.m
  11. REFER TO THE GEOTECHNICAL REPORT FOR RECOMMENDED BACKFILL/ COMPACTED FILL PROCEDURES. IF SUCH INFORMATION IS NOT AVAILABLE, BACKFILL MATERIAL SHALL HAVE A MINIMUM DRY DENSITY OF 17.3 kN/cu.m. FILL MATERIAL SHALL PREFERABLY CONSIST OF GRANULAR MATERIAL AND SHALL BE FREE IF LARGER ROCKS, DEBRIS, WATER, ORGANIC MATERIAL, ICE AND FROZEN MATERIAL, ETC.
  12. BACKFILL SHALL BE PLACED IN HORIZONTAL LIFTS NO THICKER THAN 150mm (6") AND COMPACTED TO MINIMUM OF 95% OF STANDARD PROCTOR DENSITY.



\* THIS FOUNDATION PLAN VIEW AND ELEVATION VIEW ARE ONLY FOR PRESENTATION PURPOSE; TOWER FOUNDATION TYPE AND SIZE TO BE DESIGNED FOR SPECIFIC TOWER SITE ACCORDING TO THE RECOMMENDATION OF GEOTECHNICAL REPORT.

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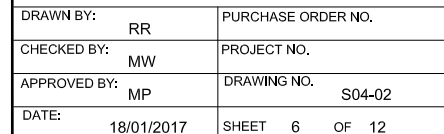
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PROJECT:  
XPLORNET  
SELF SUPPORT TOWER

TITLE: MAT FOUNDATION  
150' TOWER

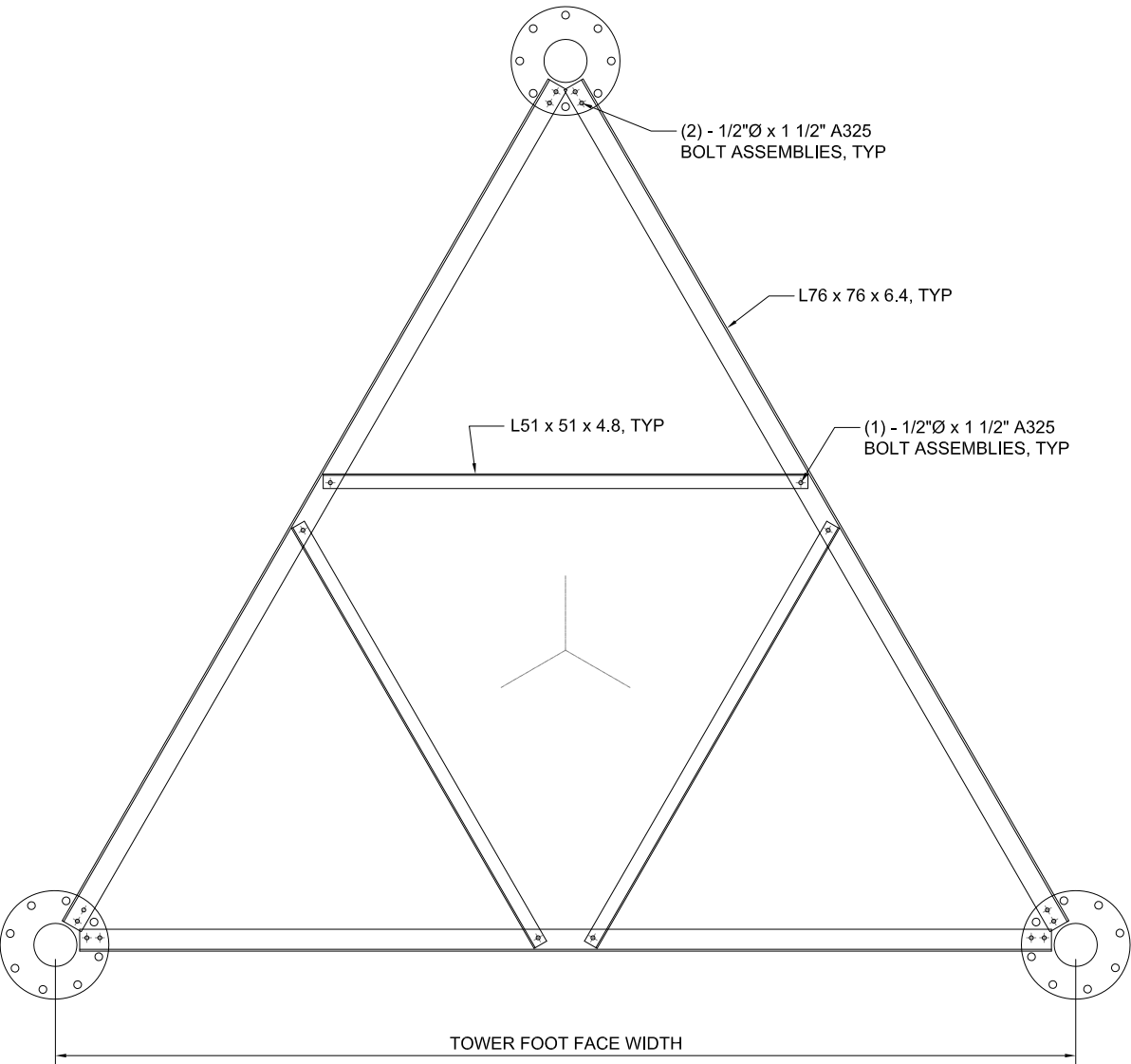
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APPROVED BY:	MP	DRAWING NO. S04-01
DATE:	18/01/2017	SHEET 6 OF 12



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NOTE:

- 1. THE ANCHOR BOLT TEMPLATE ASSEMBLY ON THE DRAWING IS FOR THE QUOTATION OF INSTALLATION ONLY
- 2. THE ACTUAL STEEL SIZES MAY CHANGE AS PER SITE SPECIFIC TOWER PROFILES

**ANCHOR BOLT TEMPLATE ASSEMBLY**  
SCALE: 1:25

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No.	ISSUE/REVISION	BY	DATE

PROJECT:  
  
XPLORNET  
SELF SUPPORT TOWER

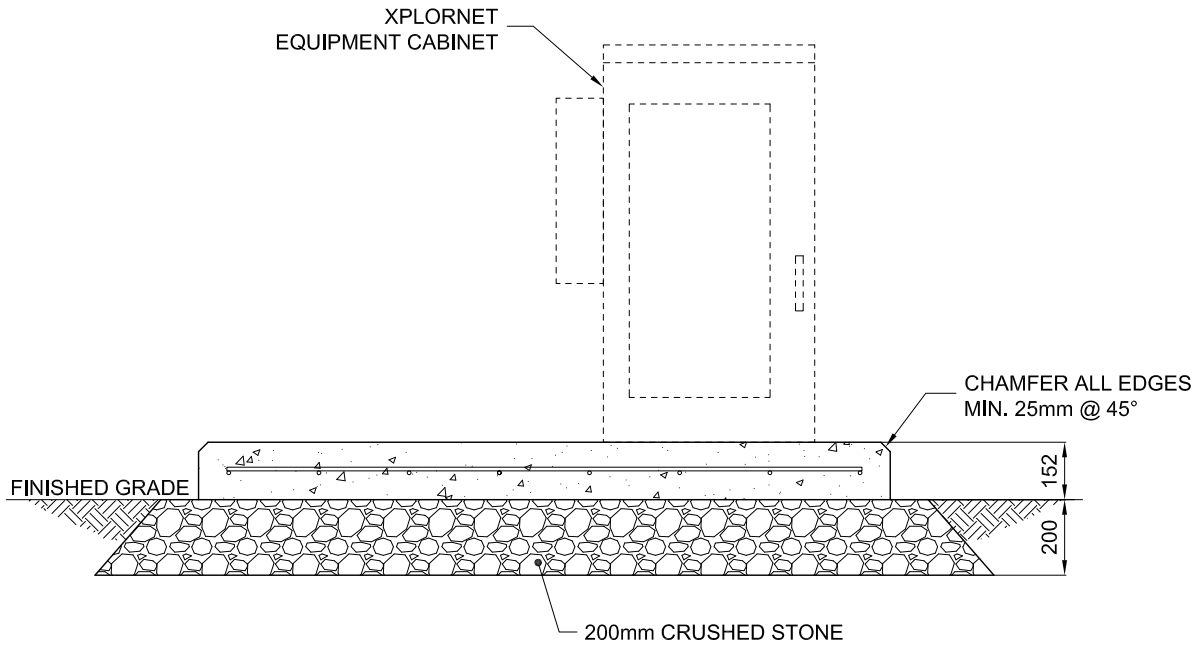
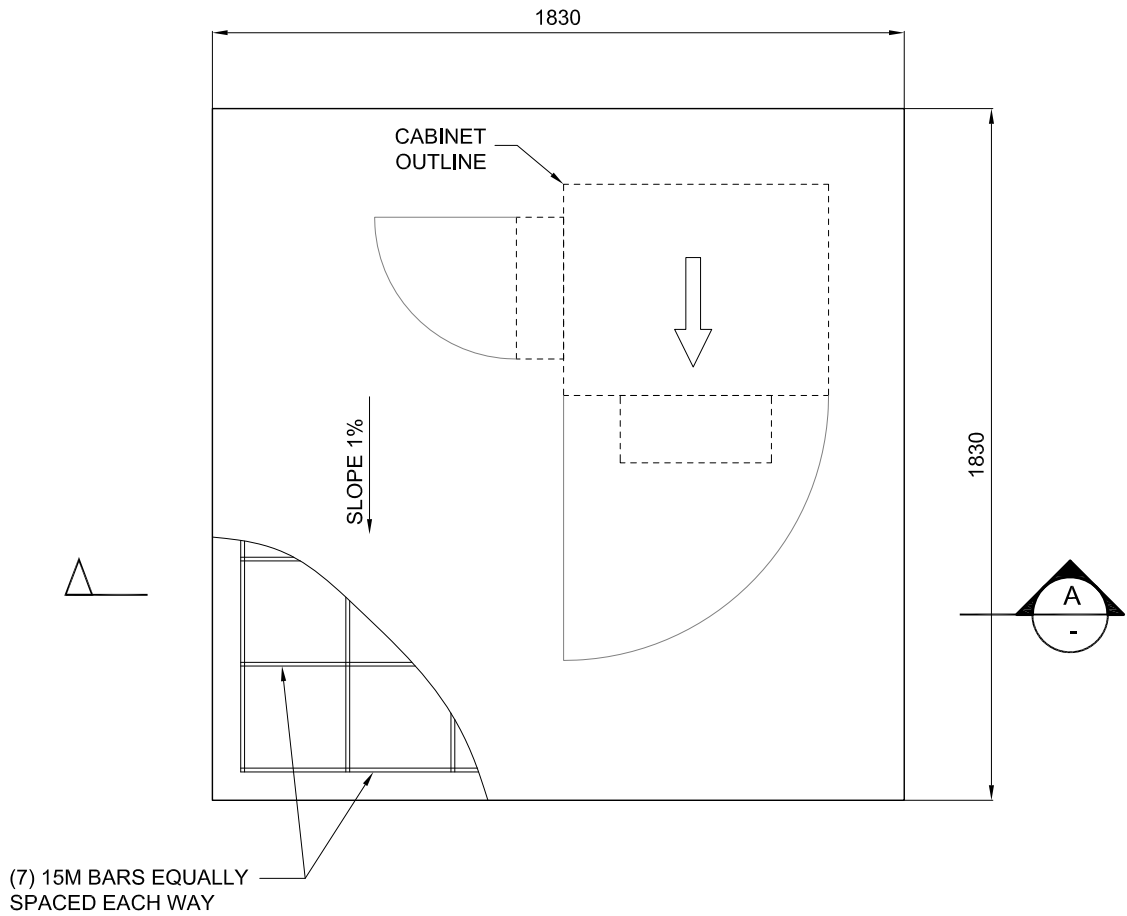
TITLE:  
ANCHOR BOLT TEMPLATE ASSEMBLY

DRAWN BY:	RR	PURCHASE ORDER NO.
CHECKED BY:	MW	PROJECT NO.
APPROVED BY:	MP	DRAWING NO. S04-03
DATE:	18/01/2017	SHEET 14 OF 22

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**A** SECTION A-A  
N.T.S.

FOUNDATION DESIGN NOTES:

1. REFER TO STRUCTURAL GENERAL NOTES.
2. MINIMUM CONCRETE COMPRESSIVE STRENGTH: 30MPa AT 28 DAYS; AIR ENTRAINMENT: 5 - 7%; MAXIMUM SIZES OF COARSE AGGREGATE: 19mm; MAXIMUM SLUMP: 75mm ± 25mm.
3. THE CONCRETE COVER OVER REINFORCING STEEL (REBAR) SHALL BE MINIMUM 75mm (3"), UNLESS OTHERWISE NOTED ON THE DRAWING.
4. THE REINFORCING STEEL (REBAR) SHALL CONFORM TO CSA STANDARD G30.18 WITH MINIMUM YIELD STRENGTH OF 400MPa (GRADE 400).
5. THE ESTIMATED VOLUME OF CONCRETE = 0.51 cu.m

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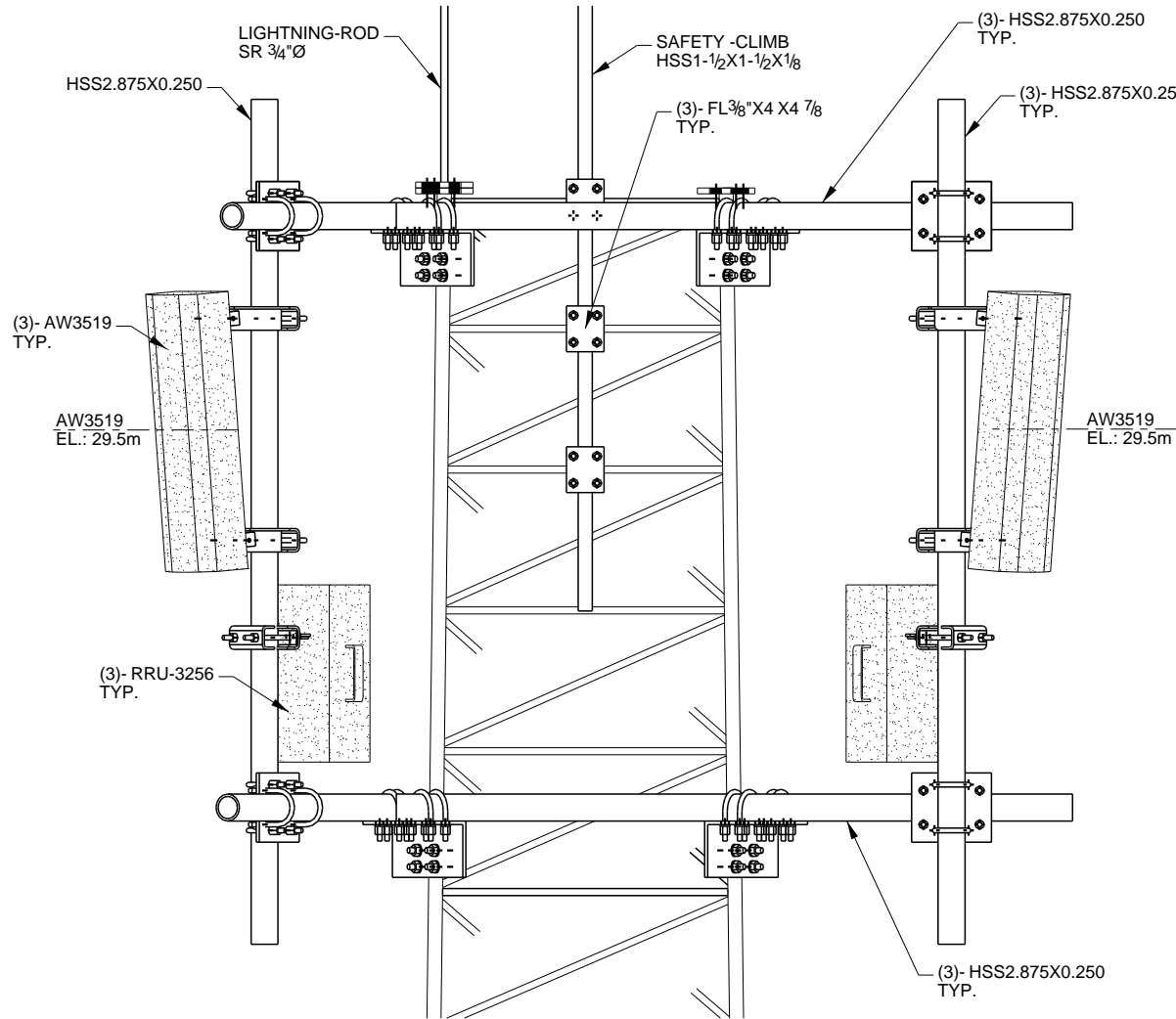
PROJECT: XPLORNET  
SELF SUPPORT TOWER

TITLE: CABINET CONCRETE PAD

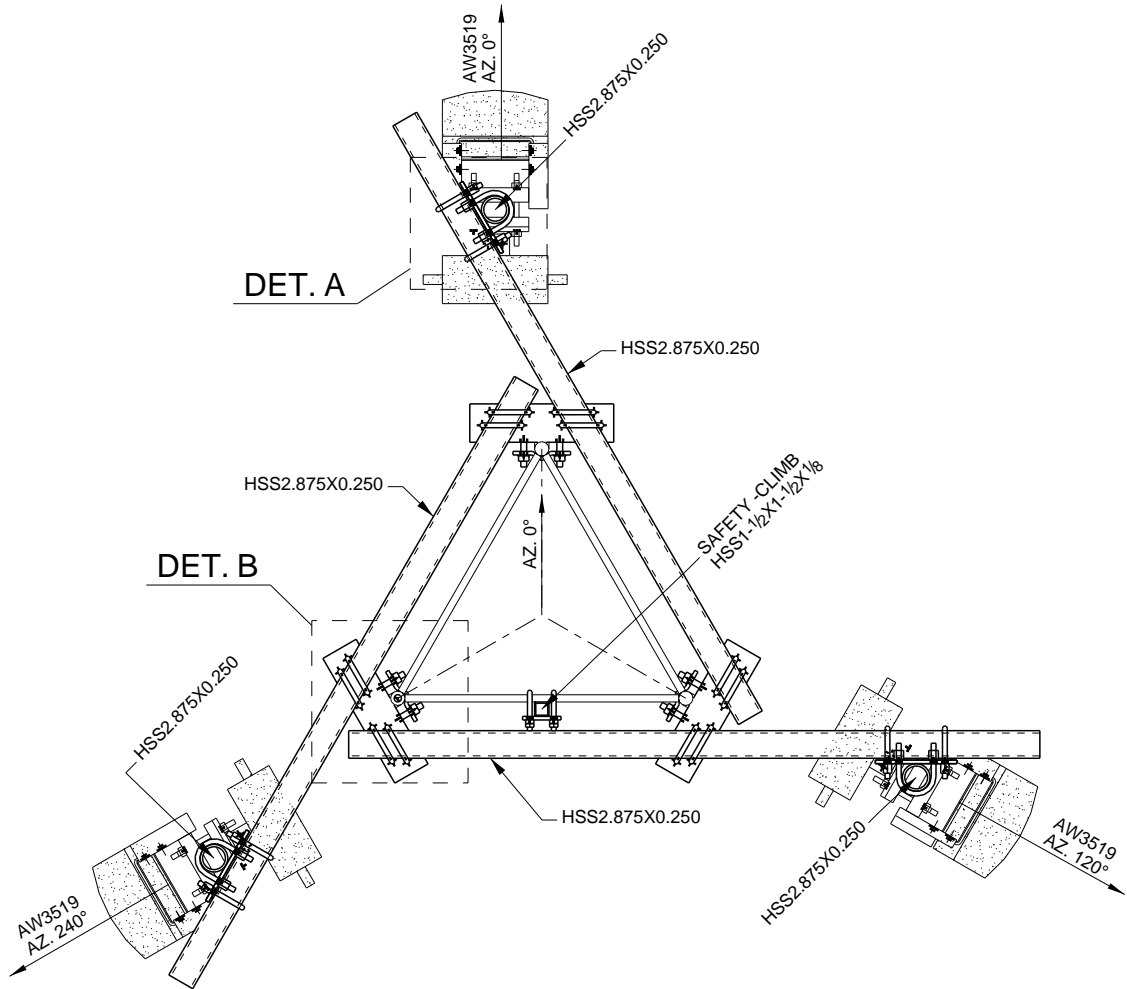
DRAWN BY:	RR	PURCHASE ORDER NO.
CHECKED BY:	MW	PROJECT NO.
APPROVED BY:	MP	DRAWING NO. S04-04
DATE:	18/01/2017	SHEET 15 OF 22



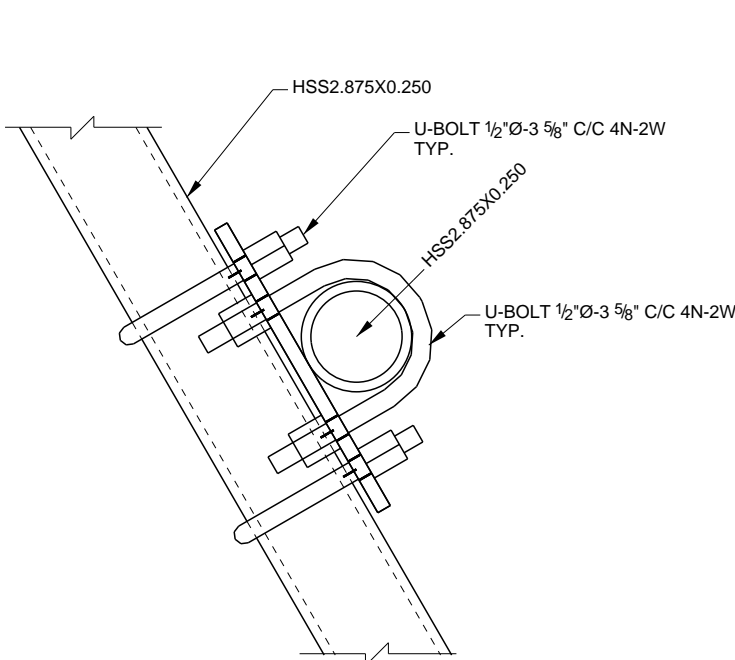
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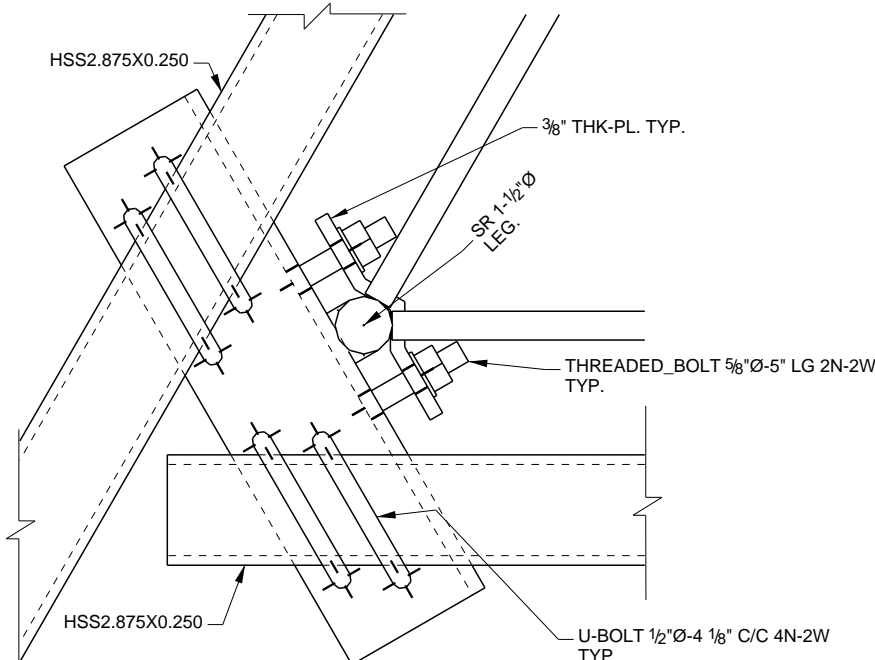
ELEVATION VIEW



PLAN VIEW



DETAIL A



DETAIL B

NOTE:  
1. ANTENNA INFO., AZIMUTH, ELEVATIONS AND MAMBER SIZES WILL VARRY TO SUIT SITE SPECIFIC REQUIREMENTS

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0	FOR INFORMATION	RR	02/02/2017
No.	ISSUE/REVISION	BY	DATE

PROJECT:  
SAMPLE AWSS TOWER  
ANTENNA MOUNT DETAILS

TITLE: ANTENNA MOUNT AT EL. 29.5m

DRAWN BY:	RR	PURCHASE ORDER No.	
CHECKED BY:	MW	PROJECT NO.	8_Crestomere
APPROVED BY:		DRAWING No.	S05-01
DATE:	02/02/2017	SHEET	17 OF 22

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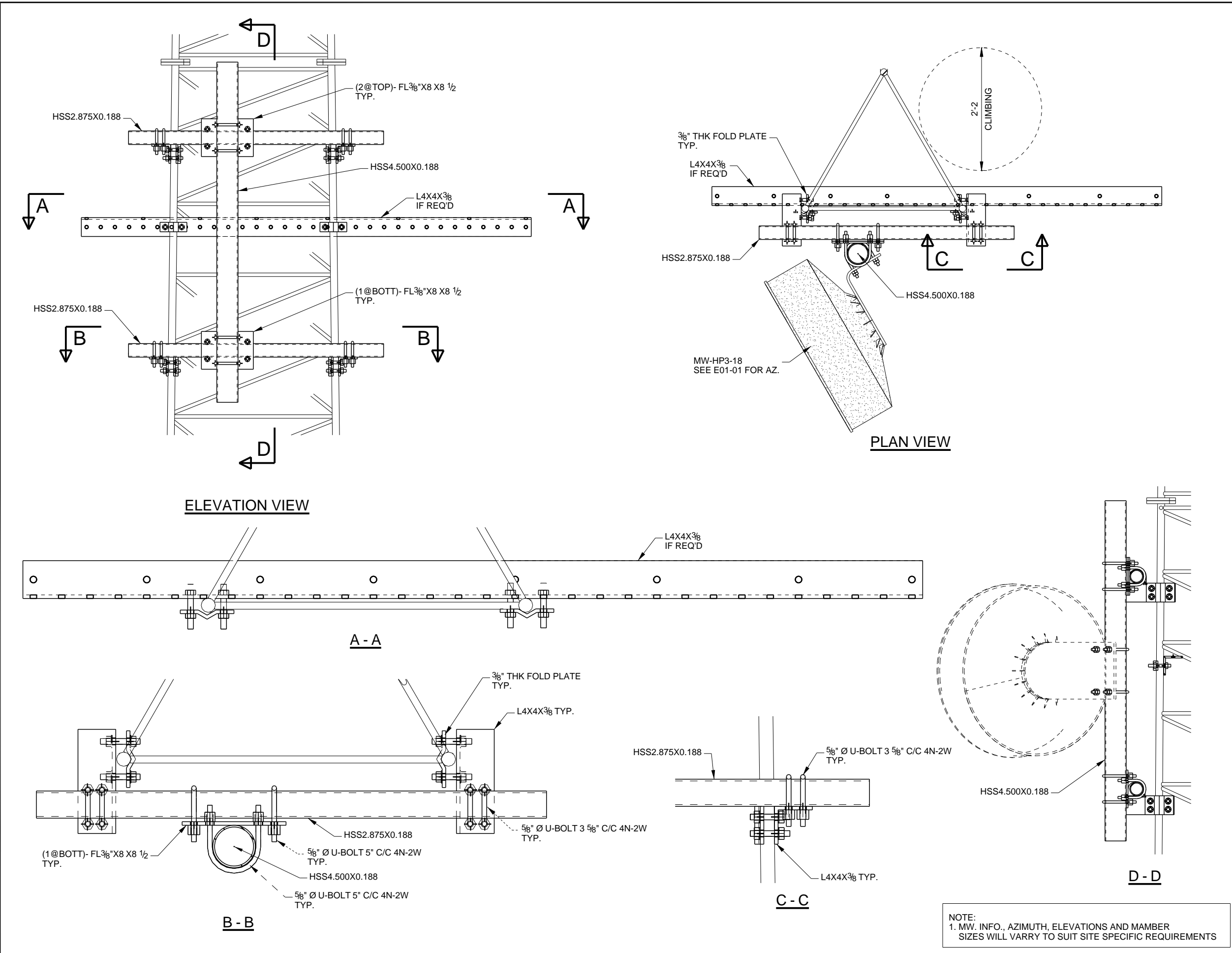
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No.	ISSUE/REVISION	BY	DATE

PROJECT: **SAMPLE AWSS TOWER  
MW. MOUNT DETAILS**

TITLE: **MW DISH MOUNT AT EL. 26.5m**

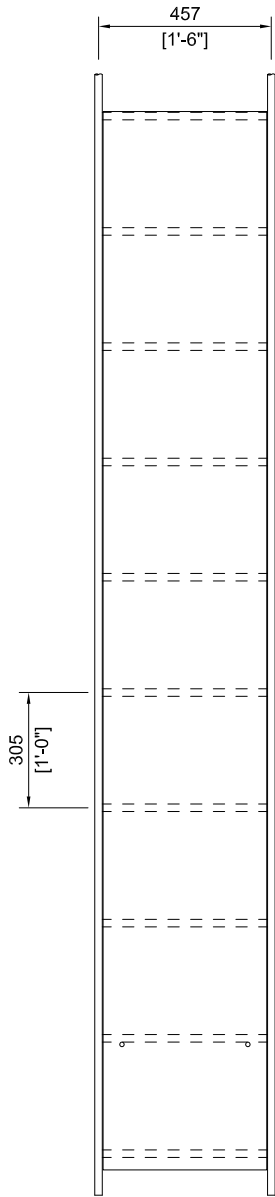
DRAWN BY:	RR	PURCHASE ORDER No.	
CHECKED BY:	MW	PROJECT NO.	8_Crestomere
APPROVED BY:	MP	DRAWING No.	S06-01
DATE:	02/02/2017	SHEET	18 OF 22



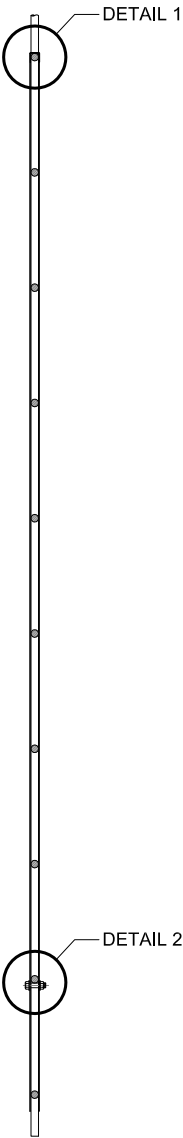
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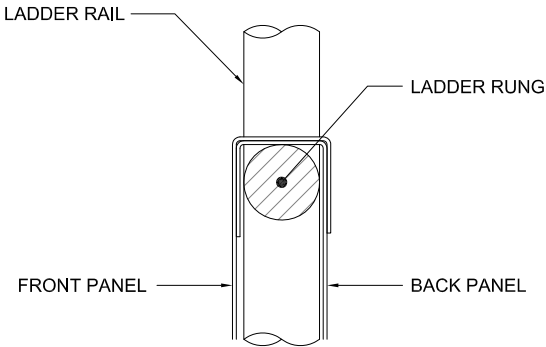
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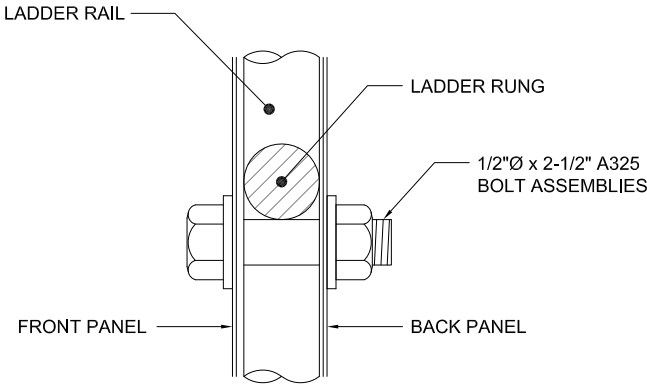
**FRONT VIEW**  
SCALE 1:20



**SECTION VIEW**  
SCALE 1:20



**DETAIL A**  
SCALE 1:2



**DETAIL B**  
SCALE 1:2

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No.	ISSUE/REVISION	BY	DATE

PROJECT: XPLORNET  
SELF SUPPORT TOWER

TITLE: ANTI-CLIMB DETAILS

DRAWN BY: RR	PURCHASE ORDER NO.
CHECKED BY: MW	PROJECT NO.
APPROVED BY: MP	DRAWING NO. S07-01
DATE: 18/01/2017	SHEET 20 OF 22

GENERAL

1. COMPLY WITH THE LATEST EDITION OF THE CANADIAN ELECTRICAL CODE CSA C22.1, THE ONTARIO ELECTRICAL SAFETY CODE, THE ONTARIO HYDRO INSPECTION BULLETINS, THE ONTARIO BUILDING CODE AND ALL NATIONAL, PROVINCIAL, MUNICIPAL AND LOCAL AUTHORITIES HAVING JURISDICTION.
2. THE RF DESIGN IS NOT IN THE SCOPE OF THIS PACKAGE.
3. DESIGN OF LIGHTNING PROTECTION SYSTEM IS NOT IN THE SCOPE OF THIS PACKAGE.
4. ALL FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
5. ALL WIRING, CABLES, ETC., IN CEILING SPACE ARE TO BE SECURED TO ITS OWN AND INDEPENDENT CEILING HANGERS.
6. SUPPLY AND INSTALL 90 DEGREE ANGLE, SEAL TIGHT FLEX CONNECTORS BETWEEN WALL FURNITURE FEEDS AND SYSTEMS FURNITURE TO PREVENT THE POWER FEED FROM UNNECESSARY BENDS, TWISTS OR KINKS.
7. ALL EMERGENCY FEEDERS SHALL BE RUN IN SEPARATE CONDUITS IN ACCORDANCE WITH CODE REQUIREMENTS.
8. INSTALL APPROVED EXPANSION COUPLINGS WHERE CONDUITS CROSS EXPANSION JOINTS.
9. CHECK DOOR SWINGS BEFORE INSTALLING SWITCHES.
10. BALANCE ALL PANEL BOARD LOADS ACROSS THE PHASES.
11. PROVIDE A SEPARATE NEUTRAL WIRE FOR EACH DEDICATED OR SEPARATE CIRCUIT SHOWN.
12. CO-ORDINATE WITH THE EQUIPMENT SUPPLIER FOR THE DC SYSTEM WIRING DETAILS, QUANTITY OF WIRES AND SYSTEM TYPE.
13. CO-ORDINATE ALL CONSTRUCTION WITH THE LANDLORD ON SITE. OBTAIN WRITTEN PERMISSION FROM LANDLORD FOR ALL SCHEDULED POWER INTERRUPTIONS AND CO-ORDINATE EXACT TIME AND DATE(S) OF SUCH POWER INTERRUPTIONS WITH LANDLORD'S OF THE BUILDING.

ABBREVIATIONS

A/C	AIR CONDITIONING	HR	HOUR
ADJ.	ADJUSTABLE	IN	INCH
AFF	ABOVE FINISH FLOOR	INFO	INFORMATION
AGL	ABOVE GROUND FLOOR	INSUL	INSULATION
AWG	AMERICAN WIRE GUAGE	INT	INTERIOR
AMP	AMPERE	KW	KILOWATTS
BBU	BACKUP BATTERY UNIT	LB(S)	POUND(S)
BMR	BASE MOBILE RADIO	LPS	LIGHTNING PROTECTION SYSTEM
BSS	BASE STATION SUBSYSTEM		
CU	COPPER	MFR	MANUFACTURE
C.B.	CIRCUIT BREAKER	MISC	MISCELLANEOUS
CKT	CIRCUIT	MGB	MAIN GROUND BUS
CLG	CEILING	MTD	MOUNTED
CLR	CLEAR	NEUT	NEUTRAL
CMU	CONCRETE MASONRY UNIT	NIC	NOT IN CONTRACT
CONST	CONSTRUCTION	OE	OVERHEAD ELECTRICAL
CONT	CONTINUOUS	OT	OVERHEAD TELEPHONE
DIM	DIMENSION	PT	PRESSURE TREATED
DN	DOWN	RBS	RADIO BASE STATION
DEF	DUAL ELEMENT FUSES	RECPT	RECEPTACLE
EL	ELEVATION	RM	ROOM
EQ	EQUAL	R.O.	ROUGH OPENING
EQUIP	EQUIPMENT	RRU	REMOTE RADIO UNIT
EXT	EXTERIOR	SW	SWITCH
E.C.	ELECTRICAL CONTRACTOR	SPEC	SPECIFICATION
EGB	EQUIPMENT GROUND BUS	SQ	SQUARE
FIN	FINISH	SUSP	SUSPENDED
FT	FOOT	S.V.	SHEET VINYL
GRD	GROUND	UBC	UNIFORM BUILDING CODE
GA	GUAGE	U/E	UNDERGROUND ELECTRIC
GWB	GYPSTUM WALL BOARD	U/T	UNDERGROUND TELEPHONE
GYP. BD.	GYPSTUM BOARD	VT	VINYL TILE
HVAC	HEATING,VENTING & AIR CONDITIONING	W.P.	WEATHER PROOFING
		XFMR	TRANSFORMER

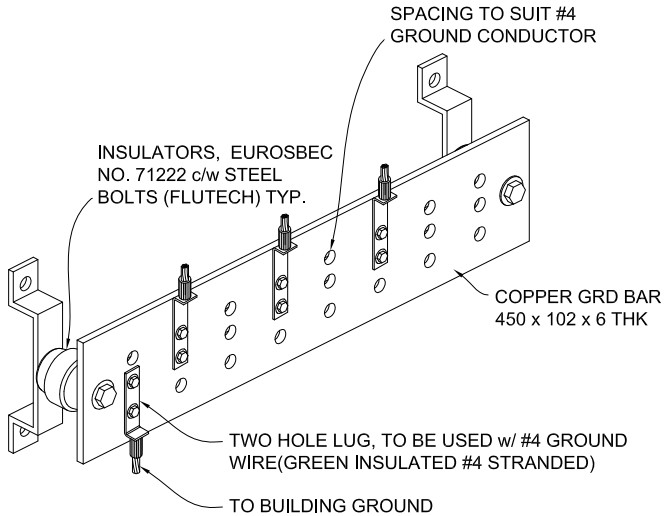
MATERIALS

- A. WIRES AND CABLES**
1. ALL SIZES SHOWN ARE AWG FOR COPPER CONDUCTORS AND CABLES.
  2. FOR EARTHING AND BONDING USE COPPER CONDUCTORS ONLY.
  3. TECK 90 OR COREFLEX CABLES MAY BE USED WHERE COST EFFECTIVE.
  4. INSULATION SHALL BE TYPE THHN, RW75 OR RW90.
  5. CONDUCTORS INSTALLED UNDER EARTHING SHALL HAVE RWU75 OR RWU90 INSULATION.
- B. CONDUITS**
- A. UNLESS NOTED OTHERWISE PROVIDE ELECTRICAL METALLIC TUBING (EMT) INSIDE THE BUILDING AND RIGID PVC CONDUIT OUTSIDE THE BUILDING AND BELOW GRADE.
6. FOR RIGID PVC CONDUIT PROVIDE EXPANSION JOINTS AT INTERVALS IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
  7. FOR EARTHING AND BONDING CONDUCTORS PROVIDE LONG SWEEP ELBOWS TO ACCOMMODATE MINIMUM BENDING REQUIREMENTS, AS SPECIFIED OF SUCH CONDUCTORS.
- C. DISCONNECT SWITCHES AND FUSES
1. DISCONNECT SWITCHES SHALL CONFORM TO CSA C22.2 NO. 4.
  2. FUSE HOLDERS SHALL BE IN ACCORDANCE WITH CSA C22.2 NO. 39.
  3. FUSES SHALL CONFORM TO CSA C22.2 NO. 106-M1985.
  4. DISCONNECT SWITCHES, FUSED AND NON-FUSED TYPE SHALL BE QUICK MAKE, QUICK BREAK ACTION IN EEMAC 1 ENCLOSURE FOR INDOOR INSTALLATION AND EEMAC 3 FOR OUTDOOR INSTALLATION UNLESS NOTED OTHERWISE.
- D. FIBRE OPTIC**
- A. FIBRE OPTIC BENDING RADIUS SHALL BE AS PER MANUFACTURER'S RECOMMENDATION.
5. ALL SWEEP ELBOWS SHALL ACCOMMODATE FIBRE OPTIC INSTALLATION.
- E. EARTHING**
- A. PROVIDE EARTHING AND BONDING OF EQUIPMENT AS SHOWN AND AS REQUIRED BY THE ONTARIO ELECTRICAL SAFETY CODE AND CSA C22.2 NO. 41-M1987, COMBINED WITH IEC 601024-1, IEEE 142 AND IEC 364 SERIES.
6. ALL CONDUCTORS USED ARE FOR EARTHING AND BONDING SHALL BE COPPER WITH GREEN INSULATION.
  7. ALL LUGS FOR CONDUCTOR SIZE LARGER THAN #10 AWG SHALL BE TWO HOLE LONG BARREL COMPRESSION TYPE TIN PLATED COPPER.
  8. EARTHING BARS SHALL BE MADE OF COPPER ALLOY 110, SIZED AND DRILLED FOR LUG CONNECTIONS.
  9. IN ORDER TO MITIGATE HIGH FREQUENCY NOISE, ALL EARTHING AND BONDING, CONDUCTORS SHALL BE RUN AS STRAIGHT AS POSSIBLE WITH MINIMUM NUMBER OF BENDS. AVOID 90° BENDS. MINIMUM BENDING RADIUS TO BE 300MM. LOOPING OF EARTHING AND BONDING WIRES SHALL BE AVOIDED.
  10. ANTI-OXIDANT COMPOUND (NO-OX-ID) SHALL BE APPLIED TO ALL CONNECTIONS WHERE DISSIMILAR METALS COME IN CONTACT AND TO ALL CONDUCTOR ENDS BEEN LUGGED.

LIGHTNING PROTECTION (IF REQUIRED)

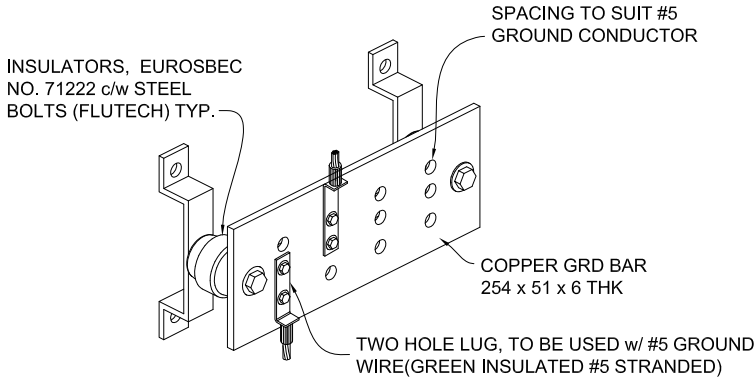
LIGHTNING PROTECTION SYSTEM BY QUALIFIED CONTRACTOR AS PER PUBLIC MOBILE SPECIFICATION:

1. ALL LIGHTNING PROTECTION OF PUBLIC MOBILE EQUIPMENT MUST BE COMPLETED BY A CONTRACTOR LICENSED BY AN ONTARIO FIRE MARSHALL TO PERFORM LIGHTNING PROTECTION WORK
2. ALL WORK MUST CONFORM TO THE R.S.O. 1990 REG. 712 LIGHTNING RODS ACT. AND CAN/CSA-872-M87 INSTALLATION CODE FOR LIGHTNING PROTECTION SYSTEM
3. UPON COMPLETION OF THE LIGHTNING PROTECTION WORK. PROVIDE A CERTIFICATE OF INSTALLATION TO THE FIRE MARSHALL OF ONTARIO WITH A COPY TO THE ENGINEER



MASTER GROUND BAR DETAIL

N.T.S.



SECTOR GROUND BAR DETAIL

N.T.S.

GROUND BAR NOTES:

1. ALL HARDWARE 8-88 STAINLESS STEEL COAT ALL SURFACE WITH "NO-OX" GREASE BEFORE MATING USE D-LUG NUTS AND SPIDER WASHERS WITH ALL GROUNDING CONNECTIONS.
2. NO CAD WELDING ON ROOFTOP.

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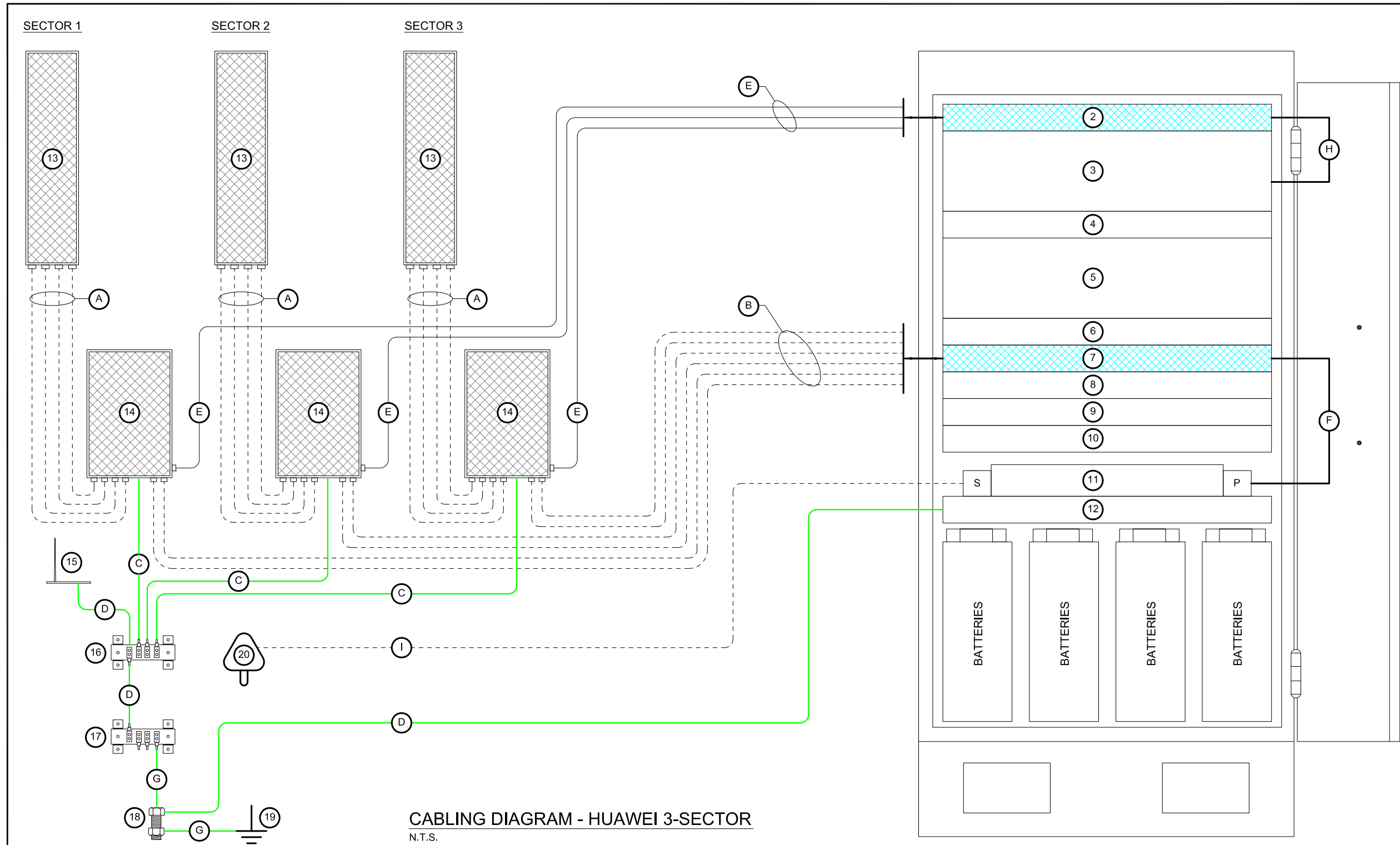
PROJECT:

XPLORNET  
SELF SUPPORT TOWER

TITLE:

ELECTRICAL GENERAL NOTES

DRAWN BY:	RR	PURCHASE ORDER NO.	
CHECKED BY:	MW	PROJECT NO.	
APPROVED BY:	MP	DRAWING NO.	E01-01
DATE:	18/01/2017	SHEET	20 OF 22



CABLING DIAGRAM - HUAWEI 3-SECTOR  
N.T.S.

EQUIPMENT

- 1

SYSTEM CABINET
- 2

HUAWEI DC DISTRIBUTION UNIT (DCDU)
- 3

RECTIFIER
- 4

CIENA SWITCH
- 5

DRAGONWAVE PONE RACK
- 6

DRAGONWAVE QUANTUM MODEM
- 7

HUAWEI BASEBAND UNIT (BBU)
- 8

MRV ROUTER (POP ONLY)

9

FIBRE SPLICE TRAY (POP ONLY)

10

MEDIA CONVERTER (POP ONLY)

11

SURGE SUPPRESSOR

12

GROUND BAR (BATTERIES BELOW)

13

AP ANTENNA

14

HUAWEI REMOTE RADIO UNIT (RRU)

15

LIGHTNING ROD

- 16

GROUND BUSBAR BELOW AP MOUNT, COPPER ALLOY 110, SIZED AND DRILLED FOR LUG CONNECTIONS
- 17

GROUND BUSBAR AT TOWER BASE, COPPER ALLOY 110, SIZED AND DRILLED FOR LUG CONNECTIONS
- 18

SPLIT BOLT
- 19

MAIN GROUND AT SITE
- 20

GPS (INSTALLED ON TOWER)

CABLING

- A

RF JUMPERS
- B

FIBRE OPTIC CABLES
- C

#6 AWG GREEN COATED STRANDED COPPER WIRE
- D

3/8 GALVANIZED STEEL CLAD (GSC) RISER CABLE
- E

DC POWER (<75m, 10AWG, >75m, 12AWG)
- F

LMR 240 JUMPER (HUAWEI PROVIDED)
- G

#2/0 AWG COPPER WIRE OR 5/8 GSC

H

#6 COPPER STRAND (1 RED, 1 BLACK)

I

LMR400 COAX CABLE

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PROJECT: XPLORNET  
SELF SUPPORT TOWER

TITLE: CABLING DIAGRAM  
HUAWEI 3-SECTOR

DRAWN BY: RR	PURCHASE ORDER NO.
CHECKED BY: MW	PROJECT NO.
APPROVED BY: MP	DRAWING NO. E02-01
DATE: 18/01/2017	SHEET 21 OF 22

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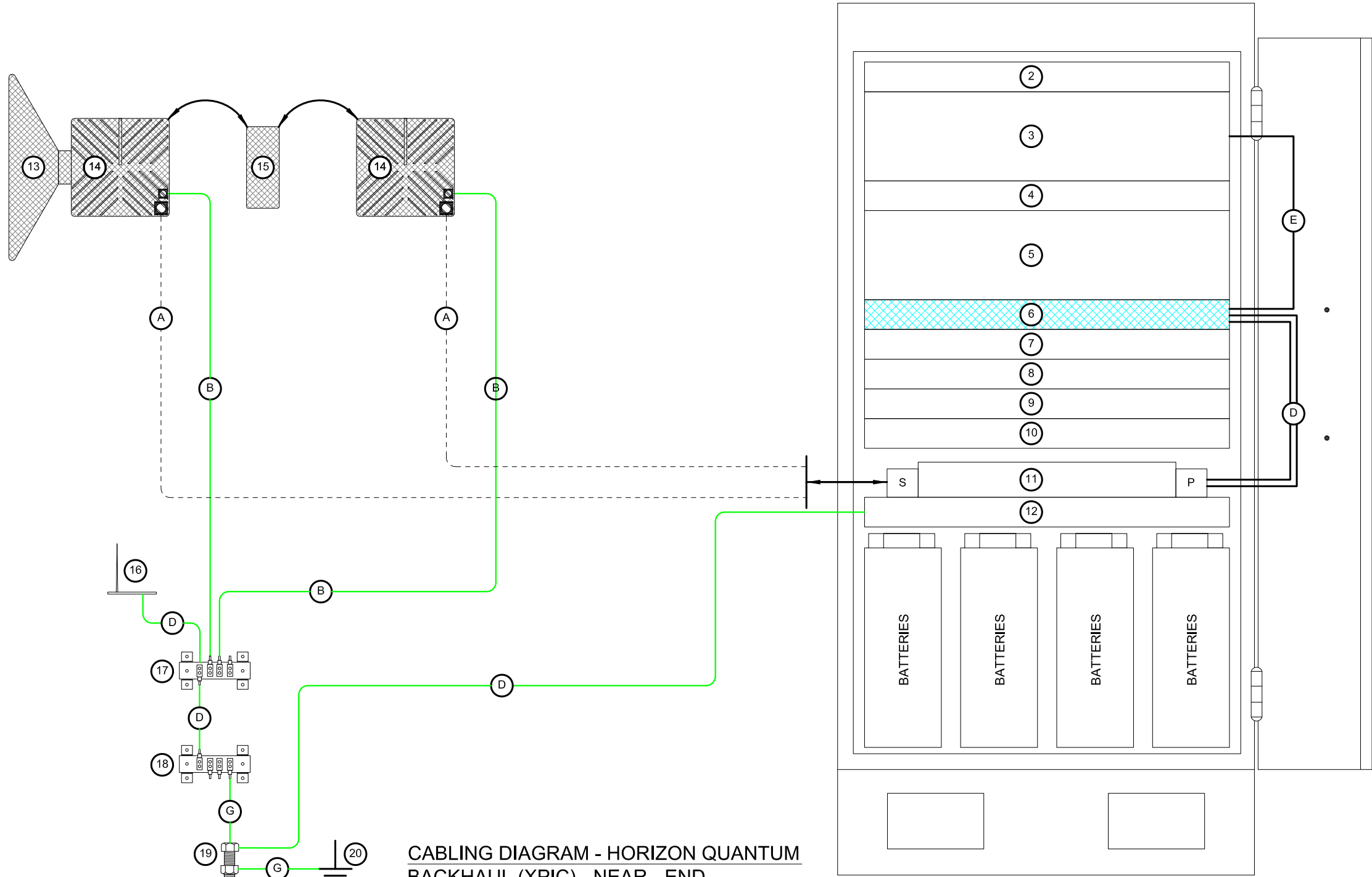


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No.	ISSUE/REVISION	BY	DATE

PROJECT: XPLORNET  
SELF SUPPORT TOWER

TITLE: CABLING DIAGRAM  
HORIZON QUANTUM BACKHAUL (XPIC)

DRAWN BY:	RR	PURCHASE ORDER NO.
CHECKED BY:	MW	PROJECT NO.
APPROVED BY:	MP	DRAWING NO. E02-02
DATE:	18/01/2017	SHEET 22 OF 22



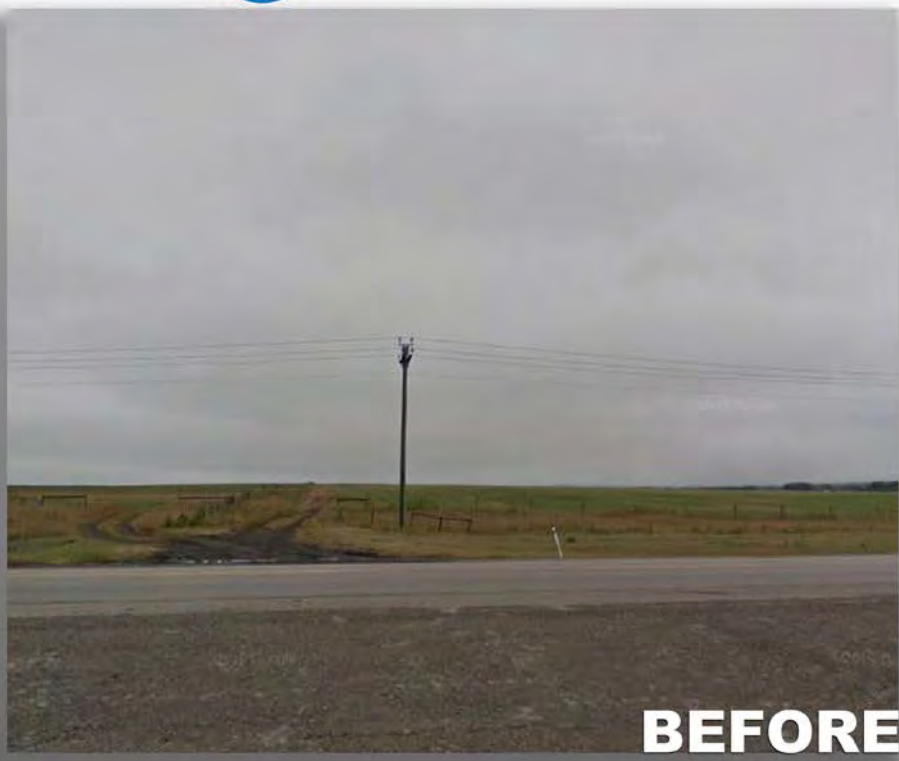
EQUIPMENT

- 1 SYSTEM CABINET
- 2 HUAWEI DC DISTRIBUTION UNIT (DCDU)
- 3 RECTIFIER
- 4 CIENA SWITCH
- 5 DRAGONWAVE PONE RACK
- 6 DRAGONWAVE QUANTUM MODEM
- 7 HUAWEI BASEBAND UNIT (BBU)
- 8 MRV ROUTER (POP ONLY)
- 9 FIBRE SPLICE TRAY (POP ONLY)
- 10 MEDIA CONVERTER (POP ONLY)
- 11 SURGE SUPPRESSOR
- 12 GROUND BAR (BATTERIES BELOW)
- 13 BACKHAUL ANTENNA
- 14 QUANTUM RADIO
- 15 DRAGONWAVE DUAL POLE RIGID MOUNT (DPRM)

- 16 LIGHTNING ROD
- 17 GROUND BUSBAR BELOW AP MOUNT, COPPER ALLOY 110, SIZED AND DRILLED FOR LUG CONNECTIONS
- 18 GROUND BUSBAR AT TOWER BASE, COPPER ALLOY 110, SIZED AND DRILLED FOR LUG CONNECTIONS
- 19 SPLIT BOLT
- 20 MAIN GROUND AT SITE

CABLING

- A LMR 400 IF CABLE
- B #6 AWG GREEN COATED STRANDED COPPER WIRE
- C 3/8 GALVANIZED STEEL CLAD (GSC) RISER CABLE
- D LMR 400 (IN KIT)
- E FIBRE OPTIC CABLES



PREPARED BY:

**AB1379**

**TOWNSHIP ROAD 241 PHOTOSIM**



**March 16, 2021**

**To: Landowner**

**Re: Proposed Xplornet Telecommunications Installation  
Located on a portion of NW 1-24-4 W5M  
Xplornet's File: AB1379**

---

Xplornet Communications Inc. (Xplornet) would like to notify area residents of a proposal to construct a telecommunications installation on a portion of **NW 1-24-4 W5M** located in Rocky View County. The proposed installation is a 45m (148ft.) self-support tower with the approximate corresponding GPS coordinates of 51.022319° N, -114.432157° W. The dimensions of the tower are  $\pm 1.93\text{m}$ . ( $\pm 6.33\text{ft.}$ ) per side of the triangle. In addition, a public notice will be published in the Rocky View Weekly on the same day as specified above.

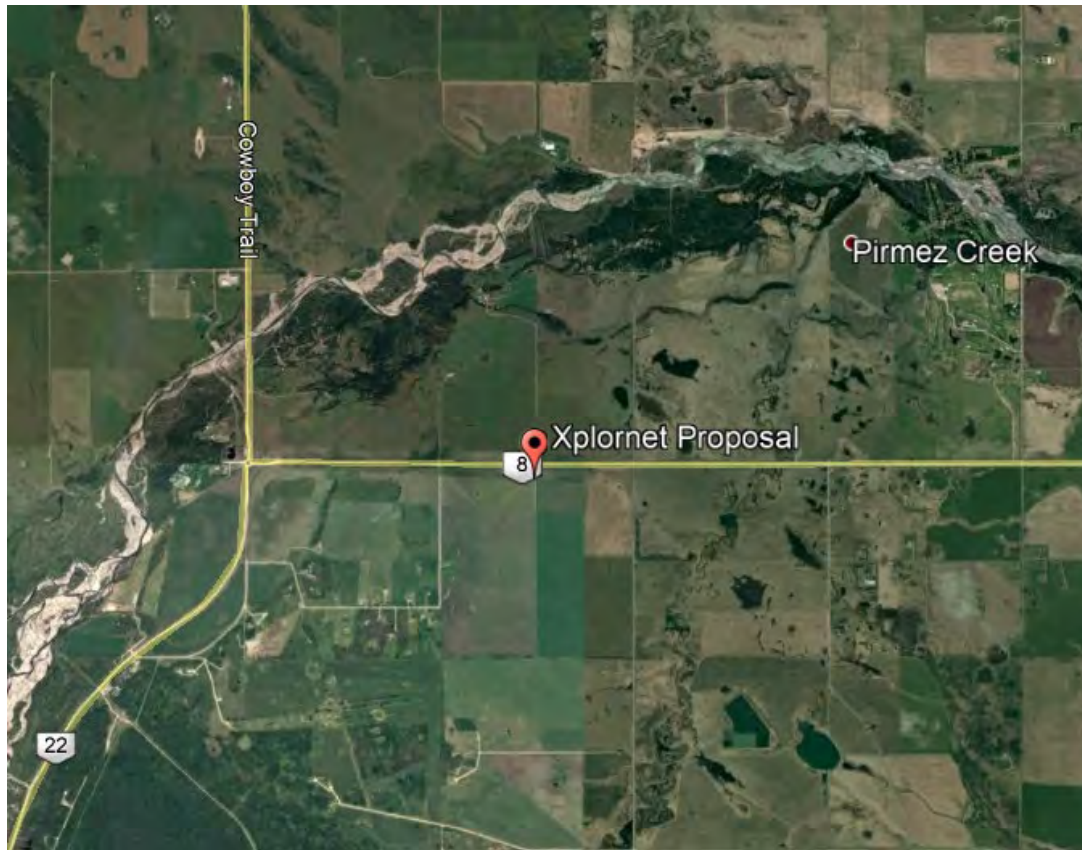
**About Xplornet**

Xplornet Communications Inc. is Canada's leading rural broadband Internet provider. We believe everyone should have access to the online world, so we make our service available everywhere in Canada, including the hard to reach places. We overcome the challenges of Canada's vast geography through our hybrid network of fixed-wireless towers on the ground and next-generation satellites in space. Our customers live in the farthest reaches of the country and just outside of major urban centres, and through our coast-to-coast network of local dealers we connect them to all that the Internet offers. Xplornet connects you to what matters online. For more information, please visit <https://www.xplornet.com/why-choose-xplornet/>.

**Xplornet's Proposal**

In conformance with Innovation, Science and Economic Development Canada's (ISED) (formerly Industry Canada) policy for approving new telecommunications installations, Xplornet has researched all existing antenna systems and other infrastructure capable of entertaining telecommunications equipment in the area. There were no existing structures found within a 2km radius of the targeted area on which to collocate Xplornet's equipment. All equipment necessary to operate this facility will reside within an equipment cabinet at the base of the tower. Xplornet attests that the installation will respect good engineering practices, including structural adequacy.

### Proposed Map



### Health Canada

ISED requires all wireless carriers to operate in accordance with Health Canada's safety standards. Xplornet attests that the installation described in this notification package will be installed and operated on an ongoing basis to comply with Health Canada's *Safety Code 6*. This includes all combined effects of the installation, setting restrictions and limits to exposure to all radio frequencies and electromagnetic field strengths.

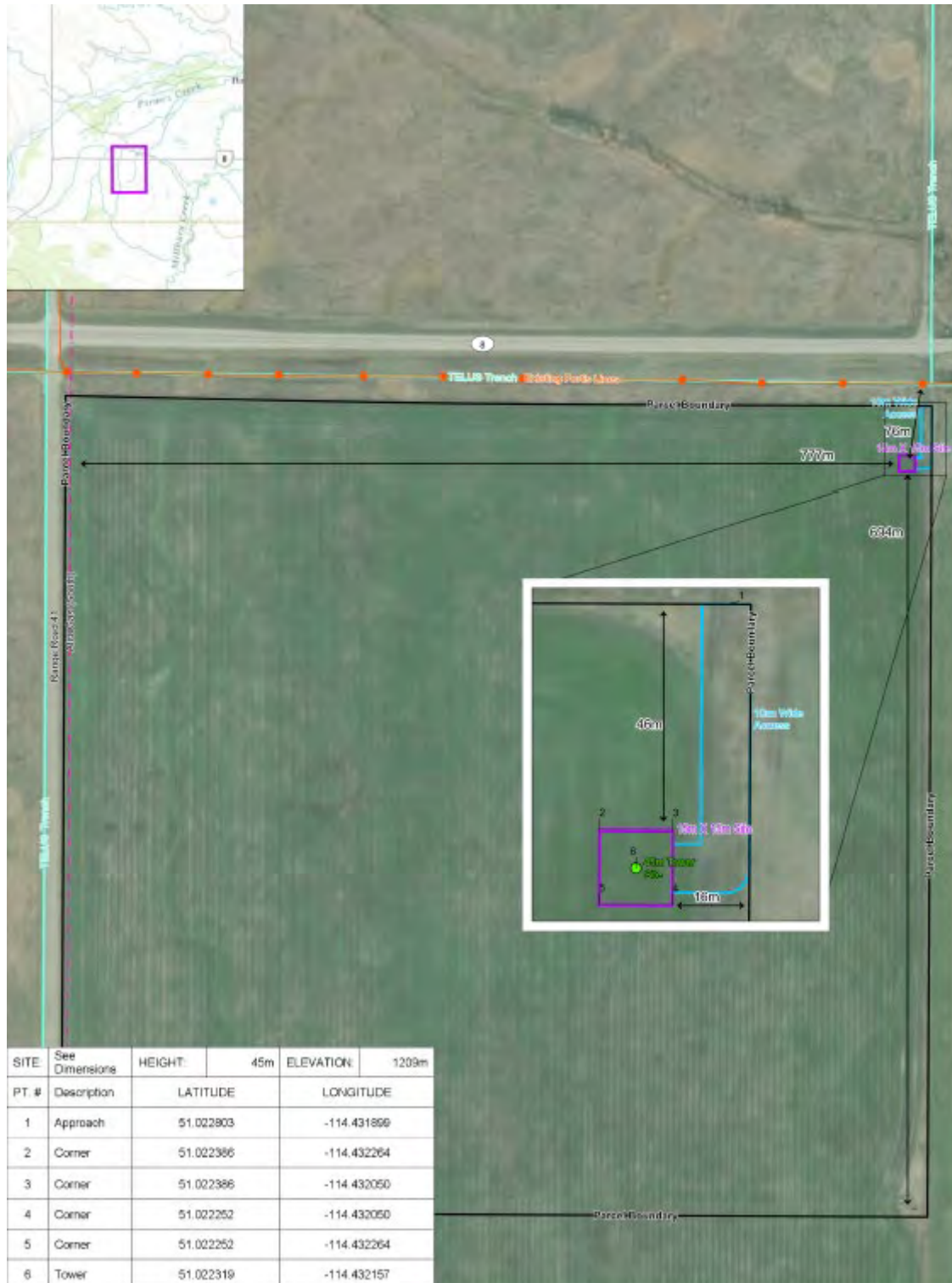
### Canadian Environmental Assessment

Proponents are responsible for ensuring that antenna systems are installed and operated in a manner that complies with other statutory requirements such as *the Canadian Environmental Protection Act, 1999*, *the Migratory Birds Convention Act, 1994*, and *the Species at Risk Act*, as applicable. The proposed telecommunications facility described in this notification package is excluded from environmental assessment under the Impact Assessment Act (IAA).

### Transport Canada / NAV Canada Requirements

Transport Canada and NAV Canada determine requirements for marking and lighting of the tower and whether the proposal would have an impact on the provision of the national air navigation system. Based on the information regarding the proposed tower, the expectation is that marking or lighting will not be required, however the federal authorities will make the final determination.

The tower compound will be 15m. x 15m. All equipment necessary to operate this facility will reside within an equipment shelter with the approximate dimensions of 6' x 8'. Access to the tower will be via an approach off Township Road 241/Highway 8.

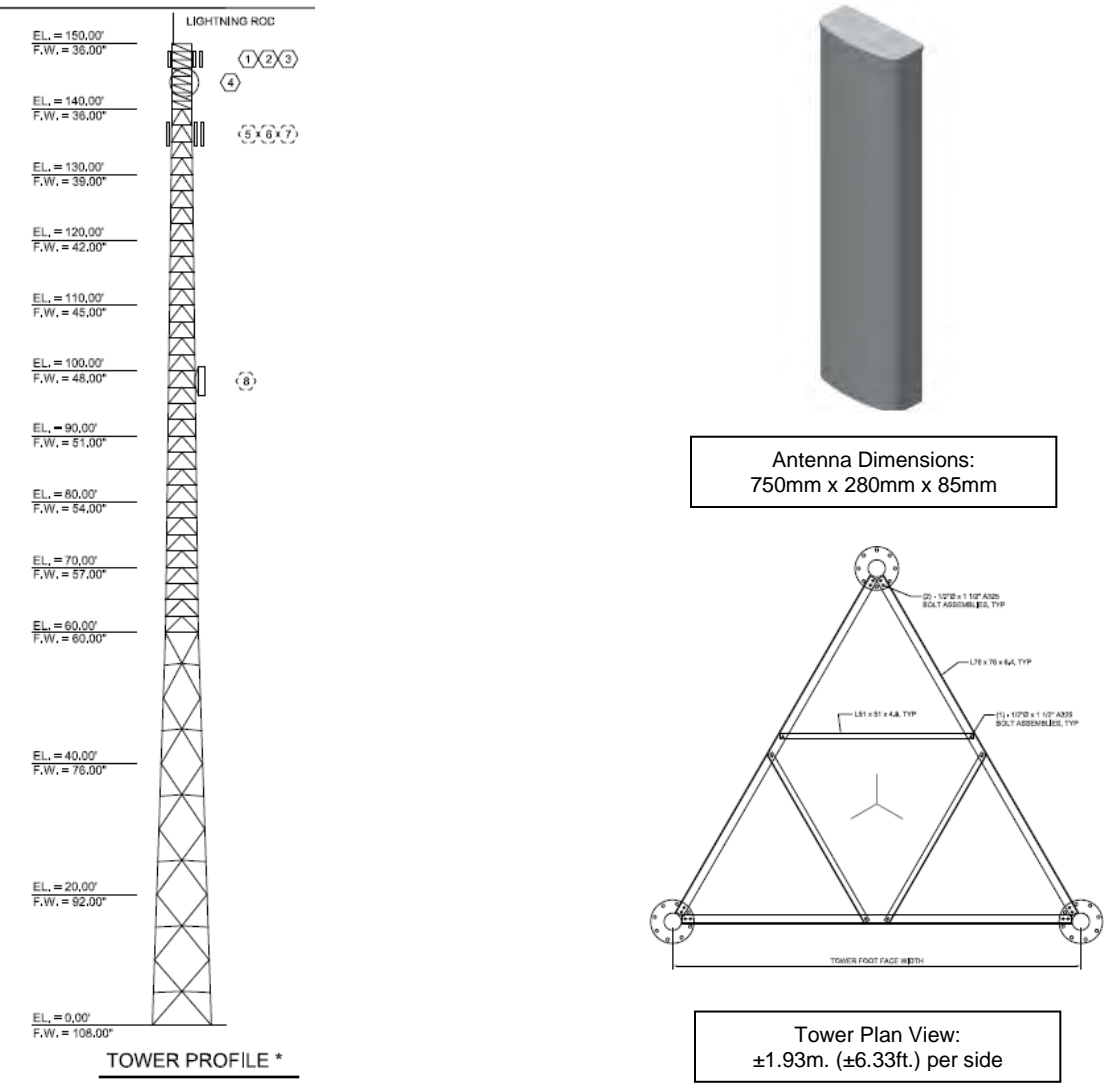


Colocation

It is Xplornet’s policy to first consider colocating (sharing) existing infrastructure, including other carrier’s towers before proposing to build a new structure. Where a new structure is required to be built, Xplornet welcomes colocation applications by other carriers. In accordance with federal regulations, Xplornet has processes in place to facilitate the sharing of Xplornet’s telecommunications tower infrastructure in a timely manner. Future sharing may result in additional antennas being installed on the proposed tower.

Elevation Profile/Antenna Mounts

Below is the elevation profile of the proposed 45m. self-support tower, a tower plan view and photos indicative of the mounted antenna(s) that are planned to be located on this tower. All of the equipment required to operate the facility will reside within an equipment shelter with the approximate dimensions of 6’ x 8’ located within the fenced compound.



Rationale for a Tower Site

As more Canadians rely on internet services for personal security, convenience and business, Xplornet is required to respond to the demands of our customers by completing network expansion and improvements.

**Photo-simulation**

Below is a simulation depicting what the tower is expected to look like, post construction.

**Type:** Self-Support **Height:** 45m. **Shelter Dimensions:** 6' x 8'.



**Consultation Process and Procedures**

Service providers are required to consult with the Local Land Use Authority and the general public regarding new telecommunications installations. If no telecommunications protocol has been set in place by the Land Use Authority for the purposes of this proposal, the provider is required to follow ISED's (formerly, Industry Canada) Default Public Consultation Process, in accordance with Radiocommunication and Broadcasting Antenna Systems (CPC-2-0-03 Issue 5, effective July 15, 2014). The consultation process and procedures applicable to this proposed development are outlined in Rocky View County's Policy A-308.

**Additional Information**

General information regarding telecommunications systems is available on ISED's Spectrum Management and Telecommunications websites:

Innovation, Science and Economic Development Canada: Facts about towers – <http://ic.gc.ca/antenna>

Innovation, Science and Economic Development Canada: FAQ on Radiofrequency Energy and Health – <http://www.ic.gc.ca/eic/site/smt-gst.nsf/eng/sf08792.html>

Health Canada: Safety Code 6, Radiofrequency Exposure Guidelines – [http://www.hc-sc.gc.ca/ewh-semt/pubs/radiation/radio\\_guide-lignes\\_direct-eng.php](http://www.hc-sc.gc.ca/ewh-semt/pubs/radiation/radio_guide-lignes_direct-eng.php)

Health Canada: Cell Phone Towers – <http://www.hc-sc.gc.ca/ewh-semt/radiation/cons/stations/index-eng.php>

Canadian Wireless Telecommunications Association (CWTA): Health and Safety – <http://www.cwta.ca/for-consumers/health-safety/>

Should you have any comments, questions or concerns regarding Xplornet's telecommunications proposal described herein, please feel welcome to contact the undersigned prior to **April 15, 2021**. Comments may be mailed to Scott Telecom Services, Suite 900, 202 – 6<sup>th</sup> Avenue SW, Calgary, Alberta T2P 2R9. Comments may also be faxed to 403-263-5263 or emailed to [notify@scottland.ca](mailto:notify@scottland.ca).

Regards,



Jaclyn Meikle

Project Manager

Agent for Xplornet

Phone: 780-702-5687

Email: [jmeikle@scottland.ca](mailto:jmeikle@scottland.ca)

**Additional Contact Information:**

**Innovation, Science and Economic Development Canada**

**Southern Alberta District Office**

Spectrum Management Operations

Harry Hays Building

#478, 220 - 4th Avenue SE

Calgary, AB T2G 4X3

Telephone: 1-800-267-9401

Fax: 403-292-4295

Email: [ic.spectrumcalgary-calgaryspectre.ic@canada.ca](mailto:ic.spectrumcalgary-calgaryspectre.ic@canada.ca)

**Rocky View County**

Steven Lam, Development Assistant

262075 Rocky View Point

Rocky View County, AB T4A 0X2

Telephone: 403-520-6303

Email: [SLam@rockyview.ca](mailto:SLam@rockyview.ca)

**Attachments:** Comment sheet



**Comment Sheet (AB1379)**  
**NW 1-24-4 W5M**

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1. Are you an internet service user?

☐ yes

☐ no

2. Do you currently own any of the following devices?

☐ Tablet

☐ Laptop

☐ E-reader

☐ Home Computer

3. Do you plan on purchasing any of the following devices in the next year?

☐ Tablet

☐ Laptop

☐ E-reader

☐ Home Computer

4. Do you feel this is the most appropriate location for the site in this area?

☐ yes

☐ no

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5. Are you satisfied with the appearance of the proposed facility?

If not, what changes would you suggest?

☐ yes

☐ no

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6. What comments do you have that could improve our consultation process?

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Additional Comments:

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Please provide your name, full mailing address and email address (optional) if you would like to be informed of the further status of this proposal. This information will not be used for marketing purposes; however, your comments will be forwarded to the appropriate municipal officials.

*(Please print clearly)*

Name:

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Mailing Address:

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Postal Code 

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Email Address:

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We thank you for your input.

Comments may be faxed to 403-263-5263, emailed to [notify@scotland.ca](mailto:notify@scotland.ca)

# Glenn Price resigns from Crossfield council, citing medical reasons

BY SCOTT STRASSER  
Staff Writer

Crossfield's deputy mayor has resigned from Town council, citing personal medical reasons.

According to a statement from the Town of Crossfield on March 8, Glenn Price's resignation was regretfully accepted by the remainder of council during a special meeting held the night before. His resignation was effective immediately.

"Council would like to thank Deputy Mayor Price for his service to the community," the release stated. "Crossfield has greatly benefited from his time on council."

Price was first elected to council during the October 2017 municipal elections. According to the Town's website, in addition to council, Price served on Crossfield's Annexation Ad-Hoc Committee, the Investment Committee and the Town's Inter-municipal Framework Committee with Rocky View County.

Price, who is known throughout Crossfield by his nickname of "Shorty," said he suffered a fall in January while working at his business – Shorty's Garage Automotive Body Shop.

"I've had Rickets since I was a kid – it's a type of bone disease – so I fell down in mid-January and for the last six weeks, my legs have been killing me," he said. "I have a piece of metal in one leg and...I have a couple of screws left in my leg. One side feels like an ice pick and the other is like a dull ache."



SCOTT STRASSER/Rocky View Weekly

**STEPPING DOWN** – Crossfield Deputy Mayor Glenn "Shorty" Price has resigned from the role due to health reasons. His vacancy will be filled in an upcoming by-election this spring.

Since his fall, Price said he has visited doctors and learned he faces a lengthy recovery period and may even have to get surgery. With that possibility on the horizon, he said he felt it would be in the best interests of both himself and Crossfield as a whole to step down from council for the remainder of the term.

"Because of my bone disease, a surgery for me is not just a go-and-get-it-done type of thing," he said. "I could be down for four to six weeks, or four to six months. I figured it would just be best for everybody if I started taking care of myself."

In its press release, the Town stated a motion will be made at the council meeting on March 16 to add Price's vacancy to the municipality's by-election that is already slated to be held May 10. The by-election is to fill a vacancy left by Coun. Devon Helfrich, who passed away in January.

Crossfield's council has seen a turbulent last year in terms of its membership. In addition to Helfrich's passing and Price's resignation, two other members resigned from their positions in the spring of 2020 – Beth Gabriel and Liz Grace. They were replaced in a by-election last October by Couns. Justin Gustafson and Kim Harris.

In addition to his role as the Town's deputy mayor and the owner of Shorty's Garage Automotive Body Shop, Price is also the owner of the building that houses the Diner at Shorty's – a family restaurant along Railway Street in Crossfield's downtown.

After spending more than three years on council, Price said what he enjoyed most about the position was the opportunity to help people.

"I love fixing stuff," he said. "I love helping out. I know I helped a lot of people and I know I tried my hardest. I loved it when people would come to me and they had a problem, but they would have a solution. It was great because just talking to them and giving some pointers, it worked out for everybody."

Price said he did not want to rule out running for council again in the next municipal election this October, but added it is unlikely.

"I don't want to speculate anything because if I say something, I kind of mean it," he said. "I love Crossfield and I'll volunteer for whatever, but running next year, until I get in better health, is probably out of the question."

Information regarding Crossfield's upcoming by-election can be found on the Town's website at [crossfieldalberta.com](http://crossfieldalberta.com)

## ANNUAL GENERAL MEETING

Rocky View Regional  
Handibus Society

Online meeting, March 25th, 7:00  
For invitation please  
email: [agm@rockyviewbus.ca](mailto:agm@rockyviewbus.ca)

## PUBLIC NOTICE



Xplornet Communications Inc. would like to notify area residents of a proposal of a new telecommunications installation situated on a portion of NW 1-24-4 W5M located within Rocky View County. The proposed installation will be a 45m self-support tower. All of the equipment required to operate the facility will be located inside an equipment shelter at the base of the tower.

This new telecommunications facility will improve coverage to the Rocky View County area.

Your comments are welcome at (780) 702-5687

Written comments can be faxed to (403) 263-5263

Mailed to Scott Telecom Services Ltd.  
Suite 900, Bow Valley Square 1  
202 – 6th Avenue SW  
Calgary, AB T2P 2R9  
Email to [notify@scottland.ca](mailto:notify@scottland.ca)

All comments will be accepted until  
**April 15, 2021**



## ANNOUNCEMENT

**Cochrane Lake Gas Co-op Ltd.**

Annual General Meeting  
is scheduled for

**Tuesday, March 30, 2021**

**Madden Community Hall  
7:00 pm**

**5 Supplemental Bylaws to be  
Amended**

**Please Pre-register by  
March 22, 2021 – 403-932-2707 or  
[admin@clgas.ca](mailto:admin@clgas.ca)**

**Alberta Health Authority Covid 19  
Protocols in Place**

**Visit our Website for more information:  
[www.clgas.ca](http://www.clgas.ca)**

**HOME IN CROSSFIELD**  
1088 sq ft, 3 bedroom,  
2 bath mobile home in the  
Crossfield Estates Ltd.  
MLS# A1071995

**\$97,000**

**STEVE HARRIS**  
403-801-9510

## Jaclyn Meikle

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**From:** Notify  
**Sent:** March 31, 2021 4:50 PM  
**To:** Ken Robinson  
**Cc:** ic.spectrumcalgary-calgaryspectre.ic@canada.ca; SLam@rockyview.ca  
**Subject:** RE: (EXT) Xplornet tower NW1-24-4w5m (AB1379)

Hi Ken,

Once public consultation is complete for the proposal, the application will be reviewed and assessed by Rocky View County. The County will consider public feedback as part of the review.

Thank you,  
Jaclyn Meikle

**Jaclyn Meikle**  
*Project Manager*  
Tel: 780 702 5687  
Email: [jmeikle@scottland.ca](mailto:jmeikle@scottland.ca)

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**From:** Ken Robinson [REDACTED]  
**Sent:** March 29, 2021 2:19 PM  
**To:** Notify <[notify@scottland.ca](mailto:notify@scottland.ca)>  
**Subject:** Re: (EXT) Xplornet tower NW1-24-4w5m (AB1379)

Hello Jaclyn,  
I am looking forward to hear from Xplornet as there is no impact voicing my concerns to you.  
The visual impact concerns have no effect on any conversation with you.  
No offer to even consider communicating with the company that is paying your fees.  
Very disappointing consultation from you to this point.  
I hope my letter to the county will have some more wiggle on design impact.  
Your truly.

Ken Robinson

On Mar 29, 2021, at 11:36 AM, Notify <[notify@scottland.ca](mailto:notify@scottland.ca)> wrote:

Good morning Ken,

The public notice was included in the February 16, 2021 issue of the Rocky View Weekly, I have attached the tearsheet from the newspaper. We have forwarded your email to Xplornet Communications, however, Xplornet has engaged Scott Telecom Services to complete the public consultation for this proposal. The proposal remains a self-support structure due to the reasonings stated previously.

Thank you,

Jaclyn Meikle

**Jaclyn Meikle**  
*Project Manager*  
Tel: 780 702 5687  
Email: [jmeikle@scotland.ca](mailto:jmeikle@scotland.ca)

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**From:** Ken Robinson [REDACTED]  
**Sent:** March 25, 2021 10:32 AM  
**To:** Notify <[notify@scotland.ca](mailto:notify@scotland.ca)>  
**Subject:** Re: (EXT) Xplornet tower NW1-24-4w5m (AB1379)

Hello Jaclyn,  
I sent a message directly to the county myself as I don't trust you will pass on my concerns.  
There has not been any notification in the Rockyview paper.  
The unwillingness to construct a tower that is visually more appealing is my concern and will be a impact for 50 years down the road. Not just to me or my neighbours but all traffic goes on Hwy 8 looking to get out into the country.  
Please take my concerns to Xplornet or I will. If there is no response from Xplornet in 5 days I will be contacting tell or provide me with the designer's information.  
Yours truly.

Ken Robinson

On Mar 25, 2021, at 9:01 AM, Notify <[notify@scotland.ca](mailto:notify@scotland.ca)> wrote:

Good morning Ken,

Your comments will be included in our submission to Rocky View County. As noted below, the self-support lattice style structure was chosen for this location as it structurally capable for the proposed antennas and the future need for cellular antennas to be added to the tower dependent on customer demands and coverage requirements.

Please advise if you have any further questions or comments regarding the proposed telecommunication installation.

Thank you,  
Jaclyn Meikle

**Jaclyn Meikle**  
*Project Manager*  
Tel: 780 702 5687  
Email: [jmeikle@scotland.ca](mailto:jmeikle@scotland.ca)

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**From:** Ken Robinson [REDACTED]  
**Sent:** March 23, 2021 11:32 AM  
**To:** Notify <[notify@scotland.ca](mailto:notify@scotland.ca)>  
**Subject:** Re: (EXT) Xplornet tower NW1-24-4w5m

Thanks for the information regarding the work on site.  
The truck was pounding so I thought the foundation was started.  
It was doing soil samples is there any thoughts to a design improvement or do I need to  
oppose with county and complain to the company for years after?

Ken Robinson

On Mar 22, 2021, at 3:41 PM, Notify <[notify@scotland.ca](mailto:notify@scotland.ca)> wrote:

Good afternoon Ken,

I have confirmed that Xplornet was completing their geotechnical site investigation at the proposed site. Construction has not been started at this location.

Thank you,  
Jaclyn Meikle

**Jaclyn Meikle**  
*Project Manager*  
Tel: 780 702 5687  
Email: [jmeikle@scotland.ca](mailto:jmeikle@scotland.ca)

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**From:** Notify <[notify@scotland.ca](mailto:notify@scotland.ca)>  
**Sent:** March 22, 2021 11:01 AM  
**To:** Ken Robinson [REDACTED]  
**Subject:** RE: (EXT) Xplornet tower NW1-24-4w5m

Good morning Ken,

Thank you for your email. I will look into the below and get back to you regarding the pilings.

Thank you,  
Jaclyn Meikle

**Jaclyn Meikle**  
*Project Manager*  
Tel: 780 702 5687  
Email: [jmeikle@scotland.ca](mailto:jmeikle@scotland.ca)

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**From:** Ken Robinson [REDACTED]  
**Sent:** March 19, 2021 8:25 AM  
**To:** Notify <[notify@scotland.ca](mailto:notify@scotland.ca)>  
**Subject:** Re: (EXT) Xplornet tower NW1-24-4w5m

Is saw truck out at the site yesterday driving piles for foundation.

Ken Robinson

On Mar 19, 2021, at 7:10 AM, Notify  
<[notify@scotland.ca](mailto:notify@scotland.ca)> wrote:

Good morning Ken,

Thank you for your response. Your comments will be included in the submission to the LUA for review upon completion of public consultation. Due to the rural location and height of the proposed installation, 45m, a self-support lattice style structure is proposed for this location. A self-support lattice style structure was chosen as it structurally capable for the proposed antennas and the future need for cellular antennas to be added to the tower dependent on customer demands and coverage requirements. The tower height of 45m was the lowest height to meet the immediate coverage needs of the area.

Please advise if you have any further questions or comments regarding the proposed telecommunication installation.

Thank you,  
Jaclyn Meikle

**Jaclyn Meikle**  
*Project Manager*  
Tel: 780 702 5687  
Email: [jmeikle@scotland.ca](mailto:jmeikle@scotland.ca)

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**From:** Ken Robinson [REDACTED]  
**Sent:** March 17, 2021 3:48 PM  
**To:** Notify <[notify@scotland.ca](mailto:notify@scotland.ca)>  
**Subject:** Re: (EXT) Xplornet tower NW1-24-4w5m

Hello Jaclyn  
I disagree that the view through the structure 10 wider is better than a single pole.  
The structure will stick out on the horizon like a sore thumb.  
I realize you are not looking at the structure so you don't have to care. You are paid to do the notification. Don't try to snow me over as I am sure that you would also not want this structure in your view. The landowner does not reside near this location so he is only looking at the revenue the lease will create. Make it more appealing visually and I would not object.  
Yours truly  
Ken Robinson

On Mar 17, 2021, at 3:10 PM, Notify  
<[notify@scotland.ca](mailto:notify@scotland.ca)> wrote:

Good afternoon Mr. Ken Robinson,


Thank you for your email and subsequent comment sheet received on March 15, 2021. The location for the proposed telecommunication installation on the parcel was chosen after discussions with the landowner and current zoning and setback requirements to property lines, roadways and the powerline were taken into consideration. All reasonable efforts are made to decrease the size and visibility of the proposed tower in order to minimize the visual impact on the surrounding area, yet provide the optimal coverage, service and capacity for the area. The structure is a self-support lattice style structure with no guy wires, which enables the surroundings to be viewed through the tower as opposed to a solid monopole structure.

Please advise if you have any further questions or comments regarding the proposed telecommunication installation prior to April 7, 2021.

Thank you,  
Jaclyn Meikle

**Jaclyn Meikle**  
*Project Manager*  
Tel: 780 702 5687  
Email: [jmeikle@scotland.ca](mailto:jmeikle@scotland.ca)

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**From:** Ken Robinson  
  
**Sent:** March 15, 2021 10:59 PM  
**To:** Notify <[notify@scotland.ca](mailto:notify@scotland.ca)>  
**Subject:** (EXT) Xplornet tower NW1-24-4w5m

Here is the survey

<image001.jpg>

<image002.jpg>

Ken Robinson


<mime-attachment>

<AB1379 Rocky View Weekly Tearsheet - March 16.pdf>

Jaclyn Meikle

**From:** Ken Robinson [REDACTED]  
**Sent:** March 15, 2021 10:59 PM  
**To:** Notify  
**Subject:** (EXT) Xplornet tower NW1-24-4w5m

Here is the survey

 **XPLORNET**

Comment Sheet (AB1379)  
NW 1-24-4 WSM

1. Are you an internet service user?  
☒ yes ☐ no

2. Do you currently own any of the following devices?  
☒ Tablet ☒ Laptop ☒ E-reader ☒ Home Computer

3. Do you plan on purchasing any of the following devices in the next year?  
☐ Tablet ☐ Laptop ☐ E-reader ☐ Home Computer

4. Do you feel this is the most appropriate location for the site in this area?  
☐ yes ☒ no  
Location is going to interfere with farming.  
Could it move closer to Roadway?

5. Are you satisfied with the appearance of the proposed facility?  
If not, what changes would you suggest?  
☐ yes ☒ no  
The structure is very unappealing  
It has a ugly appearance  
Single Pole or a tower appearance  
would be preferred.

6. What comments do you have that could improve our consultation process?  
Options on appearance would be  
better as this is ugly.

Additional Comments:

Some better visual thought  
need to be considered.  
Even with no homes close it  
spoils the horizon view that  
everyone can see.

Please provide your name, full mailing address and email address (optional) if you would like to be informed of the further status of this proposal. This information will not be used for marketing purposes; however, your comments will be forwarded to the appropriate municipal officials.  
(Please print clearly)

Name: Ken Robinson

Mailing Address: \_\_\_\_\_

Postal Code: \_\_\_\_\_

Email Address: \_\_\_\_\_

We thank you for your input.

Comments may be faxed to 403-263-5263, emailed to [notify@scotland.ca](mailto:notify@scotland.ca)

Ken Robinson

**Jaclyn Meikle**

---

**From:** Ken Robinson [REDACTED]  
**Sent:** March 15, 2021 9:17 PM  
**To:** Notify  
**Subject:** (EXT) Xplornet tower NW1-24-4w5M

Hello

This eye sore should have some astetic features as it is visible from several homes.

I would hope better visual aspects could be done to make this hidden from view.

Single pole with tree features would be much easier to handle.

I don't want the horizon scared by this hideous structure. I am sure you could do much better if it was in your view

Ken Robinson

## Jaclyn Meikle

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**From:** Jaclyn Meikle  
**Sent:** March 30, 2021 1:02 PM  
**To:** Warren McNabb  
**Subject:** RE: (EXT) Xplornet tower Rocky View County (AB1379)

Hi Warren,

Thank you for your email. I will keep you updated if there are any major changes in the construction timeline that I am made aware of.

If you have any additional comments or questions, feel free to contact me.

Thank you,

**Jaclyn Meikle**  
*Project Manager*  
Tel: 780 702 5687  
Email: [jmeikle@scotland.ca](mailto:jmeikle@scotland.ca)

---

**From:** Warren McNabb [REDACTED]  
**Sent:** March 25, 2021 4:55 PM  
**To:** Jaclyn Meikle <[jmeikle@scotland.ca](mailto:jmeikle@scotland.ca)>  
**Subject:** RE: (EXT) Xplornet tower Rocky View County

Thank you Jaclyn for this information. The tower is approximately where I thought it would be going. I live in Redwood Meadows and we are surrounded by trees. Getting a powerful cell signal has been a problem here for years.

I have been with Rogers and with Telus. Rogers supplies no signal, while Telus provides two bars and that's due to joining with my neighbours roof top booster.

We went with a satellite dish from Xplornet and receive a signal from the unobstructed southern sky view, albeit 10Mbps download.

Xplornet now says they can offer me 25Mbps download if I switch to LTE which "is NOW in my area". I do believe they will supply me with one of those small LTE devices that picks up cell signals and you simply wi-fi it to your computer. The roof top dish will be obsolete.

My question to you was to see when this closer tower would be erected, assuming no NIMBY opposition happens, as it may quite possibly supply a better strength signal through the trees.

I also believe, in the interim, they will be using the tower at Hwy 1 and Hwy 22 as the tower at Moose Mountain is useless here. Just ask Divinci Internet.

There is no need for you to contact Xplornet for me as I have been asking them to send out a tech for a site test, and they are refusing, saying it will "just work, trust us".

The sign up dead-line is March 31<sup>st</sup> for a free upgrade from my current method. As you state, the new tower is likely late April or early May.

I will just have to figure out what to do in the meantime, switch now or wait until I see the tower going up.

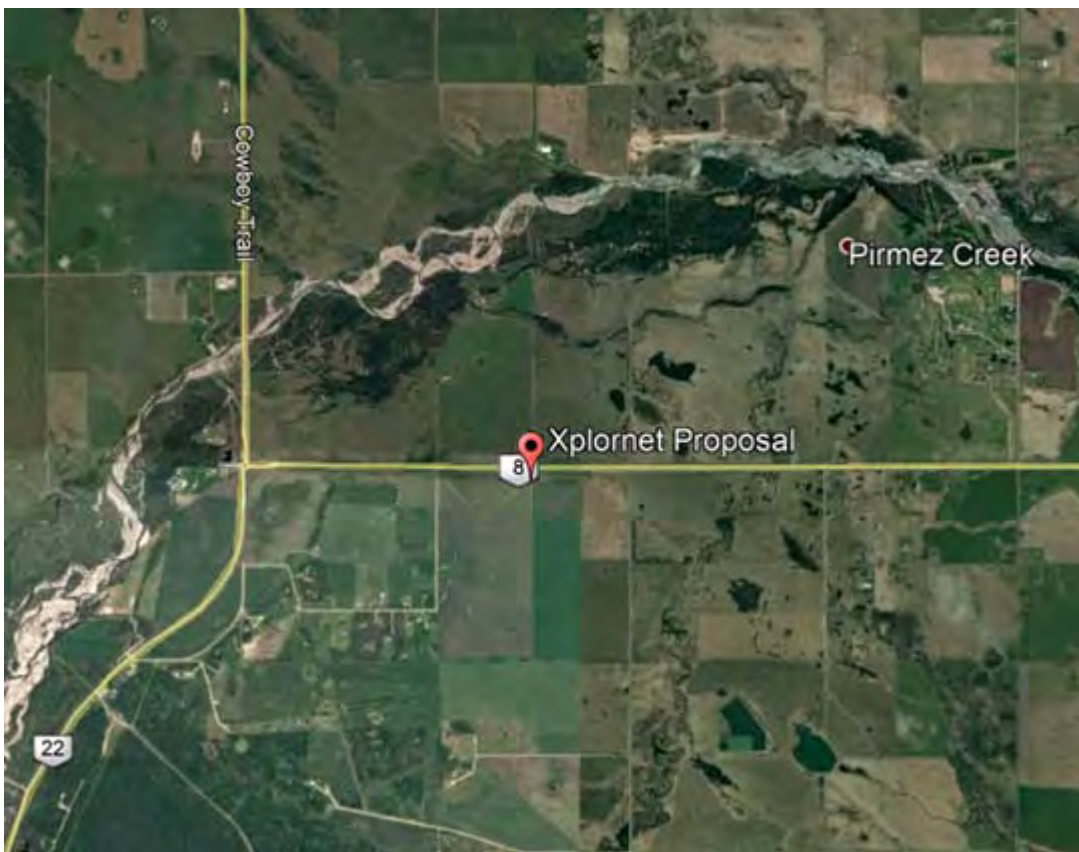
Thank you very much for your response, it is appreciated.  
Warren McNabb  
Redwood Meadows

---

**From:** Notify [<mailto:notify@scotland.ca>]  
**Sent:** Thursday, March 25, 2021 4:35 PM  
**To:** Warren McNabb  
**Subject:** RE: (EXT) Xplornet tower Rocky View County

Good afternoon Warren,

The proposed 45m self-support tower is located on a portion of NW 1-24-4 W5M with the approximate GPS coordinates of 51.022319, -114.432157. I have included a map below with the location. The proposal will provide LTE internet to the area. If you are comfortable providing your phone number and/or account number I can forward your inquiry to Xplornet to contact you regarding the upgrade in regards to your location and the tower location. Construction is currently scheduled for as soon as all approvals are received.



Please do not hesitate to contact me with any further questions or comments.

Thank you,  
Jaclyn Meikle

**Jaclyn Meikle**  
*Project Manager*  
Tel: 780 702 5687  
Email: [jmeikle@scotland.ca](mailto:jmeikle@scotland.ca)

**From:** Warren McNabb [REDACTED]  
**Sent:** March 16, 2021 4:32 PM  
**To:** Notify <[notify@scotland.ca](mailto:notify@scotland.ca)>  
**Subject:** (EXT) Xplornet tower Rocky View County

Ref: Rocky View Weekly, March 16<sup>th</sup>, 2021-03-16

Hello, I was wondering if you could simply answer this inquiry for me.

The picture in the RVW paper is small, but it appears that a plan is afoot for a new telecommunications tower on HWY 8, near the Hwy 22 traffic circle.

If this is correct, will this tower be handling Xplornet's LTE internet signals ?

The reason for my inquiry is that I am currently with Xplornet, but with a satellite dish download connection of 10 Mbps.

Xplornet is telling me that LTE is now available in my area with up to 25 Mbps download speed and I should upgrade with them.

I live in Redwood Meadows, which is surrounded by trees. Line of sight to this new tower is quite dense, and of course, it is not even up yet.

The signal will get here, it may bounce around a lot, but it will eventually find my new LTE dish, will it not ?

So, my question is ... is this the new tower to accommodate their LTE boasting in my area ? When will it be erected (if all planning is okayed)

I know of no other Xplornet tower in my area currently.

Any information you can supply would greatly affect my upgrading with Xplornet to LTE.

(PS: Telus has advised me that LTE is not available to me .... yet ... so wondering how Xplornet can say that it is).

Much appreciated,  
Warren McNabb  
Redwood Meadows AB  
[REDACTED]

## Jaclyn Meikle

---

**From:** Jaclyn Meikle  
**Sent:** April 1, 2021 4:33 PM  
**To:** Tracey Feist  
**Cc:** [REDACTED]; Jerry Lau; slam@rockyview.ca; Notify  
**Subject:** RE: (EXT) RE: Comment Sheet RE: AB1379, NW 1-24-4-W5

Good afternoon Tracey,

Thanks for taking the time to reach out to Scott Telecom Services as part of the public consultation process. As noted below by Jerry Lau, Scott Telecom Services on behalf of Xplornet Communications has submitted a permit application to Alberta Transportation for review for the proposed location.

Regarding the location you proposed below, Xplornet considers a variety of factors in site selection. Xplornet is responding to coverage and capacity demands of customers in the area. In order to provide coverage to the area, a search ring is established in which a tower can be situated in order to meet these demands. A representative of Xplornet conducts an assessment of the area, within the search ring, seeking potential candidates that are interested in leasing a portion of their lands for a tower site. In addition to selecting a location, several factors were taken into account: there was a willing landlord, current zoning is appropriate for the required use, access and power is accessible to the site, and the coverage requirements of Xplornet are sufficient. The selected site met all of the criteria required and is the optimal location to accommodate a telecommunications tower.

Please advise if you have any further questions or comments regarding the proposed telecommunication installation prior to April 22, 2021.

Thank you,  
Jaclyn Meikle

**Jaclyn Meikle**  
*Project Manager*  
Tel: 780 702 5687  
Email: [jmeikle@scotland.ca](mailto:jmeikle@scotland.ca)

---

**From:** Jerry Lau <Jerry.Lau@gov.ab.ca>  
**Sent:** April 1, 2021 9:49 AM  
**To:** Tracey Feist [REDACTED]; Jaclyn Meikle <jmeikle@scotland.ca>; slam@rockyview.ca; Notify <notify@scotland.ca>  
**Cc:** [REDACTED]  
**Subject:** (EXT) RE: Comment Sheet RE: AB1379, NW 1-24-4-W5

All,

Please be advised that at this time we have received a permit application for the tower and is being reviewed.

While Alberta Transportation has completed the functional planning for the future twinning of Hwy 8 and Hwy 22, construction is considered a future project not on the current 3 year construction program, and is not part of the SR1 project. Our representatives at the NRCB hearing have no knowledge of this issue being raised.

Thanks.

Jerry Lau, P. Eng.  
Infrastructure Manager  
Southern Region  
Alberta Transportation  
Government of Alberta

Tel 403-297-8633  
[Jerry.Lau@gov.ab.ca](mailto:Jerry.Lau@gov.ab.ca)



Classification: Protected A

---

**From:** Tracey Feist [REDACTED]  
**Sent:** Thursday, April 01, 2021 8:21 AM  
**To:** [jmeikle@scotland.ca](mailto:jmeikle@scotland.ca); [slam@rockyview.ca](mailto:slam@rockyview.ca); [notify@scotland.ca](mailto:notify@scotland.ca)  
**Cc:** [REDACTED]; Jerry Lau <[Jerry.Lau@gov.ab.ca](mailto:Jerry.Lau@gov.ab.ca)>  
**Subject:** Comment Sheet RE: AB1379, NW 1-24-4-W5

**CAUTION: This email has been sent from an external source. Treat hyperlinks and attachments in this email with care.**

Good Morning Ms. Meikle,

I feel it is necessary to write you to oppose the proposed Xplornet Telecommunications Installation Tower on Highway 8.

As an adjacent landowner, I would suggest that you first talk with Alberta Transportation. Given their push on driving the approval of the Springbank Off-Stream Reservoir, it is their plan to twin Highway 8 as quickly as possible to accommodate this build. Stantec was commissioned for this project:

[http://www.transportation.alberta.ca/projects/assets/Area\\_7\\_Calgary\\_Area/Hwy%208%20at%2022%20Interchange%20\(SR1\)/Recommended%20Plan%20-%20Ultimate%20Stage.pdf](http://www.transportation.alberta.ca/projects/assets/Area_7_Calgary_Area/Hwy%208%20at%2022%20Interchange%20(SR1)/Recommended%20Plan%20-%20Ultimate%20Stage.pdf)

Although it states on the Alberta Transportation website: *"a planning study of the Highway 8 and 22 interchange was completed for right of way protection purposes only and for a potential extension of Highway 8 to the west."*, it was revealed at the NRCB hearing this past week that the twinning of Highways 8, and Highway 22 [back to Trans Canada], is a crucial support element to complete this dry dam.

Mr. Lau, perhaps you can speak to this.

I raise this to you Ms. Meikle, because I believe you are unaware of Alberta Transportation's intentions. The tower would be situated where the new twinned road would be placed, on the south side of Highway 8.

Perhaps it would be in your best interest to commence discussions with the T'suu Tina Nation, and put the tower along the designated "Road Allowance". Access would be down Range Road 40, 1.6 km off of Highway 8. This location is not as populated as your suggested location at NW1-24-4-W5.

Regards,

Tracey Feist, APR





Comment Sheet (AB1379)  
NW 1-24-4 W5M

1. Are you an internet service user?  
☒ yes ☐ no
2. Do you currently own any of the following devices?  
☒ Tablet ☒ Laptop ☒ E-reader ☒ Home Computer
3. Do you plan on purchasing any of the following devices in the next year?  
☐ Tablet ☐ Laptop ☐ E-reader ☐ Home Computer **NOT SURE**
4. Do you feel this is the most appropriate location for the site in this area?  
☐ yes ☒ no  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_
5. Are you satisfied with the appearance of the proposed facility?  
If not, what changes would you suggest?  
☐ yes ☒ no  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_
6. What comments do you have that could improve our consultation process?  
I WILL LOOK OUT MY EAST FACING  
WINDOWS & SEEING THIS BIG  
TOWER

Additional Comments:

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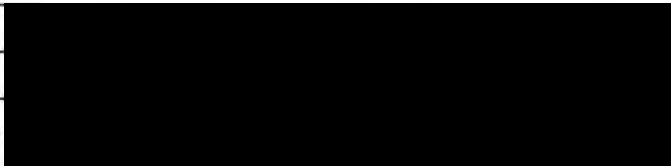
Please provide your name, full mailing address and email address (optional) if you would like to be informed of the further status of this proposal. This information will not be used for marketing purposes; however, your comments will be forwarded to the appropriate municipal officials.  
(Please print clearly)

Name:

MARY + STAN ROBINSON

Mailing Address:

---



Postal Code

Email Address:

---



We thank you for your input.

Comments may be faxed to 403-263-5263, emailed to [notify@scotland.ca](mailto:notify@scotland.ca)

**From:** [Sherilyn Batchelder](#)  
**To:** [REDACTED]  
**Cc:** [ic.spectrumcalgary-calgaryspectre.ic@canada.ca](mailto:ic.spectrumcalgary-calgaryspectre.ic@canada.ca)  
**Subject:** Xplornet Proposed Tower (AB1379) NW 1-24-4 W5M  
**Date:** Tuesday, April 6, 2021 4:37:00 PM  
**Attachments:** [Robinson Comment Sheet April 6, 2021.pdf](#)

---

Hi Mary and Stan,

Thank you for your attached comment sheet and taking part in the public consultation process. You indicated that you had concerns about the location of the tower in relation to your view.

Xplornet has determined that it requires a communication tower in the area due to coverage and capacity demands. As consumption of wireless communication services increases, gaps form in the wireless network necessitating construction of new facilities. The proposed location is the best location for filling the existing gap in service and providing coverage to the area. The past year has brought to the spotlight the need for increased bandwidth for online learning, remote working and personal internet requirements in rural areas. Xplornet is doing a significant amount of investing in communities such as yours to improve service.

Xplornet considers a variety of factors in site selection. Xplornet is responding to coverage and capacity demands of customers in the area. In order to provide coverage to the area, a search ring is established in which a tower can be situated in order to meet these demands. In conformance with ISED's policy for new telecommunications installations, and Rocky View County's Telecommunications Policy, Xplornet has researched all existing antenna systems and other infrastructure capable of entertaining telecommunications equipment in the area (known as "colocation"). No existing structures were identified within a 2 km radius for colocation. As no colocation opportunities were available, a representative of Xplornet conducts an assessment of the area, seeking potential candidates that are interested in leasing a portion of their lands for a tower site. In addition to selecting a location, several factors were taken into account: there was a willing landlord, current zoning is appropriate for the required use, access and power is accessible to the site, and the coverage requirements of Xplornet are sufficient. The selected site met all criteria for the optimal location to accommodate a telecommunications tower.

Second, to address your concerns regarding the aesthetics of the proposal, the mast of the tower is designed as a lattice-style self support, enabling the surrounding area to be viewed through the tower as opposed to a solid monopole structure. Both the mast and the antennas would be painted light grey so as to minimize visual contrast against the sky.

Should you have any further comments, please respond by April 27, 2021.

Regards.  
Sherilyn

Sherilyn Batchelder  
*Project Manager - Telecom*  
Tel: 403-261-6517

Mobile: 403-701-4655

Email: [sbatchelder@scottland.ca](mailto:sbatchelder@scottland.ca)

**Scott Telecom Services Ltd.**

Suite 900, Bow Valley Square 1


202 – 6th Avenue SW

Calgary, AB T2P 2R9

Find us on [LinkedIn](#) | [Twitter](#) | [www.scottland.ca](http://www.scottland.ca)



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 **XPLORNET**

Comment Sheet (AR1379)  
NW 1-24-4 WSM

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1. Are you an internet service user?  
☒ yes ☐ no

2. Do you currently own any of the following devices?  
☐ Tablet ☐ Laptop ☐ E-reader ☒ Home Computer

3. Do you plan on purchasing any of the following devices in the next year?  
☐ Tablet ☐ Laptop ☐ E-reader ☐ Home Computer

4. Do you feel this is the most appropriate location for the site in this area?  
☐ yes ☒ no  
- PROPOSED SIGHT IS TOO CLOSE TO MY HOME.  
I LIVE 1.6 KM AWAY

5. Are you satisfied with the appearance of the proposed facility?  
If not, what changes would you suggest?  
☐ yes ☒ no  
- MOVING LOCATIONS

6. What comments do you have that could improve our consultation process?  
By MAKING THIS PROPOSED LOCATION FOR EXPLORNET  
TOWER - KNOWN TO ALL PARTIES IN THIS  
COMMUNITY - AS THIS WAS NOT DONE

AR1379

Additional Comments:

- LOW TERM EFFECTS OF EMF ARE A CONCERN
- 1.6 KM IS CLOSE TO THE TOWER
- NAKING OF LIGHTING ON TOWER HAS NOT BEEN DETERMINED - I WOULD NOT WANT THAT IN MY VIEW
- I AM NOT IN FAVOR OF THIS LOCATION

Please provide your name, full mailing address and email address (optional) if you would like to be informed of the further status of this proposal. This information will not be used for marketing purposes; however, your comments will be forwarded to the appropriate municipal officials.  
(Please print clearly)

Name: CANDY KUCYK

Mailing Address: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Postal Code: \_\_\_\_\_

\_\_\_\_\_

Email Address: \_\_\_\_\_

\_\_\_\_\_

We thank you for your input.

Comments may be faxed to 403-263-5263, emailed to [notify@scotland.ca](mailto:notify@scotland.ca)



April 8, 2021

Via Email: [cindykucyk@icloud.com](mailto:cindykucyk@icloud.com)

Cindy Kucyk  
41013 Circle 5 Est.  
Calgary, AB T3Z 2T4

**RE: Proposed Xplornet Telecommunications Tower**  
**Located on a portion of NW 1-24-4 W5M**  
**Xplornet File: AB1379**

---

We are in receipt of your comment sheet received on April 7, 2021. I would like to take this opportunity to address the items detailed in your response. You indicated that you had concerns about the location of the tower, the consultation process, long term effects and the lighting.

#### **Location Selection**

Xplornet considers a variety of factors in site selection. Xplornet is responding to coverage and capacity demands of customers in the area. In order to provide coverage to the area, a search ring is established in which a tower can be situated in order to meet these demands. In conformance with ISED's policy for new telecommunications installations, and Rocky View County's Telecommunications Policy, Xplornet has researched all existing antenna systems and other infrastructure capable of entertaining telecommunications equipment in the area (known as "colocation"). No existing structures were identified within a 2 km radius for colocation. As no colocation opportunities were available, a representative of Xplornet conducted an assessment of the area, seeking potential candidates that are interested in leasing a portion of their lands for a tower site. In addition to selecting a location, several factors were taken into account: there was a willing landlord, current zoning is appropriate for the required use, access and power is accessible to the site, and the coverage requirements of Xplornet are sufficient. The selected site met all criteria for the optimal location to accommodate a telecommunications tower.

#### **Consultation Process**

Service providers are required to consult with the Local Land Use Authority and the general public regarding new telecommunications installations. If no telecommunications protocol has been set in place by the Land Use Authority for the purposes of this proposal, the provider is required to follow ISED's (formerly, Industry Canada) Default Public Consultation Process, in accordance with Radiocommunication and Broadcasting Antenna Systems (CPC-2-0-03 Issue 5, effective July 15, 2014). The consultation process and procedures applicable to this proposed development are outlined in Rocky View County's Policy A-308. As per Rocky View County's policy, Xplornet is required to distribute the notification to all properties within 1,600 meters of the proposed telecommunications facility and include a public notice in the local newspaper. The required notification packages were mailed to Rocky View County and were distributed to the affected properties on March 11, 2021. A public notice was included in the March 16, 2021 issue of the Rocky View Weekly.

#### **Health and Safety**

Health Canada has issued Safety Code 6 to regulate the exposure to radiofrequency fields by telecommunications facilities. This code limits the levels of exposure to radiofrequency fields emitted from telecommunications facilities, in order to protect both workers in the telecommunications field and the general population. The general public exposure limit incorporates a wide safety margin and is designed to protect all age groups, including infants and children on a continuous basis; therefore, it is far below the threshold for potentially adverse health effects.

In addition, Health Canada recently updated Safety Code 6 so that it reflects the scientific literature published up to August 2014. This update was based on recommendations provided by the Royal Society of Canada (RSC) to ensure that the results of emerging research related to the safety of radiofrequency energy were reflected in the review of Safety Code 6. The RSC expert panel released their review in March 2014 and concluded that there are no established adverse health effects at exposure levels below the proposed limits. Recommendations made by the RSC included further reductions to the Safety Code 6 exposure limits (100-1000 times lower) to ensure a larger safety margin for all Canadians. Safety Code 6 is reviewed by Health Canada on a regular basis to verify that the guideline provides protection against all known potentially harmful health effects. Canada's limits are consistent with the science-based standards used in other parts of the world (e.g., the United States, the European Union, Japan, Australia and New Zealand) and provide protection against all known adverse health effects from RF energy.

Xplornet attests that the proposed tower will conform to the standards as outlined in Safety Code 6. Health Canada does not regulate or enforce compliance with Safety Code 6. Innovation, Science and Economic Development (ISED – formerly Industry Canada) is the federal agency responsible for regulating wireless communications equipment. Upon installation of any antenna equipment, a Safety Code 6 report is submitted to ISED to ensure compliance.

It is important to note that the radiofrequency fields this tower will be operating at will be at significantly lower levels than the limits established by Safety Code 6. Typically, a fully-loaded communications tower would produce less than 2% of the Safety Code 6 limit.

For more information on Safety Code 6: <https://www.canada.ca/en/health-canada/services/health-risks-safety/radiation/occupational-exposure-regulations/safety-code-6-radiofrequency-exposure-guidelines.html>

### **Lighting**

Transport Canada and NAV Canada determine requirements for marking and lighting of the tower and whether the proposal would have an impact on the provision of the national air navigation system. Based on the information regarding the proposed tower, the expectation is that marking or lighting will not be required. Submissions were made to Transport Canada and NAV Canada on March 11, 2021.

Please advise if you have any additional comments regarding the proposed telecommunication installation prior to April 29, 2021.

Regards,



Jaclyn Meikle  
Project Manager  
Agent for Xplornet  
Scott Telecom Services Ltd.  
Tel: 780 702 5687  
Email: jmeikle@scottland.ca

**Jaclyn Meikle**

---

**From:** Cindy Kucyk [REDACTED]  
**Sent:** April 9, 2021 4:39 PM  
**To:** Notify  
**Subject:** Re: (EXT) Explornet site proposal hwy 8 RR40 (AB1379)

Thank- you for your response.

Sent from my iPhone

On Apr 8, 2021, at 3:32 PM, Notify <notify@scotland.ca> wrote:

Good afternoon Cindy,

Thank you for taking the time to reach out to Scott Telecom Services as part of the public consultation process. Please find attached a letter in response to your April 7, 2021 comment sheet.

Please advise if you have any additional comments regarding the proposed telecommunication installation prior to April 29, 2021.

Thank you,  
Jaclyn Meikle

**Jaclyn Meikle**  
*Project Manager*  
Tel: 780 702 5687  
Email: [jmeikle@scotland.ca](mailto:jmeikle@scotland.ca)

---

**From:** Cindy Kucyk [REDACTED]  
**Sent:** April 7, 2021 4:05 PM  
**To:** Notify <notify@scotland.ca>  
**Subject:** (EXT) Explornet site proposal hwy 8 RR40

Please find enclosed a copy of my comments on the proposed explornet tower site. I can be reached at [REDACTED]


Thank you,  
Cindy Kucyk

<image001.jpg>

<image002.jpg>

Sent from my iPhone  
<Cindy Kucyk Response - 2021-04-08.pdf>

M.E. Dusdal



April 13 2021

Jaclyn Meikle  
Xplornet Project Manager  
Email: [jmeikle@scotland.ca](mailto:jmeikle@scotland.ca)

RE: Xplornet file: AB1379

Dear Ms Meikle

As the registered owner of the north half of 2 24 4 W5 which adjoins NW1 24 4 W5, I am opposed to this installation.

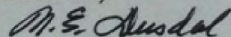
The information I received regarding this proposal is misleading. The proposed map, included in this information package, indicates the tower location being at the NE corner of section 1 next to Range Road 40.. On the first page of the information package, location is stated "on a portion of NW1 24 4 W5". So which location is correct- the corner of NW1 and RR41 or the corner of NE1 and RR40?

Both locations are unfavorable for this project as north half of 1 24 4 W5 is productive farmland, a portion of which will be lost for agricultural purposes.

Most importantly, you must be aware of Alberta Transportations plans for the future twinning of Highway 8. The required land needed for this is on the south side of Hwy 8, right where this proposal will be situated. Knowing this, why would this proposal even be considered?

Therefore I suggest you find a more suitable location.

Yours truly



M E Dusdal

Cc:1c.spectrumcalgary-calgaryspectre.ic@canada.ca  
: SLam@rockyview.ca



April 13, 2021

Via Email: [REDACTED]

M.E. Dusdal  
[REDACTED]  
[REDACTED]

**RE: Proposed Xplornet Telecommunications Tower**  
**Located on a portion of NW 1-24-4 W5M**  
**Xplornet File: AB1379**

---

We are in receipt of your letter received on April 12, 2021. I would like to take this opportunity to address the items detailed in your response. You indicated that you had concerns about the location referenced in the notification package, location of the tower and Alberta Transportation's plans for Highway 8.

**Notification Package Location**

The Xplornet telecommunications installation is proposed on a portion of NW 1-24-4 W5M with the approximate corresponding GPS coordinates of 51.022319, -114.432157. The map included in the notification package shows the correct location, however, it is zoomed out to show the location in reference to the surrounding area. I have included a map below of the quarter section with the tower location shown.



### **Location Selection**

Xplornet considers a variety of factors in site selection. Xplornet is responding to coverage and capacity demands of customers in the area. In order to provide coverage to the area, a search ring is established in which a tower can be situated in order to meet these demands. In conformance with ISED's policy for new telecommunications installations, and Rocky View County's Telecommunications Policy, Xplornet has researched all existing antenna systems and other infrastructure capable of entertaining telecommunications equipment in the area (known as "colocation"). No existing structures were identified within a 2 km radius for colocation. As no colocation opportunities were available, a representative of Xplornet conducted an assessment of the area, seeking potential candidates that are interested in leasing a portion of their lands for a tower site. In addition to selecting a location, several factors were taken into account: there was a willing landlord, current zoning is appropriate for the required use, access and power is accessible to the site, and the coverage requirements of Xplornet are sufficient. The selected site met all criteria for the optimal location to accommodate a telecommunications tower.

### **Alberta Transportation Approvals**

Scott Telecom Services on behalf of Xplornet Communications has submitted a permit application to Alberta Transportation for review and approval for the proposed location. Jerry Lau, Infrastructure Manager with Alberta Transportation previously advised that 'While Alberta Transportation has completed the functional planning for the future twinning of Hwy 8 and Hwy 22, construction is considered a future project not on the current 3 year construction program.'

Please advise if you have any additional comments regarding the proposed telecommunication installation prior to May 4, 2021.

Regards,



Jaclyn Meikle  
Project Manager  
Agent for Xplornet  
Scott Telecom Services Ltd.  
Tel: 780 702 5687  
Email: jmeikle@scottland.ca

## **Jaclyn Meikle**

---

**From:** Jaclyn Meikle  
**Sent:** April 13, 2021 11:20 AM  
**To:** Marlene Dusdal  
**Cc:** ic.spectrumcalgary-calgaryspectre.ic@canada.ca  
**Subject:** RE: (EXT) Xplornet tower re: file #AB1379  
**Attachments:** M.E. Dusdal Response - 2021-04-13.pdf

Good morning,

Thank you for taking the time to reach out to Scott Telecom Services as part of the public consultation process. Please find attached a letter in response to your April 12, 2021 letter.

Please advise if you have any additional comments regarding the proposed telecommunication installation prior to May 4, 2021.

Thank you,  
Jaclyn Meikle

Jaclyn Meikle  
Project Manager  
Tel: 780 702 5687  
Email: jmeikle@scottland.ca

-----Original Message-----

**From:** Marlene Dusdal [REDACTED]  
**Sent:** April 12, 2021 3:21 PM  
**To:** Jaclyn Meikle <jmeikle@scottland.ca>  
**Cc:** ic.spectrumcalgary-calgaryspectre.ic@canada.ca  
**Subject:** (EXT) Xplornet tower re: file #AB1379



March 11, 2021

Bell Mobility  
5099 Creekbank Road  
Mississauga, ON L4W 5N2  
Tel: 905-282-2845

Attention: Brock Enderton

RE: **PROPOSAL TO CO-LOCATE WITH  
XPLORNET COMMUNICATIONS INC.**  
XPLORNET REF: AB1379  
SITE LOCATION: Rocky View County – Pirmez Creek

---

Xplornet Communications Inc. has acquired land for a telecommunications facility to enhance wireless internet coverage in the area.

Local land use authorities require telecommunication carriers site-share whenever technically feasible; therefore, Xplornet wishes to determine if other carriers hold an interest in co-locating on the planned tower. Below, please find a brief description of the proposed site:

1. Proposal: 45m self-support tower
2. Site Address: NW 1-24-4 W5M
3. Coordinates: 51.022319° N, -114.432157° W
4. Site Description: Agricultural
5. Zoning: Agriculture – General District (A-GEN)
6. LUA: Rocky View County

If this site location is compatible with the requirements of your network plan, and a co-location is of interest, please sign below in acknowledgement. Permitting efforts will then continue on behalf of Xplornet Communications Inc. with the understanding that another carrier may join Xplornet Communications Inc. in sharing the tower site.

Please forward your confirmation and any questions or comments in this regard no later than **April 12, 2021**.

Regards,

A handwritten signature in black ink that reads "Meikle".

Jaclyn Meikle  
Project Manager  
Agent for Xplornet  
Phone: 780-702-5687  
Email: [jmeikle@scottland.ca](mailto:jmeikle@scottland.ca)

XPL Ref: AB1379



By signing below, I acknowledge a co-location is of interest. Please contact me to discuss.

\_\_\_\_\_  
Name:  
Title:  
Date:  
Company Name:

Please forward by fax the signed letter at (403) 263-5263, or by email at [jmeikle@scottland.ca](mailto:jmeikle@scottland.ca)



March 11, 2021

Freedom Mobile  
207 Queens Quay West, Suite 710  
Toronto, ON M5J 1A7  
Tel: 647-575-9002

Attention: Carmelina O'Connor

RE: **PROPOSAL TO CO-LOCATE WITH  
XPLORNET COMMUNICATIONS INC.**  
XPLORNET REF: AB1379  
SITE LOCATION: Rocky View County – Pirmez Creek

---

Xplornet Communications Inc. has acquired land for a telecommunications facility to enhance wireless internet coverage in the area.

Local land use authorities require telecommunication carriers site-share whenever technically feasible; therefore, Xplornet wishes to determine if other carriers hold an interest in co-locating on the planned tower. Below, please find a brief description of the proposed site:

1. Proposal: 45m self-support tower
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3. Coordinates: 51.022319° N, -114.432157° W
4. Site Description: Agricultural
5. Zoning: Agriculture – General District (A-GEN)
6. LUA: Rocky View County

If this site location is compatible with the requirements of your network plan, and a co-location is of interest, please sign below in acknowledgement. Permitting efforts will then continue on behalf of Xplornet Communications Inc. with the understanding that another carrier may join Xplornet Communications Inc. in sharing the tower site.

Please forward your confirmation and any questions or comments in this regard no later than **April 12, 2021**.

Regards,

A handwritten signature in black ink that reads "Meikle".

Jaclyn Meikle  
Project Manager  
Agent for Xplornet  
Phone: 780-702-5687  
Email: [jmeikle@scotland.ca](mailto:jmeikle@scotland.ca)



By signing below, I acknowledge a co-location is of interest. Please contact me to discuss.

\_\_\_\_\_  
Name:  
Title:  
Date:  
Company Name:

Please forward by fax the signed letter at (403) 263-5263, or by email at [jmeikle@scottland.ca](mailto:jmeikle@scottland.ca)



March 11, 2021

Rogers Communications Inc.  
Network Implementation West  
700, 500 – 4 Avenue SW  
Calgary, AB T2P 2V6

Attention: To Whom it May Concern

RE: **PROPOSAL TO CO-LOCATE WITH  
XPLORNET COMMUNICATIONS INC.**

XPLORNET REF: AB1379

SITE LOCATION: Rocky View County – Pirmez Creek

---

Xplornet Communications Inc. has acquired land for a telecommunications facility to enhance wireless internet coverage in the area.

Local land use authorities require telecommunication carriers site-share whenever technically feasible; therefore, Xplornet wishes to determine if other carriers hold an interest in co-locating on the planned tower. Below, please find a brief description of the proposed site:

1. Proposal: 45m self-support tower
2. Site Address: NW 1-24-4 W5M
3. Coordinates: 51.022319° N, -114.432157° W
4. Site Description: Agricultural
5. Zoning: Agriculture – General District (A-GEN)
6. LUA: Rocky View County

If this site location is compatible with the requirements of your network plan, and a co-location is of interest, please sign below in acknowledgement. Permitting efforts will then continue on behalf of Xplornet Communications Inc. with the understanding that another carrier may join Xplornet Communications Inc. in sharing the tower site.

Please forward your confirmation and any questions or comments in this regard no later than **April 12, 2021**.

Regards,

A handwritten signature in black ink that reads 'Meikle'.

Jaclyn Meikle

Project Manager

Agent for Xplornet

Phone: 780-702-5687

Email: [jmeikle@scottland.ca](mailto:jmeikle@scottland.ca)

XPL Ref: AB1379



By signing below, I acknowledge a co-location is of interest. Please contact me to discuss.

\_\_\_\_\_  
Name:  
Title:  
Date:  
Company Name:

Please forward by fax the signed letter at (403) 263-5263, or by email at [jmeikle@scottland.ca](mailto:jmeikle@scottland.ca)



March 11, 2021

TELUS – Mobile Broadband Network Deployment  
3030 - 2 Avenue SE  
Calgary, AB T2A 5N7

Attention: Grace Suh

RE: **PROPOSAL TO CO-LOCATE WITH  
XPLORNET COMMUNICATIONS INC.**

XPLORNET REF: AB1379

SITE LOCATION: Rocky View County – Pirmez Creek

---

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Agent for Xplornet

Phone: 780-702-5687

Email: [jmeikle@scottland.ca](mailto:jmeikle@scottland.ca)

XPL Ref: AB1379



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Name:  
Title:  
Date:  
Company Name:

Please forward by fax the signed letter at (403) 263-5263, or by email at [jmeikle@scottland.ca](mailto:jmeikle@scottland.ca)

## Jaclyn Meikle

---

**From:** Grace Suh <Grace.Suh@telus.com>  
**Sent:** March 16, 2021 12:32 PM  
**To:** Alex Bayko  
**Cc:** Jaclyn Meikle  
**Subject:** (EXT) RE: AB1379 - Proposal to Co-Locate - Proposed Telecommunication Tower - (XPL-0001.083)

Hi Alex,

Thank you for the proposal. I have been advise we are not in need of a site at this location.

Best,  
Grace

Grace Suh  
Senior Real Estate Manager  
Technology Strategy and Operations  
200 Consilium Place, Suite 1600  
Scarborough, Ontario  
M1H 3J3  
647 837 8269 telephone  
416 803 1491 mobile

---

**From:** Alex Bayko [mailto:abayko@scottland.ca]  
**Sent:** March 11, 2021 06:10 PM  
**To:** Grace Suh <Grace.Suh@telus.com>  
**Cc:** Jaclyn Meikle <jmeikle@scottland.ca>  
**Subject:** AB1379 - Proposal to Co-Locate - Proposed Telecommunication Tower - (XPL-0001.083)

**ATTENTION:** This email originated from outside of TELUS. Use caution when clicking links or opening attachments. | Ce courriel provient de l'extérieur de TELUS. Soyez prudent lorsque vous cliquez sur des liens ou ouvrez des pièces jointes.

Good Afternoon Grace,

Please accept the attached letter on behalf of Xplornet regarding an invitation to co-locate on a proposed facility within NW 1-24-4 W5M, Rocky View County, Alberta.

Thanks,

**Alex Bayko**  
*Surface Land Administrator*  
Tel: 403-261-6516  
Email: [abayko@scottland.ca](mailto:abayko@scottland.ca)

**Scott Land & Lease Ltd.**  
Suite 900, Bow Valley Square 1  
202 – 6th Avenue SW

Calgary, AB T2P 2R9

Find us on [LinkedIn](#) | [Twitter](#) | [www.scottland.ca](http://www.scottland.ca)



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## PLANNING AND DEVELOPMENT SERVICES

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**TO:** Subdivision and Development Appeal Board  
**DATE:** July 8, 2021  
**FILE:** 06828004  
**SUBJECT:** Stop Order Appeal

**DIVISION:** 9  
**APPLICATION:** N/A

---

**COMPLIANCE ISSUE:** The operation of a U-Haul Business without proper permits.

**GENERAL LOCATION:** Located within the hamlet of Cochrane Lake.

**LAND USE DESIGNATION:** Direct Control 36 District (DC-36)

**ENFORCEMENT ACTION:** Stop Order Posted on-site June 7, 2021

**ENFORCING OFFICER:** Camilo Conde

**STOP ORDER POSTED DATE:** June 7, 2021  
**APPEAL DATE:** June 28, 2021

### AIR PHOTO & ENFORCEMENT CONTEXT:



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### Administration Resources

Camilo Conde, Development Compliance Officer

**EXECUTIVE SUMMARY:**

On April 20, 2021, an initial complaint had come in regarding several businesses operating from the parcel, including a woodcutting business, a storage business, and what the complainant called the outside storage of several Thaland Trucks (U-Hauls).

On April 21, 2021, Officer Conde attended the subject parcel and spoke to the subject of the complaint, who indicated the woodchipping business had been operating from the parcel but would leave at the end of the month to a new parcel. The subject stated that the U-Hauls on site were for personal storage and the Officer did not see signs of advertising on site.

The officer told the subject as long as the woodchipping business was removed by the end of the month as well as ensuring the U-Haul trucks are removed in a timely manner. The officer would then return to check on his progress.

On May 27, 2021, a second complaint was received that the U-Haul business was in full operation.

On June 1, 2021, four additional complainants listed their concerns with the U-Haul business operating on-site causing excessive speeding traffic.

On June 2, 2021, Officer Conde attended the subject parcel and found several indications the U-Haul drop-off and pick-up. Officer Conde also observed an office that was not present when the property was first attended.

On June 3, 2021, Officer Conde conducted a search on U-Haul's website and found the subject parcel is listed as both a pick-up and drop-off location. It was determined that a Stop Order would be issued to bring the property into compliance. Both the letter and Order were complete and sent for signature.

On June 7, 2021, Officers attended the property and placed the Stop Order on the U-Haul office key drop-off area where it would be visible to all.

On June 21, 2021, Officer Conde attended the site to see if any progress had been made. There was no indication of the property being brought into compliance.

On June 24, 2021, the subject indicated he would be appealing the order.

On June 28, 2021, the subject appealed the Stop order.

<b>APPLICABLE POLICY AND REGULATIONS:</b> <ul style="list-style-type: none"> <li>• <i>Land Use Bylaw</i></li> <li>• <i>DC-36</i></li> </ul>	<b>LAND USE:</b> <ul style="list-style-type: none"> <li>• Commercial Business is not a listed use within the Development Cell of the Direct Control District</li> </ul>
	<b>DEVELOPMENT VARIANCE AUTHORITY:</b> <ul style="list-style-type: none"> <li>• Rocky View County Council</li> </ul>

**APPEAL BOARD JURISDICTION:**

Section 645 of the *Municipal Government Act* authorizes the development authority to issue a Stop Order when a development, land use, or use of a building does not comply with any of Part 17 of the *Municipal Government Act*, the Subdivision and Development Regulation, or a development permit or subdivision approval. A Stop Order may require any one of the following: the landowner, person in possession of the land, or person responsible for the contravention, to:

- Stop the development or use of the land;
- Demolish, remove or replace the development, or;
- Take any other actions required to bring the development or use of the land or building into compliance.

SDAB's jurisdiction on a Stop Order Appeal is based solely on the following:

- Whether the SDAB felt the Stop Order was issued properly and legally; and
- Whether enough time has been provided for compliance.

An SDAB is not responsible for determining if this is an appropriate use for the property or determine the outcome of any permits proposed, that jurisdiction falls back to either Council or Administration for consideration.

**APPEAL:**

See attached exhibits.

Respectfully submitted,

"Heather McInnes"

---

Supervisor  
Development and Compliance

CC/ltt

**ATTACHMENTS**

ATTACHMENT 'A': Compliance Information  
ATTACHMENT 'B': Stop Order Letter  
ATTACHMENT 'C': Stop Order posted on Property  
ATTACHMENT 'D': Aerials  
ATTACHMENT 'E': Notice of Appeal

## ATTACHMENT 'A': COMPLIANCE INFORMATION

<b>SUBJECT OF COMPLAINT:</b> Daniel Grant	<b>OWNER:</b> Wan Wei Xie
<b>DATE OF FIRST COMPLAINT:</b> April 20, 2021	<b>DATE OF STOP ORDER:</b> June 3, 2021
<b>SUBDIVISION AND DEVELOPMENT APPEAL BOARD HEARING DATE:</b> July 08, 2021	
<b>APPELLANT:</b> Daniel Grant	
<b>GROSS AREA:</b> ± 4.05 hectares (± 10.01 acres)	<b>LEGAL DESCRIPTION:</b> SE-28-26-04-W05M; 264059 RGE RD 43
<b>APPEAL BOARD:</b> Subdivision and Development Appeal Board	



## ROCKY VIEW COUNTY

**STOP ORDER**

Section 645, *Municipal Government Act*  
R.S.A. 2000, c. M-26, as amended

**June 3, 2021**

TO:

**Xie, Wan Wei**  
**264059 Range Road 43**  
**Cochrane, AB**  
**T4C 2A8**

☐ HAND DELIVERED / POSTED ON PROPERTY

☐ REGISTERED MAIL

Dear Sir/Madam:

**RE: Lot:1 Block:1 Plan:9610101 (the "Lands")**

---

In my capacity as a Development Compliance Officer for the Rocky View County, I hereby issue a Stop Order pursuant to section 645 of the *Municipal Government Act*, with respect to the following lands:

**SE-28-26-04-W05M**  
(the "Lands")

Municipal Address: **264059 RGE RD 43**

The Direct Control District 36 states:

**Direct Control District 36 (DC-36)**

The purpose and intent of the Existing Homestead Cell is to provide for the use of certain portions of the land for the existing residence and associated facilities.

7.1 List of Permitted Uses

- dwelling, single detached
- accessory buildings
- fences

7.2 List of Discretionary Uses

- home occupations
- guest cottage

Further, Part 17 of the *Municipal Government Act* and **Part 2, Section 18.1** of the Rocky View County Land Use Bylaw allows a Development Authority to issue a Stop Order where a development or use of land or buildings does not comply with the *Municipal Government Act*, the Land Use Bylaw, or a development permit or subdivision approval.

At present, the Lands do not comply with the Rocky View County Land Use Bylaw given:

**A commercial business is operating from the parcel, and commercial businesses are not listed uses within the Direct Control District.**

Accordingly, you are hereby ordered to stop the unauthorized development and use of the aforementioned lands and the buildings thereon and comply with the Land Use Bylaw by:

**Cease any and all commercial activity on the parcel, and remove all signage indicating commercial activity;**

**AND**

**Cease all living within Recreational Vehicles/ Trailers**

within **twenty-one (21) days** of the date of this Order, **being on or before June 24, 2021**

You are hereby advised that you have the right to appeal this Order to the Subdivision and Development Appeal Board. If you wish to exercise this right, written notice of an appeal *together with the applicable appeal fee of \$500* must be received by the Secretary of the Subdivision and

Development Appeal Board within twenty-one (21) days of posting of this letter. The completed Notice of Appeal Form and payment of Appeal Fee can be sent via:

**Mail/Deliver:**            **Clerk, Subdivision and Development Appeal Board**  
                                 **262075 Rocky View Point Rocky View County, AB, T4A 0X2**

**Please make cheques payable to “Rocky View County”.**

**EMAIL**                    **Arrangements can also be made to email your Notice of Appeal and pay over the phone. Please see [www.rockyview.ca](http://www.rockyview.ca) for further details.**

Please be advised that Rocky View County has the authority, in the event that this Stop Order is not complied with within the time limit provided, to enter onto the Lands in accordance with Section 542 of the *Municipal Government Act* to take whatsoever actions are determined by Rocky View County to bring the Lands into compliance, and may seek an Injunction or other relief from the Court of Queen’s Bench of Alberta pursuant to Section 554 of the *Municipal Government Act*. Further, Rocky View County has the authority to add the costs and expenses for carrying out this Stop Order to the tax roll for the Lands pursuant to Section 553(1)(h.1) of the *Municipal Government Act*.

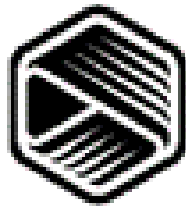
YOURS TRULY,

**ROCKY VIEW COUNTY**

**Per:**

---

**Development Authority**



ROCKY VIEW COUNTY

# STOP ORDER

## PURSUANT TO THE *MUNICIPAL GOVERNMENT ACT* – SECTION 645

TO: **Xie, Wan Wei**  
**264059 Range Road 43**

Municipal Address: **264059 Range Road 43**

Part 2, Section 18.1 of the Rocky View County Land Use Bylaw allows a Development Authority to issue a Stop Order where a development or use of land or buildings does not comply with the *Municipal Government Act*, the Land Use Bylaw, or a development permit or subdivision approval.

At present, the Lands do not comply with the Rocky View County Land Use Bylaw given **The operation of a commercial business, as well as the living within Recreational Vehicles**.

You are hereby ordered to:

**Cease any and all commercial activity on the parcel, and remove all signage indicating commercial activity;**

**AND**

**Cease all living within Recreational Vehicles/ Trailers**

Failure to comply with the order and/or make the necessary application will have Rocky View County taking whatever actions that are determined to bring the Lands into compliance, which may require seeking legal action for a court order or other relief from the Court of Queen's Bench of Alberta pursuant to Section 554 of the *Municipal Government Act*.

You are further notified that you may appeal this Stop Order, within **twenty-one (21) days**, to the Rocky View County Clerk, Subdivision and Development Appeal Board in accordance with Section 686 of the *Municipal Government Act*. Notwithstanding any such appeal, this Stop Order must be complied with pending the outcome of the appeal and are required to ensure that no more activity on the land is occurring pending a decision. Please note the Board does not have authority to approve this use only consider whether it was issued legally and with enough time for compliance.

Dated at the Rocky View County Hall, in the Province of Alberta, this **June 24, 2021**.

---

Development Authority

**No person shall remove, tamper with or alter this notice without the written consent from Rocky View County.**



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ROCKY VIEW COUNTY

## STOP ORDER

PURSUANT TO THE MUNICIPAL  
GOVERNMENT ACT – SECTION 645TO: Xie, Wan Wei  
264059 Range Road 43

Municipal Address: 264059 Range Road 43

Part 2, Section 19.1 of the Rocky View County Land Use Bylaw allows a Development Authority to issue a Stop Order where a development or use of land or buildings does not comply with the Municipal Government Act, the Land Use Bylaw, or a development permit or subdivision approval.

At present, the Lands do not comply with the Rocky View County Land Use Bylaw given The operation of a commercial business, as well as the living within Recreational Vehicles.

You are hereby ordered to:

Cease any and all commercial activity on the parcel, and remove all signage indicating commercial activity;

AND

Cease all living within Recreational Vehicles/ Trailers

Failure to comply with the order and/or make the necessary application will have Rocky View County taking whatever actions that are determined to bring the Lands into compliance, which may require seeking legal action for a court order or other relief from the Court of Queen's Bench of Alberta pursuant to Section 554 of the Municipal Government Act.

You are further notified that you may appeal this Stop Order, within twenty-one (21) days, to the Rocky View County Clerk, Subdivision and Development Appeal Board in accordance with Section 656 of the Municipal Government Act. Notwithstanding any such appeal, this Stop Order must be complied with pending the outcome of the appeal and are required to ensure that no more activity on the land is occurring pending a decision. Please note the Board does not have authority to approve this use only consider whether it was issued legally and with enough time for compliance.

Dated at the Rocky View County Hall, in the Province of Alberta, this June 24, 2021.

Development Authority

No person shall remove, tamper with or alter this notice  
without the written consent from Rocky View County.

07 06 2021







# Notice of Appeal

Subdivision and Development Appeal Board  
Enforcement Appeal Committee

**Appellant Information**

Name of Appellant(s)

Daniel Grant

Mailing Address

264059 RANGE ROAD 43

Municipality

COCHRANE

Province

AB

Postal Code

T4C 2A8

**Site Information**

Municipal Address

264059 RANGE ROAD 43 COCHRANE T4C 2A8

Legal Land Description (lot, block, plan OR quarter-section-township-range-meridian)

LOT 1, BLOCK 1, PLAN: 9610101

Property Roll #

06828004

Development Permit, Subdivision Application, or Enforcement Order #

**I am appealing: (check one box only)****Development Authority Decision**

- ☐ Approval  
☐ Conditions of Approval  
☐ Refusal

**Subdivision Authority Decision**

- ☐ Approval  
☐ Conditions of Approval  
☐ Refusal

**Decision of Enforcement Services**

- ☒ Stop Order  
☐ Compliance Order

**Reasons for Appeal (attach separate page if required)**

see attached

This information is collected for Rocky View County's Subdivision and Development Appeal Board or Enforcement Appeal Committee under section 33(c) of the Freedom of Information and Protection of Privacy Act (FOIP Act) and will be used to process your appeal and create a public record of the appeal hearing. Your name, legal land description, street address, and reasons for appeal will be made available to the public in accordance with section 40(1)(c) of the FOIP Act. Your personal contact information, including your phone number and email address, will be redacted prior to your appeal being made available to the public. If you have questions regarding the collection or release of this information, please contact the Municipal Clerk at 403-230-1401.

Daniel Grant

Appellant's Signature

June 28, 2021

Date



## Notice of Appeal

Subdivision and Development Appeal Board  
Enforcement Appeal Committee

### Submitting an Appeal

#### Appeals must be submitted on time and with the required fee

Sections 547, 645, 678, and 686 of the *Municipal Government Act*, RSA 2000, c M-26, and Rocky View County's *Master Rates Bylaw* require that your Notice of Appeal be submitted to the Subdivision and Development Appeal Board (SDAB) or Enforcement Appeal Committee (EAC) within the legislated timeframe and with the required fee. Fees are as follows:

Subdivision and Development Appeal Board	Fee
Development Authority decision – appeal by the owner of the subject property	\$350.00
Development Authority decision – appeal by an affected party	\$250.00
Development Authority decision – appeal of a Stop Order issued under section 645 of the <i>Municipal Government Act</i>	\$500.00
Subdivision Authority decision (paid at time of application and used as a credit on endorsement fees except where the owner appeals the subdivision)	\$1,000.00
Enforcement Appeal Committee	
Compliance Order - appeal as per section 545 or 546 of the <i>Municipal Government Act</i>	\$500.00

#### How to submit your appeal and pay your fee

You can submit your Notice of Appeal by mail or deliver it in person. Arrangements can also be made to e-mail your Notice of Appeal and pay over the phone. If you e-mail your appeal to the SDAB clerk, you must call the SDAB clerk for verbal confirmation of receipt. Regardless of how you submit your Notice of Appeal, it must be received on or before the final appeal deadline.

*Mail or deliver to:*

Clerk, Subdivision and Development Appeal Board  
262075 Rocky View Point  
Rocky View County, AB, T4A 0X2

Please make cheques payable to "Rocky View County".

#### What happens after my appeal is submitted?

Once your Notice of Appeal is submitted on time and with the required fee, the appeal will be heard by the SDAB or EAC within 30 days. The Clerk of the SDAB will be in touch with you about the appeal hearing. You and the landowners who are adjacent to the property in question will receive a written Notice of Hearing.

#### More information

For more information about filing an appeal or SDAB/EAC procedures, please contact the SDAB Clerk at:

Phone: 403-230-1401

Email: [sdab@rockyview.ca](mailto:sdab@rockyview.ca)

Website: [www.rockyview.ca](http://www.rockyview.ca)

**NOTICE OF APPEAL****RE: STOP ORDER DELIVERED JUNE 3, 2021****LOCATION: LOT 1, BLOCK 1, PLAN:9610101****ADDRESS: 264059 RANGE ROAD 43 COCHRANE T4C 2A8**

Please be advised that the stop order is being appealed for the following reasons and considerations:

- 1) There is no one living in an RV on the site as stated in the Stop Order. There have been a number of unfounded and unsubstantiated claims and this constant complaints is very bothersome.
- 2) U-Haul were pushed out of their location in the town of Cochrane and the landowner here rented them space to conduct their rental business. They provide a valuable service in the area and when they were moved out of Cochrane their was a significant outcry on social media. This was much larger and more vocal than the few neighbors complaining about this operation. The greater good of the community would be to allow them to stay. They represent no noise, no bother and much less traffic that the courier delivery trucks servicing the adjacent Village. At the most it represents less than 10 vehicle movements per day.
- 3) This land has a rezoning application being prepared and the new zoning will allow this type of commercial business. This rezoning application and development permit will be submitted in the next 90 days.
- 4) We are requesting a stay of enforcement until July 15, 2022 to enable this rezoning application to be made or to relocate the business.
- 5) The Cochrane Lake area is inundated with ASP for residential lots. The community at large will need to accept service types of businesses which provide needed rentals, storage and sale of goods.
- 6) With minimal impact we request a complete stay of enforcement. In light of the erroneous facts stated in the complaints about the RV and in light of the greater good to the community we file this Appeal of the Stop order and stay of enforcement

I am Daniel Grant, occupant on the land since 2013 and authorized by Wan Wei Xie to act on their behalf.. Phone me for payment of the Appeal fee. [REDACTED]

*DB Grant June 23, 2021*